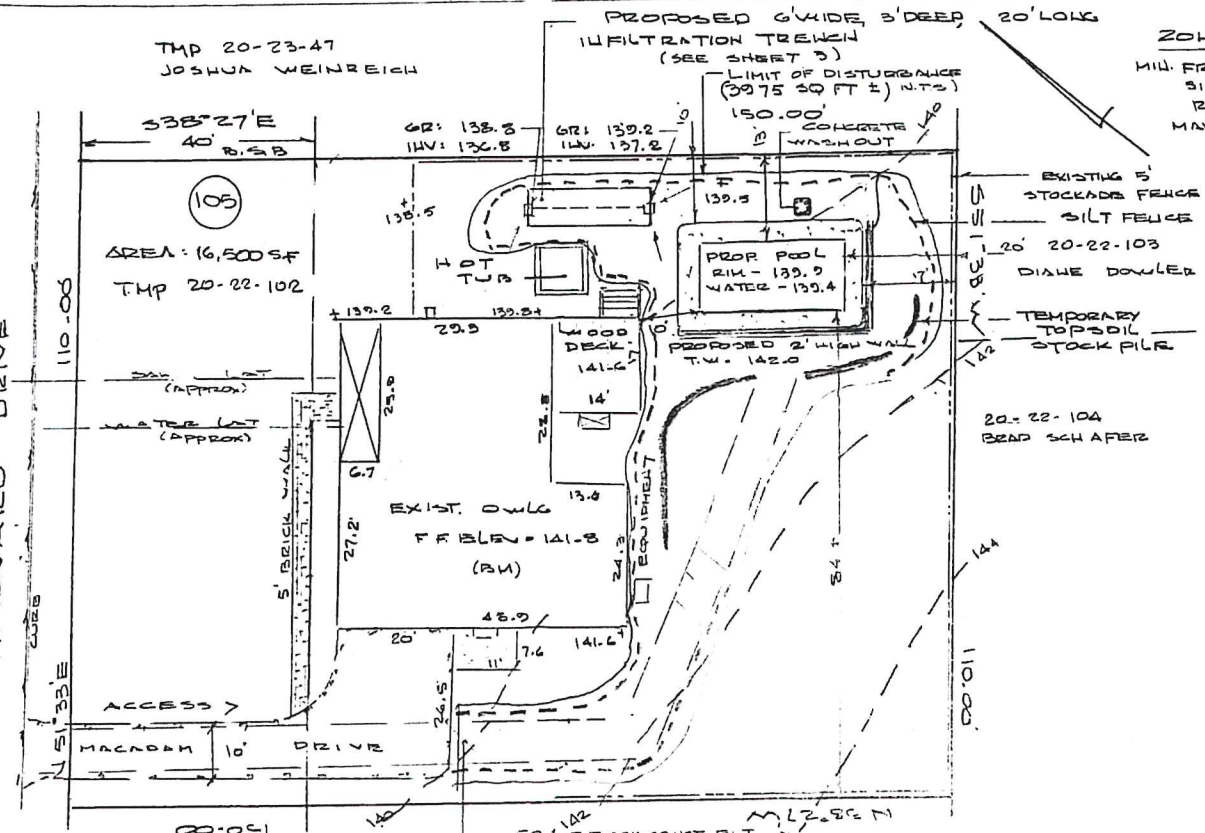
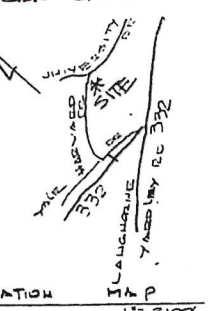


TMP 20-23-47  
JOSHUA WEINREICH

Soil: U13 URBAN LAND

ZONED R-2 PROVIDED

MIN. FRONT YARD - 40	740
SIDE YARDS - 15	7 15'
REAR YARD - 50	7 50
MAX IMPERVIOUS 15%	237.



PROPOSED FENCE (EXISTING)  
MIN. 4' HIGH  
MAX 2" SPACING  
SELF LATCHING / LOCKING GATES  
IRC CODE  
DOOR ALARMS REQUIRED  
ENTIRE POOL TO BE ENCLOSED  
OUTWARD SWINGING GATES

LEGEND  
--- EXISTING CONTOUR  
- - - PROPOSED CONTOUR  
→ FLOW  
--- SILT FENCE  
--- LIMIT OF DISTURBANCE  
////// TIRE CLEANING AREA

IMPERVIOUS AREAS

EXISTING DWELLING	2243
DRIVEWAY:	330
WALKS/PATIOS:	230
SHED/GARAGE:	-

TOTAL: 20.99 3453

PROPOSED DECK	270
HOT TUB (360)	81
PADS:	15
TOTAL:	237. 3519

NOTES

- REFERENCE: PLAN OF LOT 105 "SAVOY RUN" SEC 2-C BY TRI-STATE ENGINEERS AND LAND SURVEYORS
- Plan was prepared without the benefit of a title report and is subject to easements and documents (unrecorded and unrecorded).
- Pool construction and fence installation to comply with Township codes and regulation
- Any damage to the curb and sidewalk to be the responsibility of the owner who will make the necessary repairs
- Grading to remain as current conditions exist. No proposed runoff to reach adjacent properties
- Plan to be used as a pool permit plan only.

**KENNETH C. SEELY, P.L.S.**  
P.O. BOX 1832  
RIDGELAND, S.C. 29936



ADDRESS  
1038 HARVARD DRIVE  
YARLETT, PA 19067

20 10 0 20 40  
GRAPHIC SCALE IN FEET

POOL PERMIT PLAN  
PREPARED FOR  
**ROSE MCKENNA**  
LOWER MAKEFIELD TOWNSHIP  
BUCKS COUNTY PA

SHIRT 1 OF 3  
SCALE: 1" = 20'  
DATE: 08-07-23

**EAS STANDARD NOTES**

STOODPILE HEIGHTS MUST NOT EXCEED 35 FEET; STOODPILE SLOPES MUST NOT EXCEED 2:1.

THE OPERATOR/RESPONSIBLE PERSON (O/R/P) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

IMMEDIATELY UPON DISCOVERING UNEXPECTED CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION POLLUTION, THE O/R/P SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION POLLUTION.

THE O/R/P SHALL INSURE THAT AN EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUTTS COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOLE AND/OR ROCK SLOPE AND BOTTOM AREAS REGARDLESS OF THEIR LOCATIONS.

ALL PLANNING AND SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENTATION CONTROL BMP SUCH AS A PLANTED WATER FILTER AND DISCHARGING OVER UNDISTURBED AREAS.

A COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

EROSION AND SEDIMENTATION BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

AT LEAST SEVEN DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE O/R/P SHALL WRITE THE CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARER AND THE BUTTS COUNTY CONSERVATION DISTRICT TO PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PA ONE-CALL SYSTEM, IC AT 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATION.

IMMEDIATELY AFTER EARTH DISTURBANCE CEASES, THE O/R/P SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY. DURING NON-SEEDING PERIODS, MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATION STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM TO PERCENT VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUFFICIENT CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

UPON INSTALLATION OF TEMPORARY SEDIMENT BASIN (RESERVOIR), AN IMMEDIATE INSPECTION OF THE RESERVOIR DISTRICT SHALL BE NOTIFIED BY WRITING THAT THE RESERVOIR IS SEALED (WATER-TIGHT).

AT STEEP CROSSINGS A 50 FOOT BUFFER SHALL BE MAINTAINED ON BUTTERS, CLEARINGS, SOIL DISTURBANCES AND EXCAVATIONS. EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITY SUCH AS STACKING LOGS, BURNING OR CLEANING EQUIPMENT, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, RETIEING AND MAINTAINING EQUIPMENT SHOULD BE AVOIDED WITHIN BUFFER ZONES.

UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RAINFALL EVENT AND ON A REGULAR BASIS. ALL PREVENTIVE AND REPAIR MAINTENANCE WORK INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-WELDING, AND RE-SETTING MUST BE PERFORMED AS EXPECTED. REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

SEDIMENT REMOVAL FROM BMPs SHALL BE DEPOSITED ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES. RETAINED FLOES/SLABS OF GRASS, SHALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.

ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 263.1 ET SEQ., 271.1 ET SEQ. AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTES MATERIALS SHALL BE BURIED, BURIED, BURNED OR DISCHARGED ON SITE.

**SEEDING SPECIFICATIONS**

**TEMPORARY SEEDING**  
 LIME: 150 LBS/1000 SF  
 GROUND LIMESTONE INCORPORATED 4 INCHES INTO SOIL  
 FERTILIZER: 25 LBS/1000 SF  
 10-20-20 INCORPORATED 4 INCHES INTO SOIL  
 SEED: 1.0 LBS/1000 SF  
 -ANNUAL RYEGRASS  
 WHEAT 140 LBS/1000 SF  
 STRAW MULCH  
 MINIMUM STANDARD FOR LIMESTONE AND FERTILIZER  
 LIMESTONE SHALL BE APPLIED AT A RATE OF 1 TON PER ACRE  
 FERTILIZER SHALL BE APPLIED AT A RATE OF:  
 NITRATE NITROGEN 30 LBS/ACRE AVERAGE  
 PHOSPHORUS 120 LBS/ACRE AVERAGE  
 POTASSIUM 120 LBS/ACRE AVERAGE

**PERMANENT SEEDING**  
 LIME: 150 LBS/1000 SF  
 GROUND LIMESTONE INCORPORATED 4 INCHES INTO SOIL  
 FERTILIZER: 25 LBS/1000 SF  
 10-20-20 INCORPORATED 4 INCHES INTO SOIL  
 SEEDING LAWN AND MOWED AREAS: RENTOVOK BLUEGRASS 30 LBS/AC  
 REDTOP 3 LBS/AC  
 PERSONAL RYEGRASS 20 LBS/AC  
 TOTAL SEEDING = 53 LBS/AC  
 OR  
 PENNLAN-PINE FESCUE 40 LBS/AC  
 REDTOP 3 LBS/AC  
 PERSONAL RYEGRASS 20 LBS/AC  
 TOTAL SEEDING = 63 LBS/AC

SLOPES OR UNMOWED AREAS: CROWN VETCH 25 LBS/AC  
 PERSONAL RYEGRASS 35 LBS/AC  
 TOTAL SEEDING = 50 LBS/AC

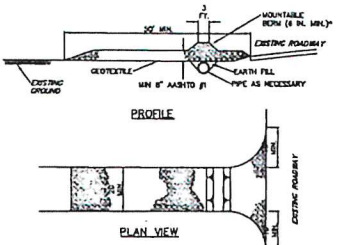
PLANTING DATE: MARCH 1ST TO MAY 15TH, AND AUGUST 15TH TO OCTOBER 1ST.  
 MULCH: STRAW AT A RATE OF 140 LBS/1000 SF. MULCH SHALL BE SECURED BY APPROVED METHODS.



PA ONE CALL TO BE MADE BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.  
 \* INSPECT EROSION AND SEDIMENTATION CONTROLS DAILY ESPECIALLY AFTER HEAVY STORMS.  
 \* REPLACE AND/OR REPAIR EROSION AND SEDIMENTATION CONTROLS AS NECESSARY.

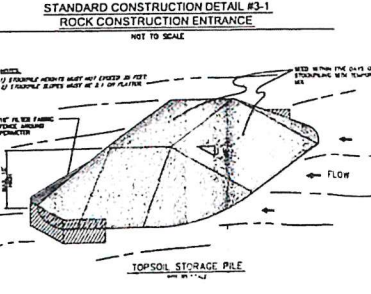
1. NOTIFY TOWNSHIP, TOWNSHIP ENGINEER AND BUTTS COUNTY CONSERVATION DISTRICT THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
2. INSTALL SEDIMENT BARRIERS AND CONSTRUCTION ENTRANCE AS SHOWN IN PLAN VIEW.
3. CLEAR AND GRUB PROPOSED CONSTRUCTION AREA OF EXISTING VEGETATION, STRIP TOPSOIL AND STOODPILE.
4. GRADE REMAINING PORTIONS OF LOT WHICH ARE NECESSARY TO FACILITATE CONSTRUCTION.
5. CONSTRUCT PROPOSED STRUCTURES AND APPURTENANCES.
6. COMPLETE OTHER SITE IMPROVEMENTS.
7. FINAL GRADE ALL DENuded AREAS AND SPREAD STOODPILE TOPSOIL AT MINIMUM OF 8". IMMEDIATELY STABILIZE ALL DENuded AREAS TO REESTABLISH VEGETATION.
8. UPON RE-ESTABLISHMENT OF ALL DENuded AREAS, REMOVE EROSION AND SEDIMENTATION CONTROLS.
9. IMMEDIATELY RE-STABILIZE ANY RE-DISTURBED AREAS.

\* IF THE EXISTING DRIVEWAY WILL BE USED AS THE CONSTRUCTION ENTRANCE, THE STABILIZED ROCK CONSTRUCTION ENTRANCE MAY BE OMITTED. ALL DIRT AND SAND MUST BE REMOVED FROM VEHICLES PRIOR TO ENTRY ONTO A PUBLIC DRIVEWAY. FAILURE TO DO SO MAY RESULT IN DIRECTOR FROM THE TOWNSHIP TO INSTALL THE STABILIZED ROCK CONSTRUCTION ENTRANCE TO ITS PROPOSED FULL LENGTH. WHENEVER IS REQUIRED TO ALLEVIATE THE SITUATION, THE CONTRACTOR SHALL MAINTAIN THE DRIVEWAY DURING THE PROJECT TO PREVENT SOIL FROM BEING TRACKED ONTO THE PUBLIC ROADWAY.

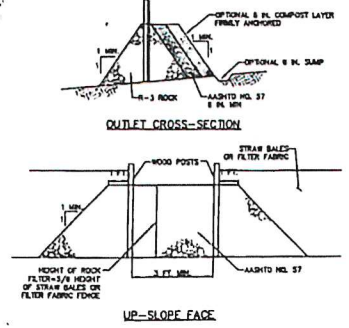


STANDARD CONSTRUCTION DETAIL #3-1  
 ROCK CONSTRUCTION ENTRANCE  
 NOT TO SCALE

ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UP-SLOPE FACE IN 6" AND BY HANDLERS.  
 SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE OUTLET.  
**STANDARD CONSTRUCTION DETAIL #4-6  
 ROCK FILTER OUTLET**  
 NOT TO SCALE

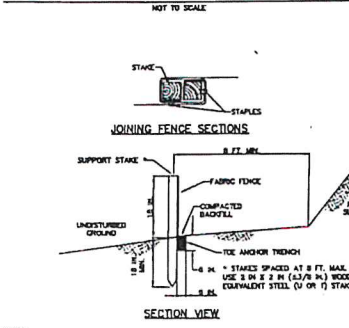


TYPICAL CANTILEVER CONCRETE DECK



OUTLET CROSS-SECTION  
 UP-SLOPE FACE

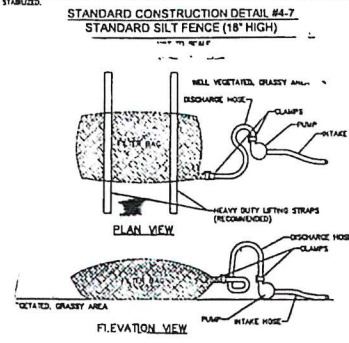
A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UP-SLOPE FACE IN 6" AND BY HANDLERS.  
 SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE OUTLET.  
**STANDARD CONSTRUCTION DETAIL #4-6  
 ROCK FILTER OUTLET**  
 NOT TO SCALE



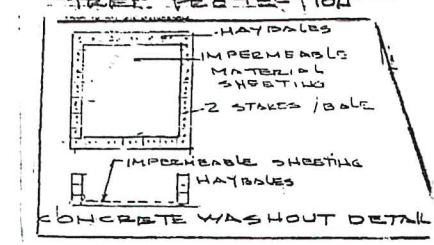
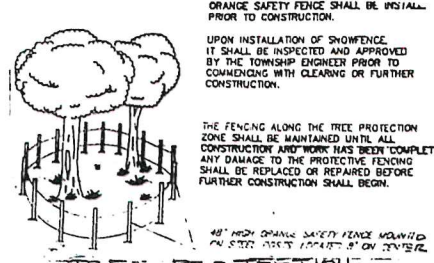
JOINING FENCE SECTIONS  
 SECTION VIEW

FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE A3 OF THE PA DEP EROSION CONTROL MANUAL.  
 FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (2" OR 1 1/2" STAKES).  
 SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE, BOTH SIDES OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT AN ANGLE TO THE MAIN FENCE ALIGNMENT.  
 SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.  
 ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL #4-6).  
 FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

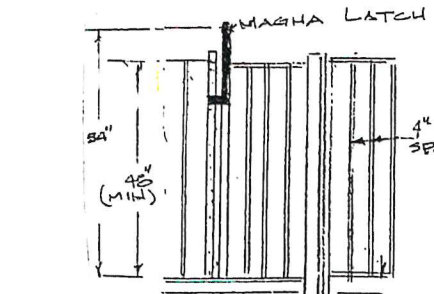
**STANDARD CONSTRUCTION DETAIL #4-7  
 STANDARD SILT FENCE (18" HIGH)**  
 NOT TO SCALE



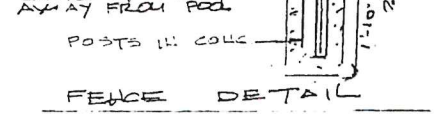
PLAN VIEW  
 ELEVATION VIEW  
**FILTER BAG DETAIL**



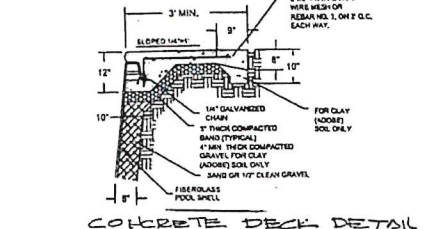
CONCRETE WASHOUT DETAIL



GATE OPENS AWAY FROM POOL



FENCE DETAIL



CONCRETE DECK DETAIL

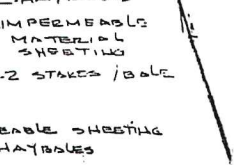
ORANGE SAFETY FENCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION.

UPON INSTALLATION OF SHORFPENCE, IT SHALL BE INSPECTED AND APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO COMMENCING WITH CLEARING OR FURTHER CONSTRUCTION.

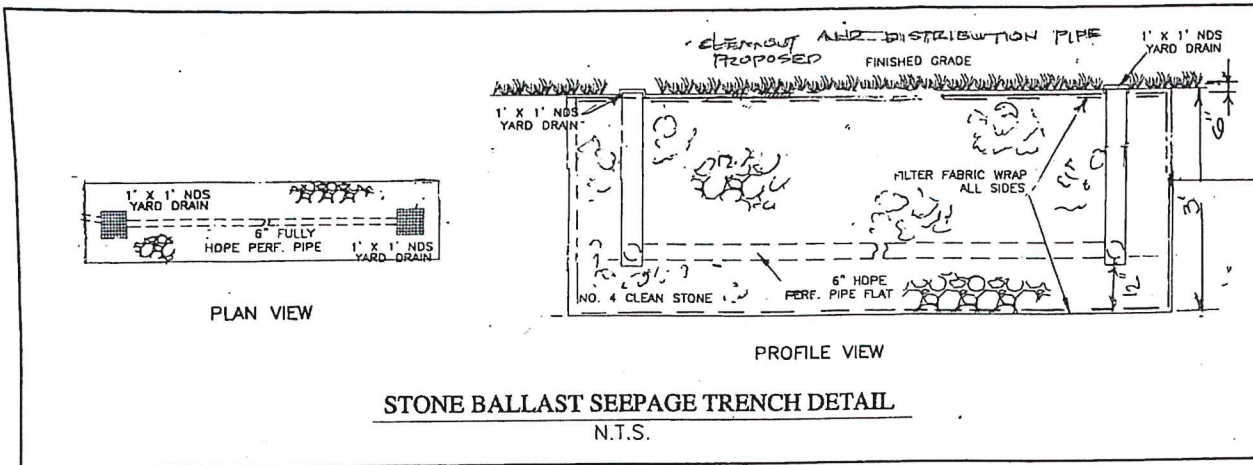
THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE MAINTAINED UNTIL ALL CONSTRUCTION AND WORK HAS BEEN COMPLETE. ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPLACED OR REPAIRED BEFORE FURTHER CONSTRUCTION SHALL BEGIN.

48" HIGH ORANGE SAFETY FENCE MAINTAINED FOR SITE DISTURBANCE

**TREE PROTECTION**



CONCRETE WASHOUT DETAIL



• VALVES TO BE INSTALLED AT BOTH ENDS TO ALLOW ACCESS TO THE PERFORATED PIPE

• GEOTEXTILE MAT TO BE INSTALLED ALL SIDES, TOP & BOTTOM

• WATER FLOW TO BE DIRECTED TO TRENCH

• MIN. 12" SUMP AT BOTTOM THAT WILL NOT AS A SEDIMENTATION TRAP TO PREVENT THE DISTRIBUTION PIPE FROM CLOGGING WITH SEDIMENT

• PROPERTY OWNER TO SIGN A O & M AGREEMENT FOR THE STORMWATER FACILITY. ANY REVISION TO THE APPROVED SUM MUST BE APPROVED BY THE TOWNSHIP IN WRITING

NOTES

- 1)  $840 \text{ SQ FT.} \times 2" \text{ RAINFALL} / 12 / .4 \text{ VOIDS} = 853.75 \text{ CU. FT}$   
 $353.75 / 6 = 58.96 \quad 58.96 / 3 = 19.7 \approx 3' \times 6' \times 20' \text{ LONG}$
- 2) FENCE TO MEET THE REQUIREMENTS OF PA. UNIFORM CONST. CODE AS AMENDED 2015 INTERNATIONAL CODE
- 3) PROVISION OF DRAINAGE OF POOL AND BACKWASH WATER DISPOSAL TO MEET THE REQUIREMENTS OF THE DEPT. OF HEALTH. WATER SHALL NOT BE EMPTIED ONTO THE PUBLIC ROADS OR ADJOINING LANDS OR INTO THE PUBLIC SANITARY SEWER SYSTEM.
- 4) EXISTING UTILITIES TO BE VERIFIED BEFORE CONSTRUCTION IF ACCESS IS REQUIRED TO TRAVERSE EXISTING UTILITY LINES ADEQUATE MEASURES FOR PROTECTION SHALL BE PROVIDED
- 5) UTILITY PROVIDER LIST
  - PECO ELECTRIC 1-800-841-4141
  - BUCKS COUNTY WATER & SEWER AUTHORITY 215-843-2538
  - AMERICAN WATER 1-800-565-7292

DETAIL SHEET

**ZONING DATA:**

R-27 RESIDENTIAL - MEDIUM DENSITY  
CURRENT USE: A1 SINGLE FAMILY DETACHED  
PROPOSED: AS-11 PRIVATE IN-GROUND SWIMMING POOL

Table with 4 columns: DESCRIPTION, REQUIRED, EXISTING, PROPOSED. Rows include MIN. LOT AREA, MIN. LOT WIDTH, MIN. FRONT YARD, MIN. SIDE YARD, MIN. REAR YARD, and MAX. IMPERVIOUS SURFACE.

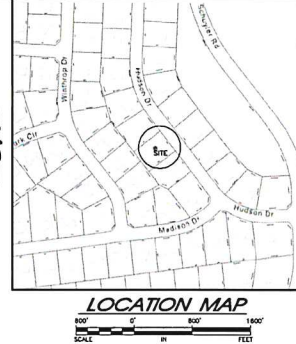
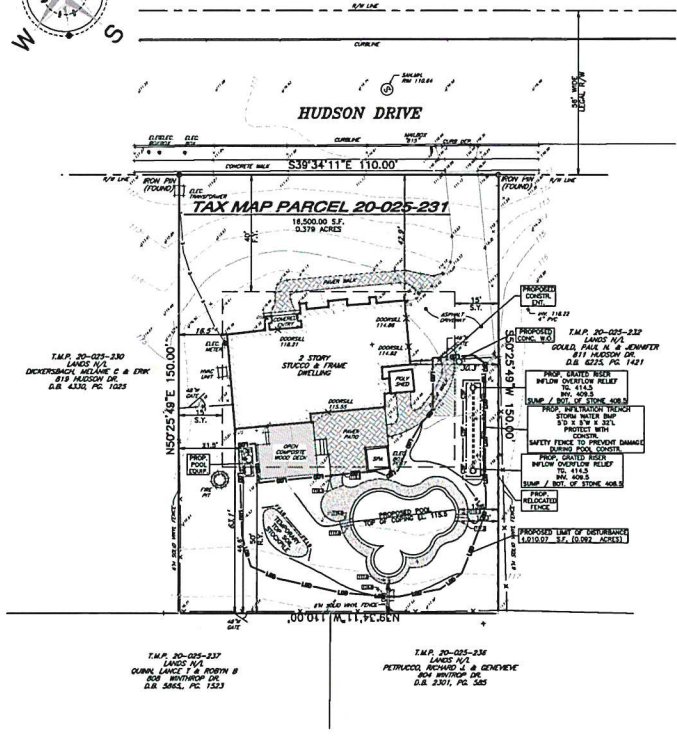
\* EXISTING NON-CONFORMITY  
\*\* PROPOSED NON-CONFORMITY

**IMPERVIOUS CALCULATIONS:**

Table with 4 columns: DESCRIPTION, EXISTING, PROPOSED, TOTAL. Rows include DWELLING, PORCH, DRIVEWAY, LEAK WALK, PAVEMENT, PAPER WALK, POLY SHAED, POOL COPING, POOL DECK, and EDGAR PAD.

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS  
BASED ON LOCAL AGRICULTURE SOIL SURVEY OF BERKS COUNTY

Table with 4 columns: SYMBOL, SWAPPING LIMITS, SYMBOL, SWAPPING LIMITS. Rows include Upland Forest Complex and Forest of Swamps.



**GENERAL NOTES:**

- 1. THE BOUNDARY AND COSTING FEATURES AS SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY CANNONHEAD'S SURVEYING SERVICES ON SEPTEMBER 21, 2023.
- 2. DESCRIPTIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKS BY UTILITY OWNERS, AND/OR ABOVE GROUND OBSERVATION...

**POOL NOTES:**

- 1. PRIVATE SWIMMING POOLS: A PRIVATE SWIMMING POOL AND FENCE ACCESSORY THEREIN MAY BE ERECTED IN A REAR YARD, SIDE YARD OR SPECIAL SETBACK IN ANY RESIDENTIAL DISTRICT...
- 2. IT SHALL BE SUBMITTAL REVIEWED AND LOCATED SO AS NOT TO BECOME A HAZARD OR OBSTACLE TO ADJACENT PROPERTIES OWNERS ON THE PUBLIC OUTDOOR LIGHTS IF USED SHALL BE SHIELDED AND NOT REFLECTED TOWARD ADJACENT RESIDENTIAL PROPERTIES.

**REFERENCES:**

- 1. DEED INSTRUMENT # 2023101417000
- 2. PLAN OF SURVEY THEREON SHOW AS PARCELY HUNT AS PREPARED BY THE STATE ENGINEERS, DATED 8-10-75 AND RECORDED IN THE OFFICE FOR THE RECORDS OF DEEDS IN AND FOR THE COUNTY OF BERKS IN PLAN BOOK 138 PAGE 2.

**ACKNOWLEDGEMENTS**

PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES. ALL FACILITIES SHALL MEET THE PERFORMANCE STANDARDS AND DESIGN CRITERIA SPECIFIED IN CHAPTER 173 STORM WATER.

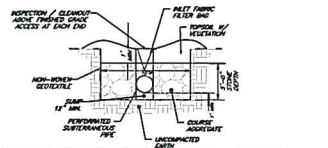
**SOILS EVALUATION NOTE:**

A SOILS EVALUATION OF THE PROJECT SITE HAS NOT BEEN PERFORMED. IF DURING THE COURSE OF CONSTRUCTION OF THE STORM WATER MANAGEMENT FACILITY ANY RESTRICTIVE SOIL LAYERS ARE DISCOVERED (I.E. SEASONAL HIGH WATER TABLE, BEDROCK, ETC.) AN ALTERNATE METHOD OF STORM WATER MANAGEMENT MUST BE DESIGNED AND APPROVED WITH THE TOWNSHIP'S STORM WATER ORDINANCE IN EFFECT AT THAT TIME AND APPROVED BY THE TOWNSHIP.

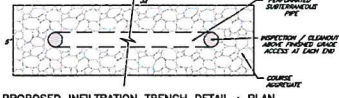
**INFILTRATION BED NOTES**

LOCATION OF PROPOSED INFILTRATION BED SHALL CONFORM TO THE REGULATIONS SET FORTH IN THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL... LOCATED IN CHAPTER 8. ADDITIONALLY, THE BED'S INETS MUST BE PROTECTED AT ALL TIMES FROM DAMAGE DURING CONSTRUCTION AND AFTER COMPLETION WITH A CONFORMING FENCE. FENCES MUST BE CHECKED AND CLEANED AT LEAST ANNUALLY.

**INFILTRATION BED**



PROPOSED INFILTRATION TRENCH DETAIL - PROFILE



PROPOSED INFILTRATION TRENCH DETAIL - PLAN

**VOLUME CONTROL CALCULATIONS**

VOLUME (CUBIC FEET) = (2 INCHES RUNOFF/12 INCHES) \* IMPERVIOUS SURFACE (50 FT) \* 314.2 (CIRCUMFERENCE) \* (2 INCHES RUNOFF/12 INCHES) \* 1.807 (SOI 17)

**DRAINAGE PLAN CERTIFICATION**

ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE MUNICIPALITY AND THAT A REVISED DESIGN AND SEWAGE CONTROL PLAN MUST BE SUBMITTED TO THE MUNICIPALITY AND COUNTY CONSERVATION DISTRICT FOR APPROVAL.

**DESIGN ENGINEER CERTIFICATION**

I, PATRICK CANNONHEAD, ON THIS DATE (DATE OF SIGNATURE), HEREBY CERTIFY THAT THIS SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE RESPECTIVE CREEK WATERSHED ACT 187 STORMWATER MANAGEMENT ORDINANCE OR PLAN.

**LEGEND:**

- CONTOURS
- ADJACENT CONTOURS
- PROPOSED CONTOURS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMIT OF DISTURBANCE
- 18" FILTER FABRIC FENCE
- 30" SUPER SILT FENCE
- SEDIMENT FILTER LOG
- 30' SUPER SILT FENCE
- CONSTRUCTION SAFETY FENCE
- SANITARY SEWER LINE
- GAS LINE
- TELEPHONE LINE
- WATER LINE
- ELECTRIC LINE
- STORM DRAINAGE FACILITIES
- SOIL MAPPING SYMBOLS
- SOILS BOUNDARY

PENNSYLVANIA ONE CALL SYSTEM, INC.



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1778

SHEET 1 OF 2  
REVISION  
SCALE: 1" = 20'  
DATE: SEPTEMBER 27, 2023  
PROJECT NO.: 2023-0901

OWNER: PATRICK CANNONHEAD  
PROJECT: TAX PARCEL 20-025-231

ZONING PERMIT PLAN  
TAX PARCEL 20-025-231  
815 HUDSON DRIVE  
LOWER MERIDALE TOWNSHIP  
BERKS COUNTY, PENNSYLVANIA

SURVEYING SERVICES  
PATRICK CANNONHEAD, P.E.  
DOWNTOWN BERKS COUNTY COURTHOUSE  
201 N. 4TH ST., SUITE 201  
P.O. BOX 1000  
LEWISBURG, PA 17841  
CELL: 281-814-4444  
FAX: 717-854-4444

REVISION	DATE	DESCRIPTION

OWNER:  
815 HUDSON DRIVE  
DUNELLEN, PA 19047

TAX PARCEL 20-025-231  
815 HUDSON DRIVE  
WORTHINGTON TOWNSHIP  
BUCKS COUNTY, PENNSYLVANIA

EROSION / SEDIMENTATION CONTROL DETAIL SHEET

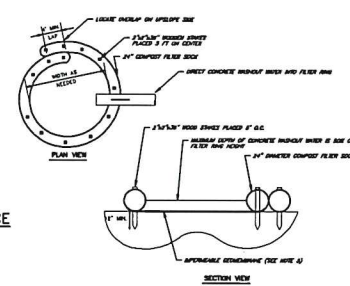
**SURVEYING SERVICES**  
PATRICK CAMMANN, PLS  
DUNELLEN, PA 19047  
TEL: 215-814-5171 • CDR@CAMMANN.COM

**GENERAL CONSERVATION NOTES AND SPECIFICATIONS**

- I. GENERAL INFORMATION**
- The erosion and sedimentation control plan shall be available at the site.
  - No sediment or erosion control mat shall be allowed to leak the site without first being properly treated.
  - Any sediment that is found on or near the road must be cleaned off before the end of the day.
  - Whenever a road is closed and traffic will remain stopped, the contractor shall place and maintain appropriate safety measures, including advance warning signs, flaggers, cones, and other traffic control devices, to protect the public and the work area. These measures shall be removed immediately after the work is completed.
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- V. STANDARD FOR PERMANENT STABILIZATION**
- Grass seed and fertilizer shall be applied to the soil at a rate of 100 lbs of seed and 10 lbs of fertilizer per 1,000 sq. ft. of area.
  - Soil should be tested for pH, nitrogen, and phosphorus. If needed, soil should be amended to a pH of 6.0-7.0 and 100 lbs of fertilizer per 1,000 sq. ft. of area.
  - Soil should be tested for sediment. If needed, the contractor shall place and maintain appropriate sediment control measures.
  - Soil should be tested for nutrients. If needed, the contractor shall place and maintain appropriate nutrient control measures.
  - Soil should be tested for contaminants. If needed, the contractor shall place and maintain appropriate contaminant control measures.

**CONSTRUCTION SEQUENCE**

- INSTALL PERMANENT STABILIZATION MEASURES AS DESIGNATED ON THE PLAN.
- INSTALL PERMANENT STABILIZATION MEASURES AND MAINTENANCE BEFORE CONSTRUCTION VEHICLES SHALL BE PROHIBITED FROM ENTERING PERMITTED AREAS DURING CONSTRUCTION.
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**INFILTRATION TRENCH CONSTRUCTION SEQUENCE**

- CLEAR AND GRADE AREA FOR INSTALLATION OF INFILTRATION TRENCH.
- INSTALL PERMANENT STABILIZATION MEASURES AS DESIGNATED ON THE PLAN.
- INSTALL PERMANENT STABILIZATION MEASURES AND MAINTENANCE BEFORE CONSTRUCTION VEHICLES SHALL BE PROHIBITED FROM ENTERING PERMITTED AREAS DURING CONSTRUCTION.

**COMPOST FILTER SOCK  
CONCRETE WASH OUT DETAIL**

**STANDARD CONSTRUCTION DETAIL #3-18  
PUMPED WATER FILTER BAG**



**COMPOST FILTER SOCK CONCRETE WASH OUT DETAIL**

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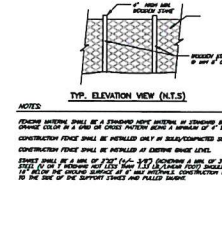
**STANDARD CONSTRUCTION DETAIL #3-18  
PUMPED WATER FILTER BAG**

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**EROSION/SEDIMENT CONTROL STANDARD NOTES**

- STOOPLE HEIGHTS MUST NOT EXCEED SIX FEET. STOOPLE SLUICES MUST NOT EXCEED SIX INCHES.
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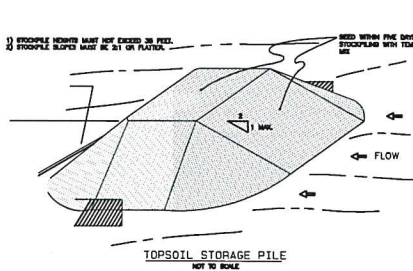
**CONSTRUCTION FENCE DETAIL**



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**TREE PROTECTION DETAIL**



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**SEEDING SPECIFICATIONS**

- SEEDING SHOULD BE COMPLETED BY 10/31 AND MAY 15TH OR BETWEEN AUGUST 15TH AND NO LATER THAN OCTOBER 15TH.
- SEEDING SHOULD BE COMPLETED BY 10/31 AND MAY 15TH OR BETWEEN AUGUST 15TH AND NO LATER THAN OCTOBER 15TH.
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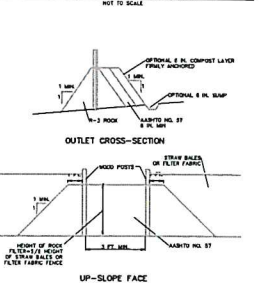
**RECEIVING STRATA DATA**

HEAVIEST STRATA BROCK OR STROM GRANULATED OR WATER FINESS, IF DIAGNOSTIC FINES

**WATERSHED DATA**

DELINIE WATER SOURCE SOURCE: BUCKS COUNTY WATERSHED MAP PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION

**STANDARD CONSTRUCTION DETAIL #4-7  
STANDARD SLIT FENCE (18\"/>**



**STANDARD CONSTRUCTION DETAIL #4-7  
STANDARD SLIT FENCE (18\"/>**

**STANDARD CONSTRUCTION DETAIL #4-6  
ROCK FILTER OUTLET**

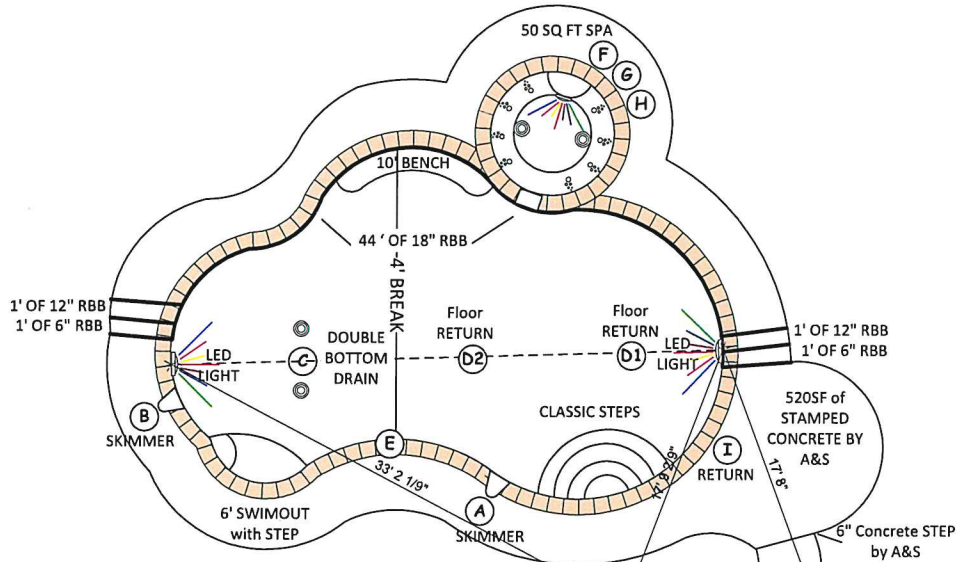
NOT TO SCALE

NOT TO SCALE

CABLE/UTILITY NUMBER #

\*\*\*\*\*CREWS\*\*\*\*\*  
PLEASE KEEP SITE CLEAN & FREE OF TRASH

NOT FOR CONSTRUCTION



- TOTAL WATER: 621 SQ FT
- TOTAL PERIMETER: 121 LN FT
- 3X3 WASH OUT PIT
- ACCESS: USE LEFT SIDE
- PLUMBING: KEEP SPA AIR LINE CLOSE TO FORMS
- EXCAVATOR: SEE DETAILS PG 2
- DECK BY A&S
- GAS BY OWNER
- FENCE BY OWNER

PLUMBING SIZE	RUN
A- SKIMMER 2"	67 FT
B- SKIMMER 2"	91 FT
C- MAIN DRAIN 2"	91 FT
D1-FLOOR RET 2"	62 FT
D2-FLOOR RET 1.5"	10 FT
E- CLEANER 1.5"	74 FT
F- SPA MAIN DRN 2"	66 FT
G- SPA JETS 2"	66 FT
H- SPA AIR LINE 2"	66 FT
I- RETURN 2"	50 FT

ANTHONY & SYLVAN POOLS LEGEND			
Gilmore, Mahoney		JOB NO: 2301110269	
CUSTOMER INFORMATION			
CUSTOMER: JOHN GILMORE	CUSTOMER: MY G. MAHONEY	Lower Merfield	
ADDRESS: 815 HUDSON DRIVE	STATE: PA	BUCKS	
CITY: YARDLEY	COUNTY: BUCKS	mygmahoney@gmail.com	
ZIP: 19087	MR. CELL: 215-280-9040	MR. EMAIL: jbucketboy@gmail.com	MR. EMAIL: mygmahoney@gmail.com
POOL INFORMATION			
MAX. WIDTH: 18'	FT	POOL/NEB PERIMETER: 96	FT
MAX. LENGTH: 33'	FT	POOL/NEB SQ. FT.: 571	SOFT
DEPTH: 3 to 6		APPROX. VOLUME/T.O.: 13,500	GAL
DIVING POOL: No		INTERNAL AREA: 1,003	SOFT
EXCAVATION			
DIG TYPE: BOBCAT	LF	CONCRETE REMOVAL: 0	SF
STUMP REMOVAL: 0	QTY	GRADING: 1	LOADS
FENCE/WALL REMOVAL: NONE	LF	SILT FENCE TYPE: 1	LF
DIRT HAUL: HAUL		LF FENCE (TOTAL FEET): 1	LF
POOL SPECIFICATIONS			
POOL COPING: STANDARD TBD - ADO™ REQ'D		POOL COPING LF: 96	LF
SPA/RBB COPING: STANDARD TBD - ADO™ REQ'D		SPA/RBB COPING LF: 28	LF
COPING COLOR CHOICE:		NOTCH BEAM: 44	LF
COPING GROUT COLOR:		BROWN COAT: 0	SF
EXT. 2ND STEP/BENCH: 10	LF	TILE CHOICE:	
SWIM OUT: 6	LF	TILE GROUT COLOR:	
SUN SHELF: 0	SF	TRIM TILE: NONE	0
RBB 18" - LF: 44	LF	INTERIOR FINISH TYPE: ANSYLBRITE QUARTZ FINISH - COBALT	
RBB 6" - LF: 2	LF	INTERIOR FINISH COLOR:	
RBB 12" - LF: 2	LF	INTERIOR OPTIONS:	
NONE: 0	LF	FITTINGS:	NONE
POOL EQUIPMENT			
FILTER TYPE: 48 SF DE		BOOSTER PUMP: NONE	
FILTER RUN FT: 83	SIZE: 2.0'	BOOSTER PUMP RUN: 0	SIZE: 2.0'
POOL PUMP: 2.7 HP VS		BOOSTER PUMP: NONE	
SKIMMERS: 2	QTY	BOOSTER PUMP RUN: 0	SIZE: 2.0'
ADDL SKIMMERS RUN: 0	LF	AUTOMATION: PDA-P56 (6 FUNCTION/S AUX)	
RETURNS: 3	QTY	AUTO MISC: IAQUALINK 2.0 & IQ2ORS WEB CON	1
FILL TYPE: NONE		CHLORINATOR: FUSION SOFT	
FILL LINE DISTANCE: 0	LF	SANITIZER: NONE	
HEATER: 399K BTU/LP		SANITIZER: NONE	
POOL LIGHTS: POOL COLOR LED QTY 2		CLEANER: POLARIS TR36P	
OTHER POOL LIGHTS: NONE QTY 0		CLEANER: NONE	
ACCESSORIES: NONE		CLEANER: NONE	
ACCESSORIES: NONE		VACUUM KIT: YES	
CLIP ANCHORS: Yes		POOL COVER: SOLID COVER - TBD - SF	
COVER PUMP: 1		AUTO COVER UD: N/A	
WATER FEATURES			
WATER FEATURE 1: NONE		NEGATIVE EDGE: NO	
W/F 1 QTY/RUN: 0	LF N/A	NEGATIVE EDGE RUN: 0	LF
WATER FEATURE 2: NONE		ACCESSORIES: NONE	
W/F 2 QTY/RUN: 0	LF N/A	ACCESSORIES RUN: 0	LF
WATER FEATURE 3: NONE		ACCESSORIES: NONE	
W/F 3 QTY/RUN: 0	LF N/A	ACCESSORIES RUN: 0	LF
WATER FEATURE 4: NONE		ACCESSORIES: NONE	
W/F 4 QTY/RUN: 0	LF N/A	ACCESSORIES RUN: 0	LF
SPA SPECIFICATIONS			
SPA SQ FT: 49	WIDTH/LENGTH	8' In Diameter	
SPA PERIMETER: 25	LF	SPA PLUG RUN: 61	SIZE: 2"
SPA LIGHT(S) TYPE: SPA COLOR LED QTY 1		SPA RAISED HEIGHT: NONE	INCHES
AIR BLOWER: 2.0HP AIR BLOWER		SPA FACING (POOLSIDE): Cultured Stone	
JETS (QTY): 8		SPA FACING (DRYSIDE): DECK	
SPA ACCESSORIES: NONE QTY 0		SPA VENEER AREA: 69	SOFT
SPA ACCESSORIES: NONE QTY 0		SPILLWAY TYPE/WIDTH: NOTCH	LF
DECK - ELECTRIC - GAS SPECIFICATIONS			
POOL DECK AREA: 520	SF	POOL DECK DRAINAGE: DECK-D-DRAIN - LF	4
POOL DECK MATERIAL: PATTERNED CONCRETE - 18"X18" SLATE		OTHER DECK DRAINAGE: NONE	0
POOL DECK COLOR: N/A		OTHER DECK DRAINAGE: NONE	0
EXISTING DECK TOPPING: NONE		DOWNSPOUT CONNECT: N/A	
EXISTING DECK AREA: 50		DECK OTHER: NONE	0
DECK CONTRACTOR: A&S		DECK OTHER: NONE	0
ELECTRIC CONTRACTOR: A&S		CONCRETE PUMP: NO	
SUB PANEL: NO		STEP TREAD/RISER: STEPS 4" MINIMUM - LF	
FENCE CONTRACTOR: BY HOMEOWNER		POOL DECK STEPS: 22	LF
DOOR / GATE ALARMS: NONE		TURNDOWN: 0	SOFT
HEATER GAS PLUMB: 0	LF	OTHER GAS PLUMB: 0	LF
GAS SIZE & TYPE: N/A		GAS SIZE & TYPE: N/A	
HEATER GAS TRENCH: BACKFILL TRENCHES 1		OTHER GAS TRENCH: NONE	0

2 MACHINE EXCAVATION



ELECTRIC



DRAWING SCALED AT 1/8" = 1'  
1" = 8'

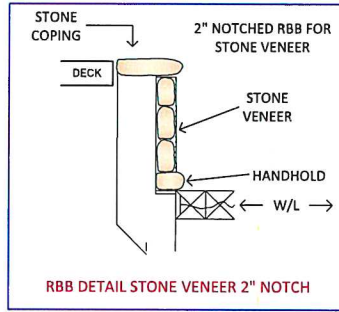
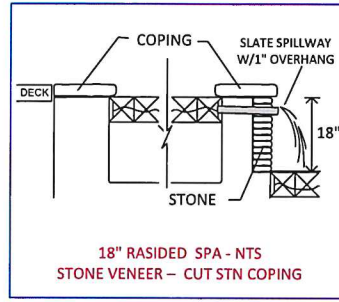
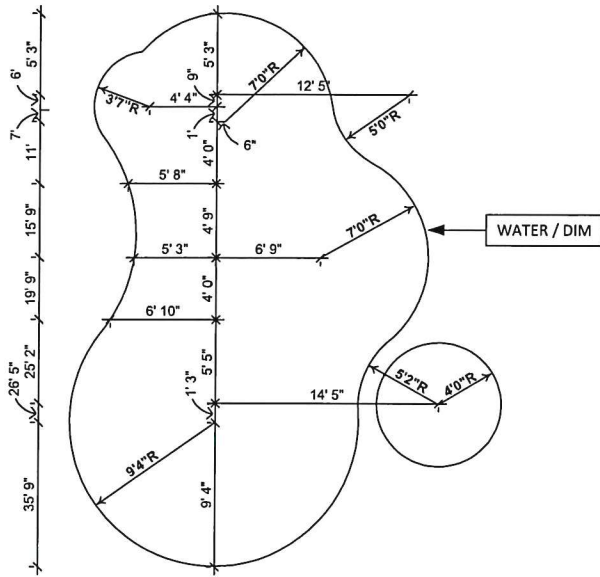
\*\*\*NOTE\*\*\*  
CHANGES FROM THE AGREEMENT ARE BY ADDENDUM ONLY, SIGNED BY BOTH PARTIES, AND PAID IN FULL AT TIME OF AFFIXING SIGNATURE. NO CHANGES WILL OCCUR PRIOR TO SIGNING AND PAYMENT.

NOTE: TO BE NUMBERED AND REFERRED TO ON PLAN VIA SYMBOL	
T.O.C. = @ BM	

REVISIONS	
DATE	DESCRIPTION
09.28.23	INITIAL DRAFT

NOT FOR CONSTRUCTION

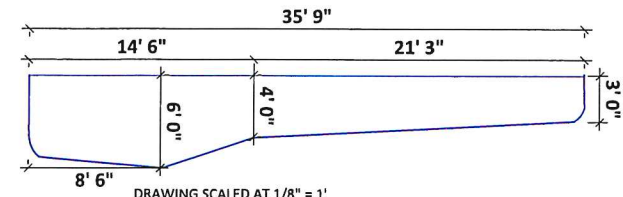
POOL LAYOUT DETAIL



SITE CONDITIONS							
WATER SOURCE:	CITY WATER	SEWER:	PUBLIC SEWER				
BACKYARD FEATURES							
WALLS:	NONE	0	SQFT	WALLS:	NONE	0	SQFT
WALL CAP:	NONE	0	LF	WALL CAP:	NONE	0	LF
WALL OPTIONS:	NONE	0	LF	FENCE GATE:	NONE	0	QTY
FENCE GATE:	NONE	0	QTY	FENCE TYPE:	NONE	0	LF
POOL SETBACKS							
REAR:	10' to Deck	FT.	EQUIPMENT:	10'	FT.		
SIDES:	10' to Deck	FT.	FENCE:	PL	FT.		
HOUSE:	10' to WL	FT.	OTHER SETBACKS:	0	FT.		
ANTHONY & SYLVAN CO							
DESIGNER:	ROBERT MCCUBBIN	CELL PHONE NO:	215-431-3404				
A&S OFFICE:	BUXMONT	OFFICE PHONE NO:	(267) 893-8227				
ADDRESS:	3739 EASTON RD, DOHLESTOWN, PA 18901	TOWNSHIP:	Lower Makefield				
GENERAL MANAGER:	JR GOLDBERG	OFFICE PHONE NO:	(267) 893-8227				
PROJECT MANAGER:	Karl Stief	CELL PHONE NO:	484-889-6125				

PHASE	EXTRA DETAILS
PRE EXC	IE. STAKEOUT INSPECT (ALSO NOTE IF E&S CONTROLS NEEDED)
EXCAVATION	FILL CONDITION PREP EQUIPMENT AREA TO DETAIL
STEEL	A&S
PLUMBING	A&S
CONCRETE	A&S
TILE/COPING	A&S
ELECTRIC	A&S
WALL	---
DECK	520SQ.FT. STAMPED CONCRETE ON CONTRACT
FENCE	BY HOMEOWNER
FINAL GRADE	OWNERS CONTRACTOR
PLASTER AND WATER	WATER NOT INCLUDED
OTHER	N/A
OTHER	N/A
OTHER	N/A

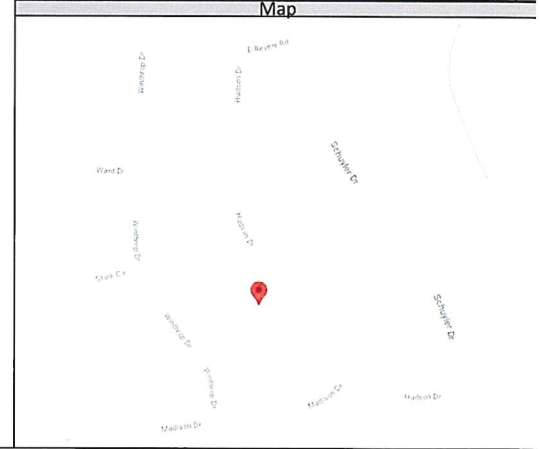
CROSS SECTION DETAIL / DEPTH PROFILE

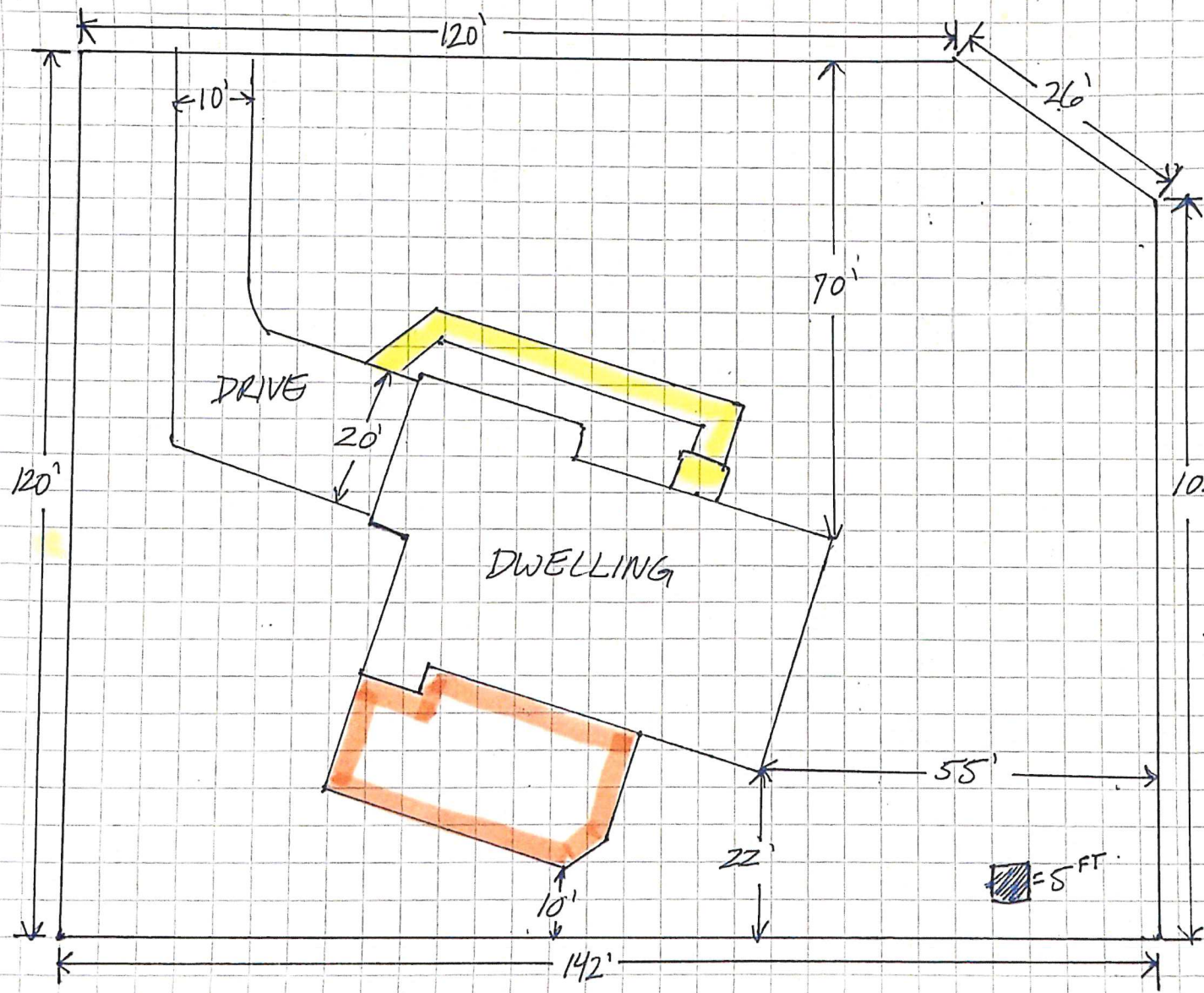




DRAWING SCALED AT 1/8" = 1'  
1" = 8'



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-  = FRONT WALKWAY & LANDING
-  = REAR DECK/PATIO

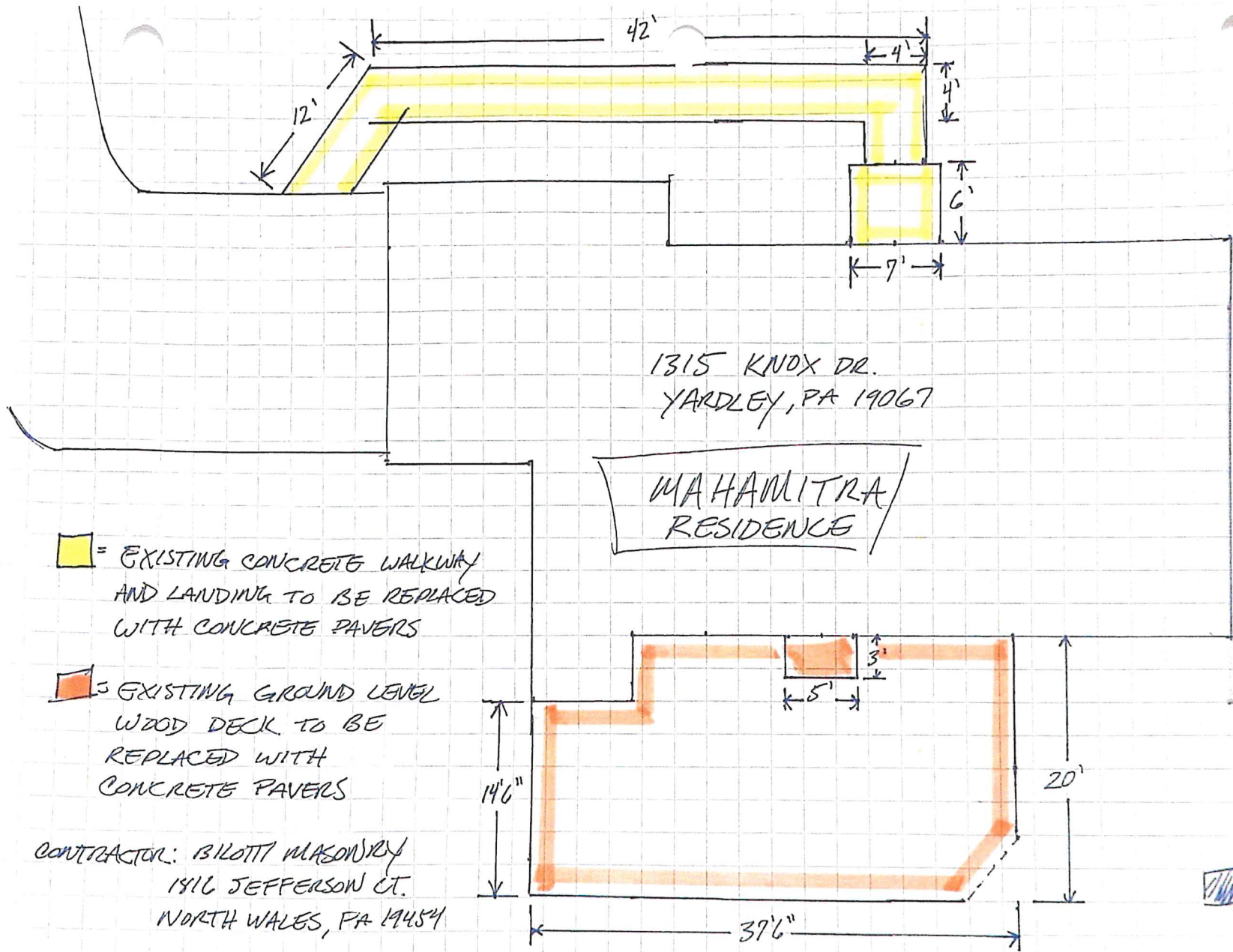
1315 KNOX DR  
YARDLEY PA.

MAHAMITRA  
RESIDENCE

CONTRACTOR!  
BILOTTI MASONRY  
1816 JEFFERSON CT.  
NORTH WALES PA

 = 5 FT.





1315 KNOX DR.  
YARDLEY, PA 19067

MAHAMITRA  
RESIDENCE

= EXISTING CONCRETE WALKWAY  
AND LANDING TO BE REPLACED  
WITH CONCRETE PAVERS

= EXISTING GROUND LEVEL  
WOOD DECK TO BE  
REPLACED WITH  
CONCRETE PAVERS

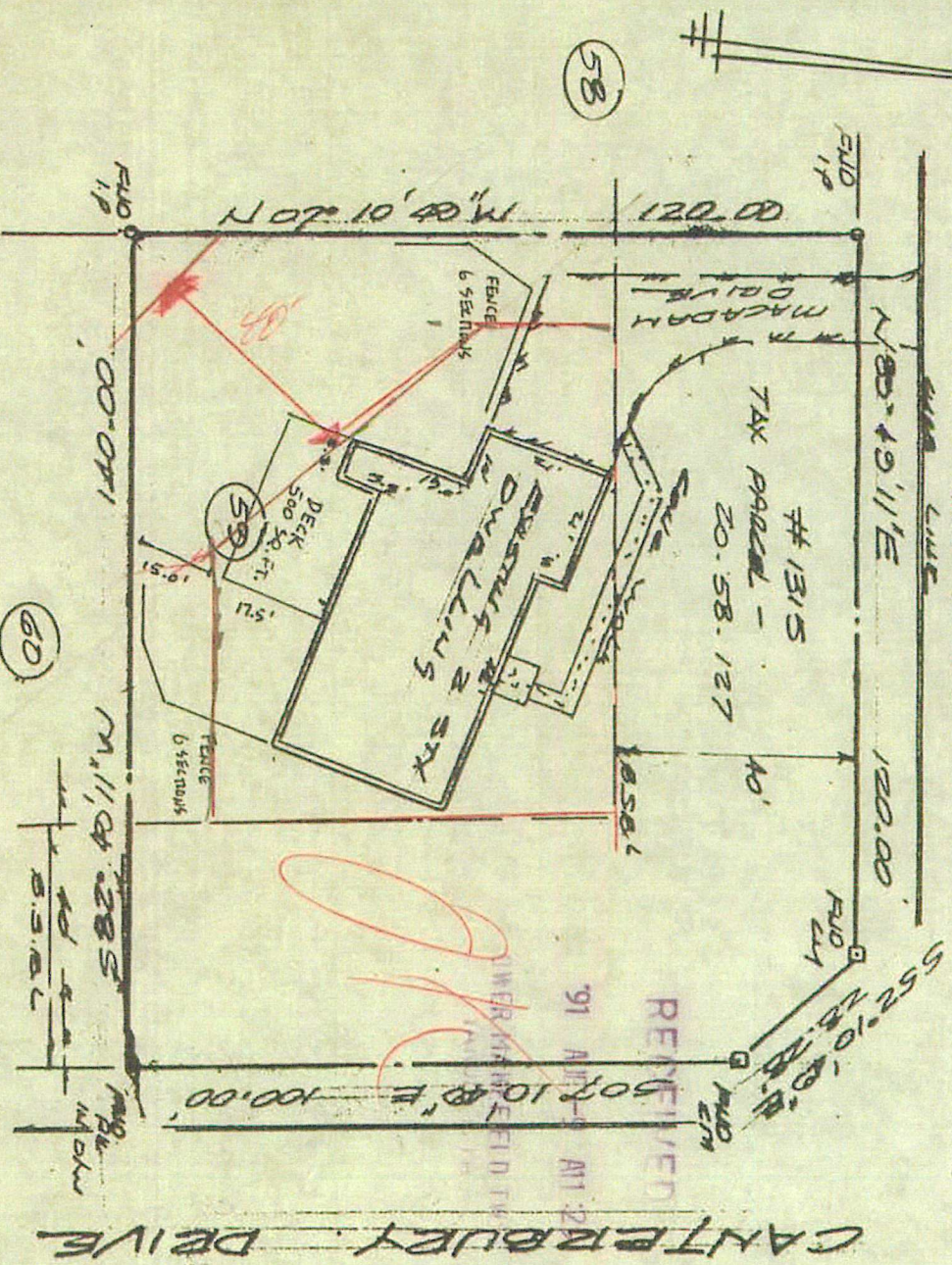
CONTRACTOR: BILOTTI MASONRY  
1816 JEFFERSON CT.  
NORTH WALES, PA 19454

= 2.5 FT

P#1

# KNOX DRIVE

(56' ROW)



CANTERBURY DRIVE

- NOTES
- 1) RETIREMENT - PLAN OF RESIDENTIAL PROPERTIES
  - 2) PAID PARCEL BY LAND & ADJACENT 45804, DATED MAY 21, 1978

*This copy is for the PA*  
*COPIES FOR THE PA*

RECEIVED  
 JUL 30 '91  
 PER MAKEFIELD  
 PA

PAID PARCEL FOR  
 CHRIS &  
 BEVAN DOUTY

LOWER MAKEFIELD TOWNSHIP  
 BUCKS COUNTY, PA

KENNETH C. SEELY

PO BOX 174  
 WASHINGTON TWP  
 CEDARSHURF, PA  
 215-493-1226

*Kenneth C. Seely*

DATE: 6-24-91  
 SCALE: 1"=30'

1617-21-P