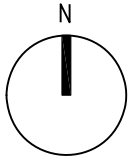


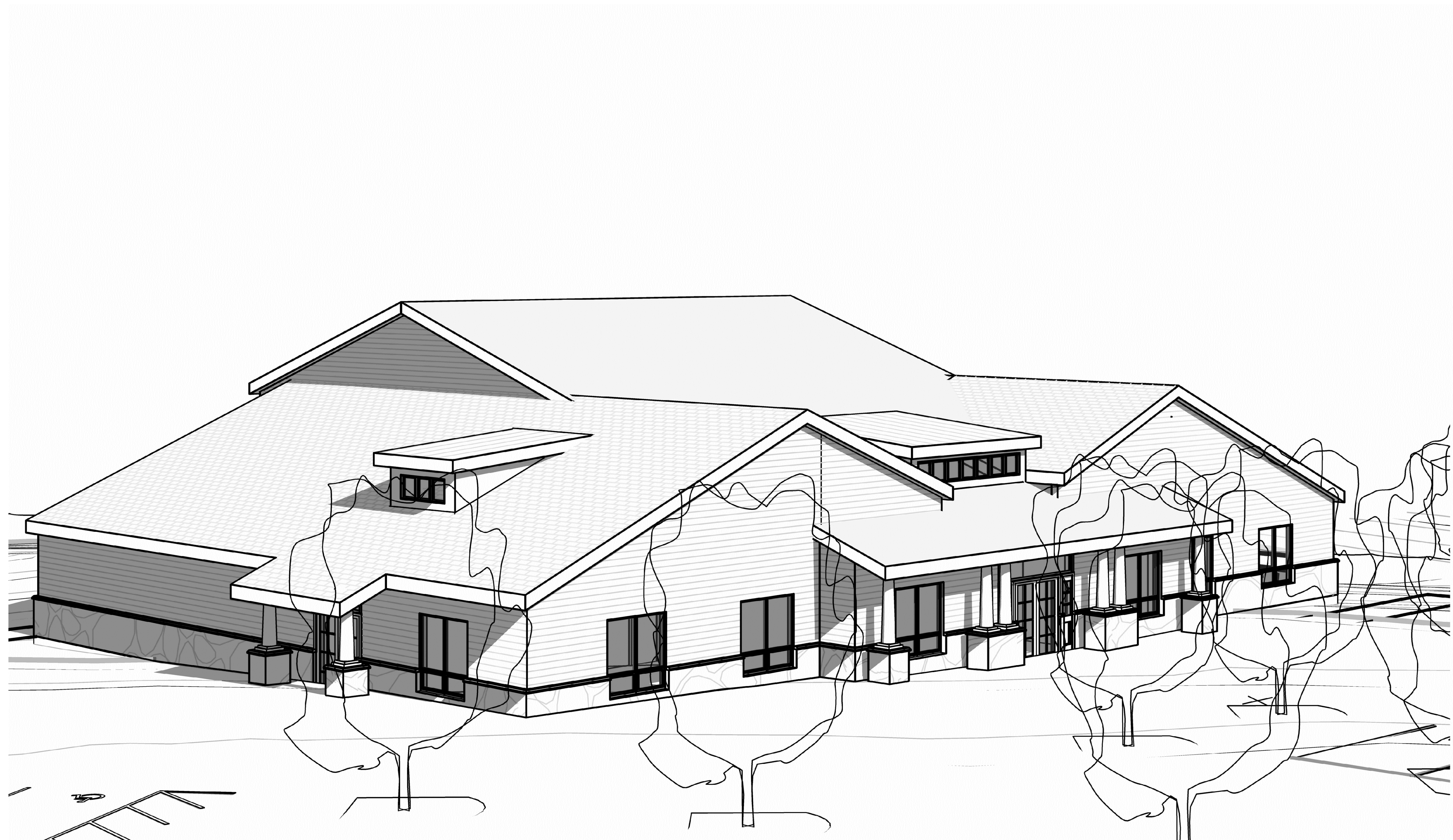
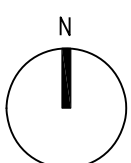
**AREA PLAN**  
N.T.S

SITE



**SITE PLAN**  
N.T.S

SITE



# LOWER MAKEFIELD COMMUNITY CENTER

Oxford Valley Road  
Lower Makefield Township, PA

**ISSUED FOR CONSTRUCTION**  
MARCH 4, 2015



**THE TOWNSHIP OF  
LOWER MAKEFIELD**  
BUCKS COUNTY, PENNSYLVANIA



**Boucher & James, Inc.**  
1456 FERRY ROAD, BUILDING 500  
DOYLESTOWN, PA 18901  
VOICE: 215 | 345 | 9400

SITE/CIVIL



**Holstein White, Inc.**  
210 E. STREET RD., SUITE 2D  
FEASTERVILLE, PA 19053  
VOICE: 215 | 322 | 7711  
FAX: 215 | 322 | 7709

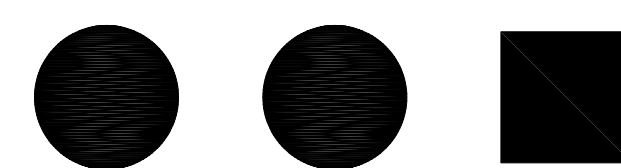
M.E.P.

**Harrison-Hamnett, P.C.**  
Consulting Structural Engineers

**Harrison-Hamnett, P.C.**  
40 KNOWLES STREET  
PENNINGTON, NJ 08534  
VOICE: 609 | 818 | 1808  
FAX: 609 | 818 | 1809

STRUCTURAL

# Clarke Caton Hintz



Planning  
Architecture  
Landscape Architecture  
Historic Preservation

Drawings Copyright © 2014 Clarke Caton Hintz, PC

100 Barrack Street  
Trenton, NJ 08608  
tel: (609) 883-8383  
fax: (609) 883-4044  
www.clarkecatonhintz.com

ACT	ACOUSTICAL TILE	SO.FT.	SQUARE FEET
A/C	AIR CONDITIONING	STD	STEEL
ALUM	ALUMINUM	STL	STAINLESS STEEL/ STEEL
AMP	AMPERE	STR	STRUCTURE
ANOD	ANODIZED	SUSP(D)	SUSPEND(ED)
L	ANGLE	T	TREAD
AP	ACCESS PANEL	TBB	TILE BACKER BOARD
APPROX	ACQUSTIC PANEL CLG	TEMP	TEMPERED
ARCH	ARCHITECT	THR. FIN. BLU	THERMAL FINISH BLUESTONE
@	AT	TOS	TOP OF SLAB
BD	BOARD	TR	TO REMAIN
BLDG	BUILDING	TBR	TO BE REMOVED
BLKG	BLOCKING	TBRL	TO BE RELOCATED
BM	BEAM	TYP	TYPICAL
B.M.	BENCH MARK	UNO	UNLESS NOTED OTHERWISE
BOT	BOTTOM	VC	VINYL COVE
BRG	BEARING	VCT	VINYL COMPOSITION TILE
C	CHANNEL	VENT	VENTILATE
CEM	CEMENT	VERT	VERTICAL
CG	CORNER GUARD	VIF	VERIFY IN FIELD
CJ	CONTROL JOINT	W	WEST
CLG	CEILING	WC	WATER CLOSET
CLKG	CAULKING	WD	WOOD
CLR	CLEAR	WDPNL	WOOD PANEL SYSTEM
CMU	CONCRETE MASONRY UNIT	WR.GPDW	WATER RESISTANT GYPSUM DRY WALL
COL	COLUMN	WWF	WELDED WIRE FABRIC
CONC	CONCRETE	W/	WITH
CONST	CONSTRUCTION	YD	YARD
CONTR	CONTRACTOR		
CPT	CARPET (ED)		
CT	CERAMIC TILE		
CU.FT.	CUBIC FEET		
C	DEGREE		
DF	DRINKING FOUNTAIN		
DIAG	DIAGRAM		
O. DIA	DIAMETER		
DIM	DIMENSION		
DN	DOWN		
DS	DOWNSPOUT		
DTL	DETAIL		
DWG	DRAWING		
E	EAST		
EA	EACH		
EIFS	EXTERIOR INSULATION FINISH SYSTEM		
ELEC	ELECTRIC		
ELEV	ELEVATION		
EW	ELECTRIC WATER COOLER		
EXP.	EXISTING		
EXP [T., E.]	EXPANSION JOINT		
EXT	EXTERIOR		
F.D.	FLOOR DRAIN		
F.F.	FINISHED FLOOR		
FLASH	FLASHING		
FLR	FLOOR		
FND	FOUNDATION		
FR.GPDW	FIBER REINFORCED GYPSUM DRY WALL		
FT.	FOOT		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		
GLS	GLASS, GLAZING		
GPDW	GYPSUM DRYWALL		
GR.	GRADE		
H.B.	HOSE BIBB		
H.C.	HANDICAPPED		
HGT	HEIGHT		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HP	HORSEPOWER		
HR	HOUR		
IN.	INCH		
INSUL	INSULATION		
INT	INTERIOR		
INV	INVERT		
JT	JOINT		
JST	JOIST		
KIP	THOUSAND POUNDS		
LAV	LAVATORY		
LB. #	POUND		
LGTH	LENGTH		
LIN. FT., L.F.	LINEAR FEET		
LL	LEVEL LINE		
MAT'L	MATERIAL		
MECH	MECHANICAL		
MFR	MANUFACTURE		
MH	MANHOLE		
MIN	MINIMUM		
MTL	METAL		
MISC	MISCELLANEOUS		
M.O.	MASONRY OPENING		
MOD CPT	MODULAR CARPET TILES		
N	NORTH		
NAT. CLEFT BLUE	NATURAL CLEFT BLUESTONE		
NIC	NOT-IN-CONTRACT		
NO. #	NUMBER		
O.C.	ON CENTER		
O.D.	OVERFLOW DRAIN		
OPNG	OPENING		
/	PER		
PLUMB	PLUMBING		
PLYWD	PLYWOOD		
PNL	PANEL		
PORC TILE	PORCELAIN TILE		
P.T.	PRESSURE TREATED		
PTD	PAINTED		
QT	QUARRY TILE		
R	RISER		
R.D.	ROOF DRAIN		
RAD	RADIUS		
REINF	REINFORCING		
REV	REVEAL		
RFG	ROOFING		
RM	ROOM		
RND	ROUND		
R.O.	ROUGH OPENING		
RUB	RUBBER		
S	SOUTH		
SCHED	SCHEDULE		
SECT	SECTION		
SHT	SHEET		
SHTHG	SHEATHING		
SNT	SEALANT		
SPEC	SPECIFICATIONS		

	EARTH/COMPACTED FILL		PARTITION TYPE NUMBER
	POROUS FILL/GRAVEL		ELEVATION DESIGNATION LEVEL (ON DETAILS)
	POURED/CAST IN PLACE CONCRETE		ELEVATION STATION POINT (ON PLANS)
	PRECAST CONCRETE		REVISION
	CONCRETE MASONRY UNIT		FLOOR DRAIN
	SPLITFACE CONCRETE MASONRY UNIT		ROOF DRAIN
	GROUNDFACE CONCRETE MASONRY UNIT		AREA DRAIN
	ACOUSTIC CONCRETE MASONRY UNIT		DOUBLE DOOR
	BRICK		SWINGING DOOR
	GLAZED BRICK		SWINGING DOOR (1/80 HOLD OPEN)
	STEEL		DOUBLE ACTING DOOR
	ALUMINUM		SLIDING DOOR
	BRASS/BRONZE		POCKET DOOR
	TERRAZZO		HEAVY DASHED - ITEMS TO BE REMOVED (DEMOLISHED)
	PLASTER ON METAL LATH		HIDDEN LINES - ITEMS HIDDEN OR OVERHEAD
	MARBLE		HALFTONE HIDDEN LINES - ITEMS TO BE REMOVED
	BLUE STONE / SLATE		CENTER LINES OF COLUMN GRIDS
	GRANITE		PROJECT LIMIT LINE
	LIMESTONE		PROPERTY LINES
	SEALANT W/ BACKER ROD		NEW OR FINISHED CONTOURS
	WOOD (DRESSED)		EXISTING CONTOURS
	WOOD (ROUGH) STUDS/BLOCKING		SPRINKLER HEAD
	VENEER CORE PLYWOOD (LARGE SCALE)		DOOR TAG (PLANS)
	VENEER CORE PLYWOOD (SMALL SCALE)		DOOR TAG (ELEVATIONS)
	PLASTIC LAMINATE		CORNER GUARDS
	GYPSUM WALL BOARD		SURFACE MOUNT FIRE EXTINGUISHER
	RIGID INSULATION		SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
	BATT INSULATION		WORK POINT
	GLASS (SMALL SCALE)		ENTRY POINT
	GLASS (LARGE SCALE)		ROOM NAME AND NUMBER MARKER
	INSULATING GLASS UNIT		ELEVATION MARKER
	VINYL COMPOSITION TILE		MATCHLINE
	CARPET		DETAIL MARKER
	CERAMIC TILE		HANDICAPPED TURNING RADIUS
	ACOUSTICAL TILE		
	MEMBRANE VAPOR BARRIER & ADHESIVE		
	MEMBRANE MOISTURE BARRIER & ADHESIVE		
	INDICATES DIRECTION OF WD GRAIN		
	DETAIL TAG		
	SECTION/ELEVATION TAG		
	INTERIOR ELEVATIONS, SAME SHEET NO. TAG		
	NORTH ARROW		
	COLUMN LINE MARKER		
	ROOM NAME		
	ROOM NUMBER		
	SIGNAGE TYPE		
	HEIGHT OF FINISHED CEILING ABOVE FINISHED FLOOR		
	WINDOW TYPE OR GLAZING TYPE		
	WORKPOINT		

- ### GENERAL NOTES:
- THESE DRAWINGS REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE AN OVERALL DESIGN ARRANGEMENT OF THE VARIOUS COMPONENTS OF THE ENTIRE PROJECT. THE CONTRACTOR IS ASSUMED TO HAVE REVIEWED THESE DRAWINGS, AND HAVING SEEN THE SUBJECT PROPERTY, IS CAPABLE OF EXECUTING THE DETAIL WORK NECESSARY TO ACHIEVE THE INTENDED RESULTS IN A MANNER THAT IS CONSISTENT WITH THE QUALITY WORKMANSHIP IN THE REGION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE DRAWINGS, VISIT THE SITE, VERIFY THE EXISTING CONDITIONS, DIMENSIONS, CLEARANCES, ETC., SHOWN ON THE DRAWINGS PRIOR TO BIDDING.
  - THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR A BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ARCHITECT.
  - REPRODUCTIONS OF CONTRACT DOCUMENTS ARE NOT ACCEPTABLE AS SHOP DRAWINGS AND MAY BE REJECTED. UNLESS OTHERWISE NOTED, GENERAL NOTES REFER TO ALL TYPICAL CONDITIONS THROUGHOUT THE BUILDING. SPECIFIC CONDITIONS REQUIRING CLARIFICATION ARE MARKED DOWN ON PLAN(S).
  - NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR DEVIATION BETWEEN DWGS. AND ANY FIELD VERIFIED CONDITIONS PRIOR TO COMMENCING WORK.
  - THE OWNER AND CONTRACTOR SHALL HOLD THE ARCHITECT HARMLESS AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY FEES ARISING OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
  - THE ARCHITECT IS NOT RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM PLANS UNLESS APPROVED IN WRITING BY THE ARCHITECT.
  - DO NOT SCALE DRAWINGS. ALL MEASUREMENTS MUST BE CONFIRMED IN THE FIELD. DIMENSIONS SHOWN ARE FOR REFERENCE ONLY.
  - IF ANY DISCREPANCIES BETWEEN DWGS AND SPECIFICATIONS EXIST, THE MORE STRINGENT SHALL TAKE PRECEDENCE. SIMILARLY BETWEEN ARCHITECTURAL PLANS AND VARIOUS ENGINEERING DISCIPLINES.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. DO NOT SCALE DRAWINGS. IF A DIMENSION IS UNCLEAR OR A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED IN A SIMILAR FASHION OR BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. MODIFICATIONS MAY BE REQUIRED BY THE CONTRACTOR TO ACCOMMODATE FOR MINOR VARIATIONS.
  - CONTRACTOR TO FIELD VERIFY EXTENT OF WORK PRIOR TO BID.
  - SUBMIT STAGING PLANS AND CONSTRUCTION SCHEDULE FOR ARCHITECT'S AND OWNER'S REVIEW PRIOR TO COMMENCING WORK.
  - ALL CONTRACTORS SHALL MAINTAIN CONTRACTORS LIABILITY, PROPERTY DAMAGE AND WORKMAN'S COMPENSATION INSURANCE.
  - ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES. THE CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
  - UTILIZE OSHA SAFETY PRECAUTIONS AS REQUIRED. CONTRACTOR TO PROVIDE OWNER/ARCHITECT WITH COPIES OF ALL MINUTES/SESSION-SHETS FOR "TOOL BOX" TALKS ON A MONTHLY BASIS. SUBMISSION IS A CONDITION OF RELEASE OF PAYMENT.
  - ALL WALLS SHALL BE BRACED DURING CONSTRUCTION UNTIL PERMANENTLY RESTRAINED.
  - INSTALL TEMPORARY SHORING & BRACING AND MAKE SURE ALL WALLS, CEILING, AND DOORS AS REQUIRED.
  - MAINTAIN PROTECTED EGRESS AND ACCESS TO WORK.
  - ALL EQUIPMENT MUST MEET LOCAL NOISE ORDINANCES.
  - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND QUANTITIES PRIOR TO ORDERING, FABRICATING OR CONSTRUCTING ANY PART OF THE BUILDING. NOTIFY ARCHITECT IMMEDIATELY WITH ANY AND ALL DISCREPANCIES.
  - REFER TO ELECTRICAL DRAWINGS, AND REFLECTED CEILING PLANS FOR TYPES AND LOCATIONS OF LIGHT FIXTURES, TYP. CONTRACTOR TO COORDINATE WITH MEP DRAWINGS.
  - SEE M/E/P DWGS FOR ALL FLOOR, ROOF, CEILING, AND WALL OPENINGS. GENERAL CONTRACTOR TO COORDINATE LOCATION OF OPENINGS IN FIELD WITH ARCHITECT.
  - NON-COMBUSTIBLE PIPES, VENTS, AND FLUES SHALL BE FIRESTOPPED, WHEN THEY PASS THRU THE FLOOR/CEILING ASSEMBLY OR THRU RATED WALLS.
  - PROVIDE DUST CONTROL AS REQUIRED. SEE SPECIFICATION FOR MORE INFORMATION, TYP.
  - NOTIFY OWNER/ARCHITECT 72 HOURS MINIMUM IN ADVANCE OF ANY UTILITY SHUT-OFFS.
  - GENERAL CONTRACTOR TO COORDINATE WITH OTHER CONTRACTS ON SITE HIRED UNDER SEPARATE CONTRACT.
  - UNLESS NOTED OTHERWISE, ALL NEW ITEMS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR.
  - THE GENERAL CONTRACTOR SHALL PROVIDE CHASES AND RECESSES AS SHOWN, AND AS REQUIRED, TO CONCEAL THE WORK OF OTHER TRADES.
  - REFER TO THE FIRE RESISTANCE DIRECTORY (LATEST EDITION) BY UNDERWRITERS LABORATORIES FOR CHARACTERISTICS OF ALL SPECIFIED FIRE RATED ASSEMBLIES.
  - GENERAL CONTRACTOR TO COORDINATE THE LOCATION OF ALL OUTLETS AND RECEPTACLES WITH CASEWORK. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. CONTACT ARCHITECT WITH ANY CONFLICTING LOCATIONS.
  - INSTALL ALL INSULATION WITH VAPOR BARRIER ON THE WARM (WINTER) SIDE, TYP.
  - CONTRACTOR SHALL VERIFY ALL REQUIRED ROUGH OPENINGS WITH MANUFACTURERS PRIOR TO START OF ANY CONSTRUCTION AND COORDINATE ANY DISCREPANCIES ON THE PLANS WITH THE RESPECTIVE TRADES.
  - ALL WALL PENETRATIONS SHALL BE PATCHED, SEALED, AND FIRE STOPPED AS REQUIRED BY THE RESPECTIVE TRADES.
  - REFER TO M.E.P. DRAWINGS FOR LOCATIONS OF M.E.P. EQUIPMENT.
  - GENERAL CONTRACTOR MUST COORDINATE LOCATION OF PIPING / ELECTRICAL WITH PLUMBING AND/OR ELECTRICAL DEVICES, OUTLETS, THERMOSTATS, ETC. RELOCATE ELECTRICAL DEVICES TO CHASE WALL WHERE OVERLAP OCCURS.
  - INSTALL ALL FIXTURES, MATERIALS, AND FINISHES IN STRICT COMPLIANCE WITH MANUFACTURER'S TECHNICAL SPECIFICATIONS, TYP.
  - CONTRACTOR RESPONSIBLE FOR ALL UTILITY HOOK-UPS.
  - PROPERLY TEST, BALANCE, AND ADJUST ALL EQUIPMENT AND SYSTEMS USED IN THE PROCESS OF COMPLETING THE SCOPE OF WORK. SUBMIT AIR BALANCING REPORT AS A CONDITION OF FINAL PAYMENT.
  - ALL DIMENSIONS TAKEN FROM FACE OF FINISH UNLESS NOTED OTHERWISE.
  - REFER TO WALL TYPES FOR THOSE WALLS INDICATED TO RECEIVE SOUND ATTENUATION BATT INSULATION.
  - FIRESTOP AS REQUIRED ALL PENETRATIONS THRU FIRE RATED WALLS.
  - SEE FLOOR PLANS FOR WINDOW AND DOOR DESIGNATIONS.
  - INSTALL EXPOSED ELECTRIC, MECHANICAL AND PLUMBING SYSTEMS, MATERIALS AND EQUIPMENT LEVEL AND PLUMB. PARALLEL AND PERPENDICULAR TO OTHER SYSTEMS AND COMPONENTS WHERE INSTALLED IN EXPOSED UNFINISHED SPACES. DIAGONAL RUNS ARE PROHIBITED.

DWG.NO.	DRAWING TITLE	SCALE
<b>GENERAL</b>		
CS	COVER SHEET	N.T.S.
G-001	GENERAL INFORMATION	N.T.S.
G-002	ADA CLEARANCES AND FIXTURE MOUNTING HEIGHTS	N.T.S.
G-003	WALL PARTITION TYPES	N.T.S.
<b>LIFE AND SAFETY</b>		
LS-101	LIFE SAFETY AND CODE ANALYSIS	AS NOTED
<b>ARCHITECTURALS</b>		
A-100	FIRST FLOOR PLAN	AS NOTED
A-101	ROOF PLAN	AS NOTED
A-102	ROOF DETAILS	AS NOTED
A-201	EXTERIOR ELEVATIONS	AS NOTED
A-202	EXTERIOR ELEVATIONS	AS NOTED
A-301	BUILDING SECTIONS	AS NOTED
A-302	BUILDING SECTIONS	AS NOTED
A-303	BUILDING SECTIONS	AS NOTED
A-401	INTERIOR ELEVATIONS	AS NOTED
A-402	INTERIOR ELEVATIONS	AS NOTED
A-403	INTERIOR ELEVATIONS	AS NOTED
A-404	INTERIOR ELEVATIONS	AS NOTED
A-601	WALL SECTIONS	AS NOTED
A-602	WALL SECTIONS	AS NOTED
A-603	WALL SECTIONS	AS NOTED
A-604	WALL SECTIONS	AS NOTED
A-701	DETAILS	AS NOTED
A-702	DETAILS	AS NOTED
A-703	DETAILS	AS NOTED
A-801	REFLECTED CEILING PLAN	AS NOTED
A-901	DOOR SCHEDULE AND DETAILS	AS NOTED
A-902	WINDOW SCHEDULE AND DETAILS	AS NOTED
A-1000	FIRST FLOOR FINISH PLAN	AS NOTED
A-1100	MILLWORK DETAILS	AS NOTED
A-1101	MILLWORK DETAILS	AS NOTED
A-1102	MILLWORK DETAILS	AS NOTED
<b>STRUCTURAL</b>		
S-101	FOUNDATION PLAN	AS NOTED
S-102	ROOF FRAMING PLAN	AS NOTED
S-103	TYPICAL DETAILS AND GENERAL NOTES	AS NOTED
<b>MECHANICAL</b>		
M1.0	MECHANICAL FLOOR PLAN	AS NOTED
M2.0	MECHANICAL ROOF PLAN	AS NOTED
M3.0	MECHANICAL SCHEDULES AND DETAILS	AS NOTED
<b>PLUMBING</b>		
P1.0	PLUMBING FLOOR PLAN - SANITARY	AS NOTED
P1.1	PLUMBING FLOOR PLAN - DOMESTIC WATER	AS NOTED
P2.0	PLUMBING SCHEDULES AND DETAILS	AS NOTED
P2.1	PLUMBING FLOOR DIAGRAMS	AS NOTED
<b>ELECTRICAL</b>		
E0.1	SITE LAYOUT AND DETAILS	AS NOTED
E1.0	ELECTRICAL FLOOR PLAN - POWER	AS NOTED
E1.1	ELECTRICAL FLOOR PLAN - LIGHTING	AS NOTED
E3.0	ELECTRICAL SCHEDULES AND DETAILS	AS NOTED

**Clarke Catton Hintz**  
 ARCHITECT  
 1500 E. Street Road, Suite 201  
 Yardley, PA 19086  
 (215) 322-7711  
 www.clarkecattonhintz.com

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OWNER:  
 Township of Lower Merion  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (215) 274-1100

SITE (CVL)GEOTECHNICAL/ENVIRONMENTAL:  
 Brasler & James, Inc.  
 1456 Ferry Road, Building 500  
 Doylestown, PA 19501  
 (215) 365-4600 www.bjgeotechnical.com

STRUCTURAL:  
 Hamilton-Hammett, P.C.  
 43 Knowles Street  
 Harrisburg, PA 17104  
 (717) 653-6300 www.hhpc.com

MEP / IFP:  
 Heiken White, Inc.  
 210 E. Street Road, Suite 201  
 Philadelphia, PA 19103  
 (215) 322-7711 www.heikenwhite.com

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ARCHITECT:  
 PA LICENSE NO. BA-014867-B  
 GEORGE W. HEBBS, AIA  
 DATE: 3/4/2015

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**Lower Merion Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

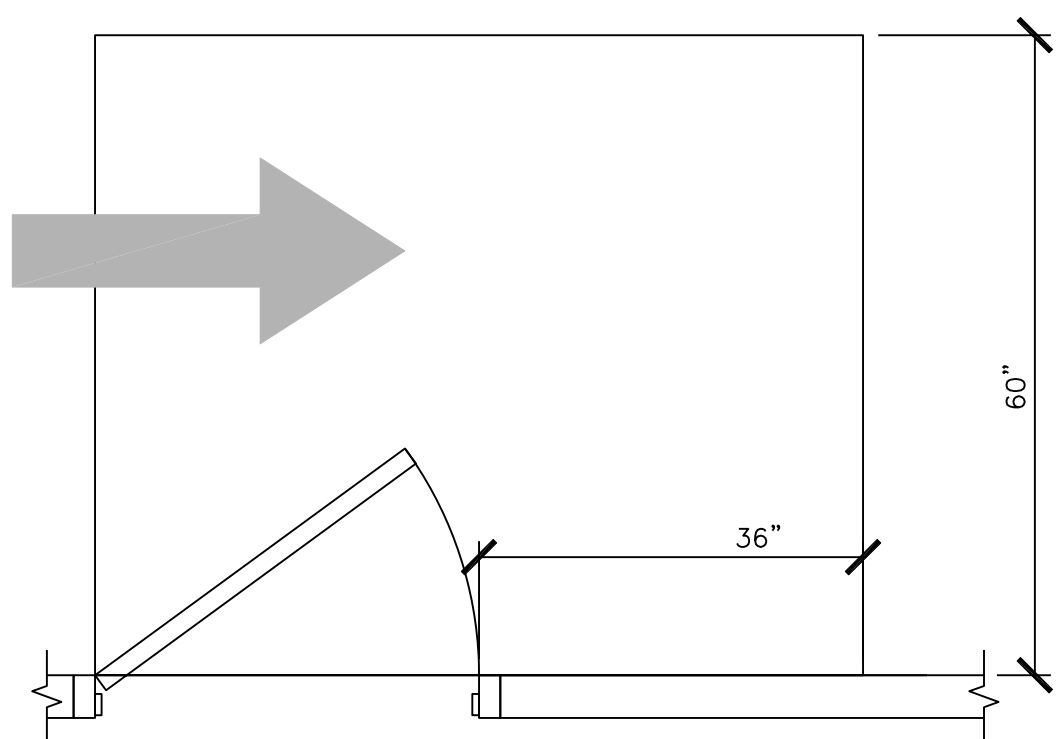
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 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**GENERAL INFO.**

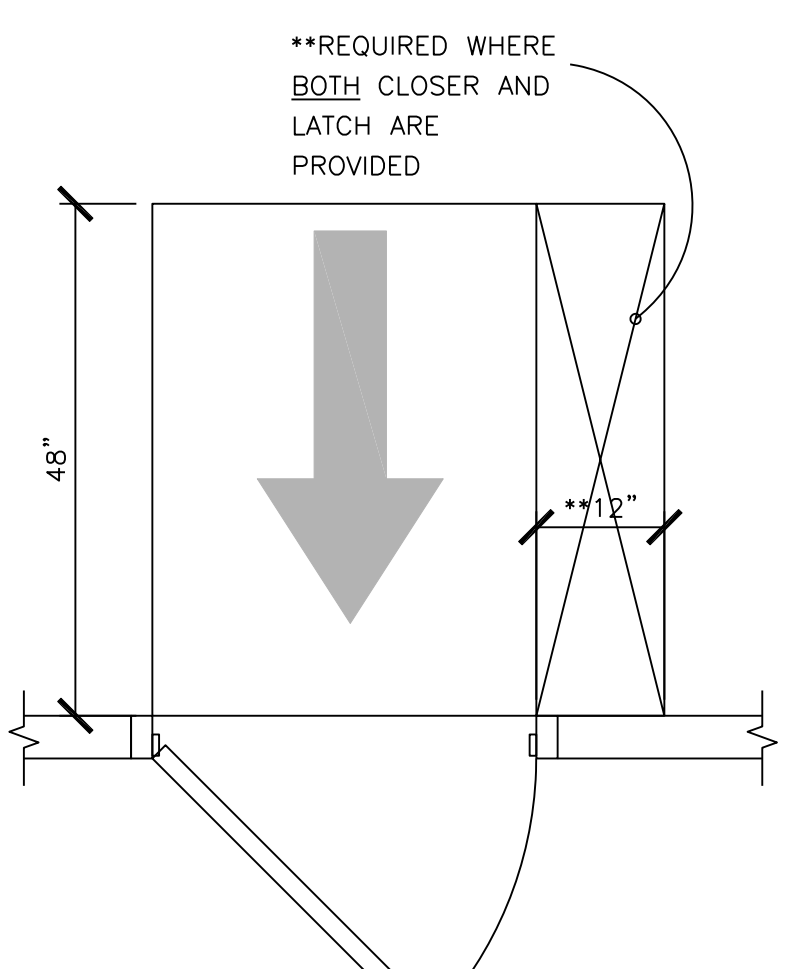
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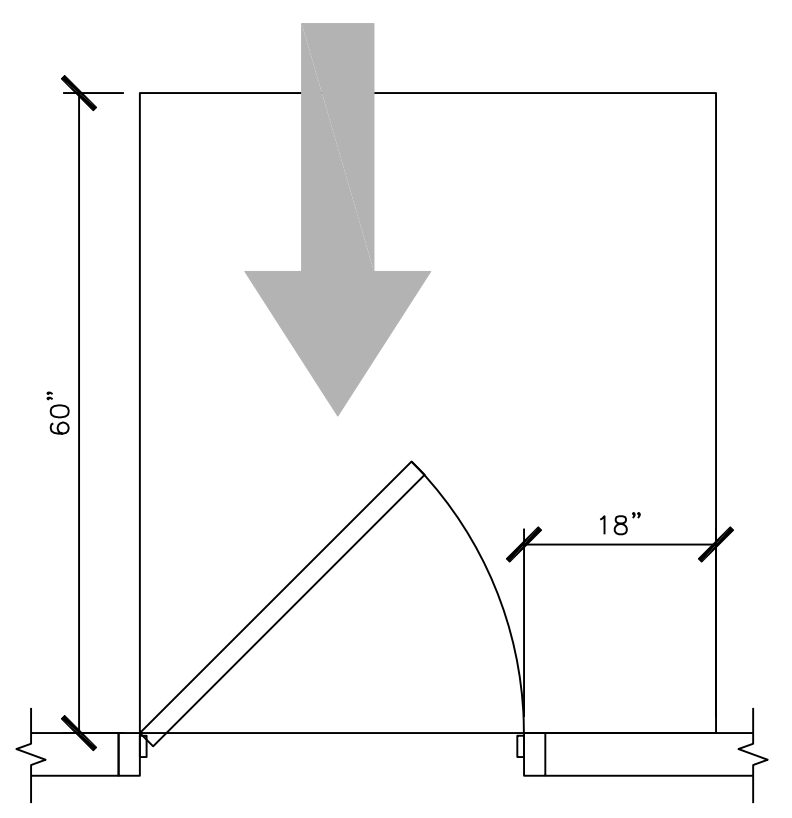
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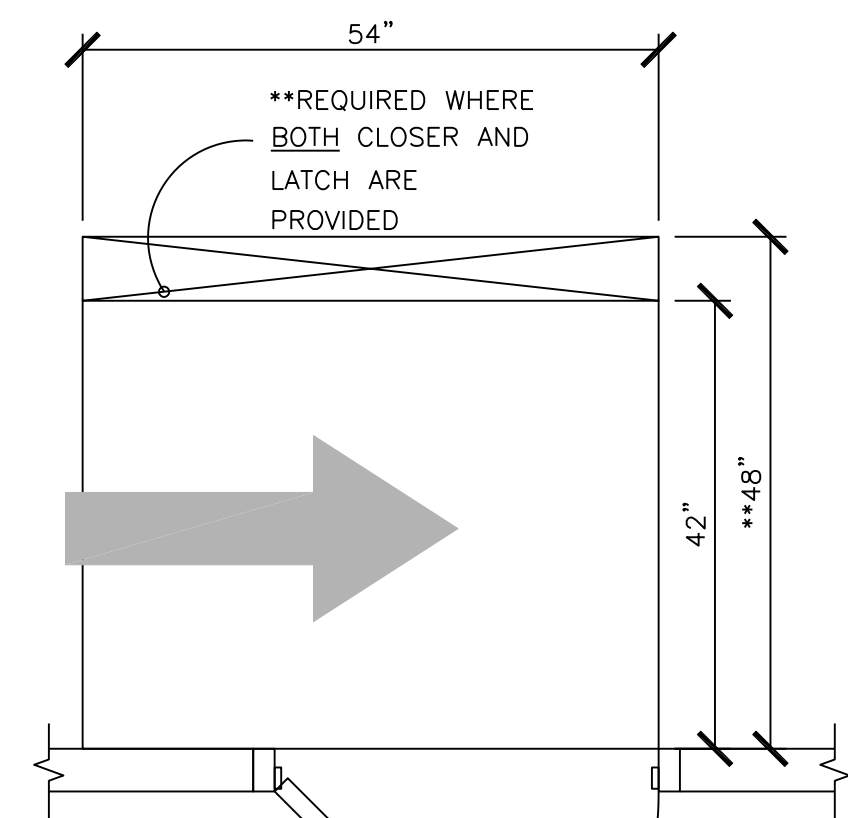
HINGE APPROACH, PULL SIDE (OPTION 2)



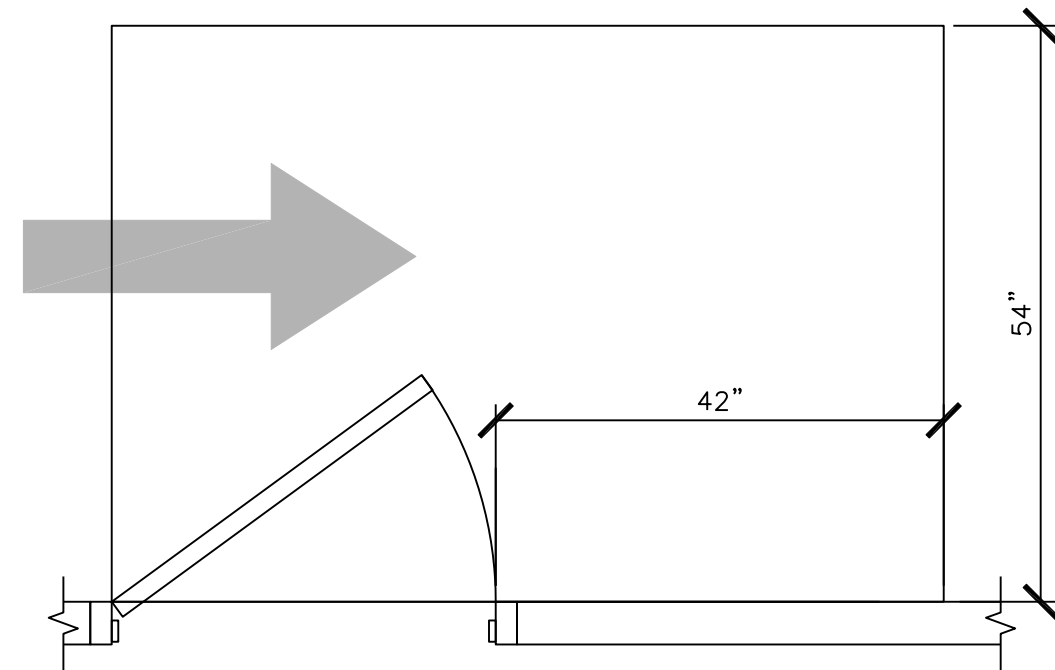
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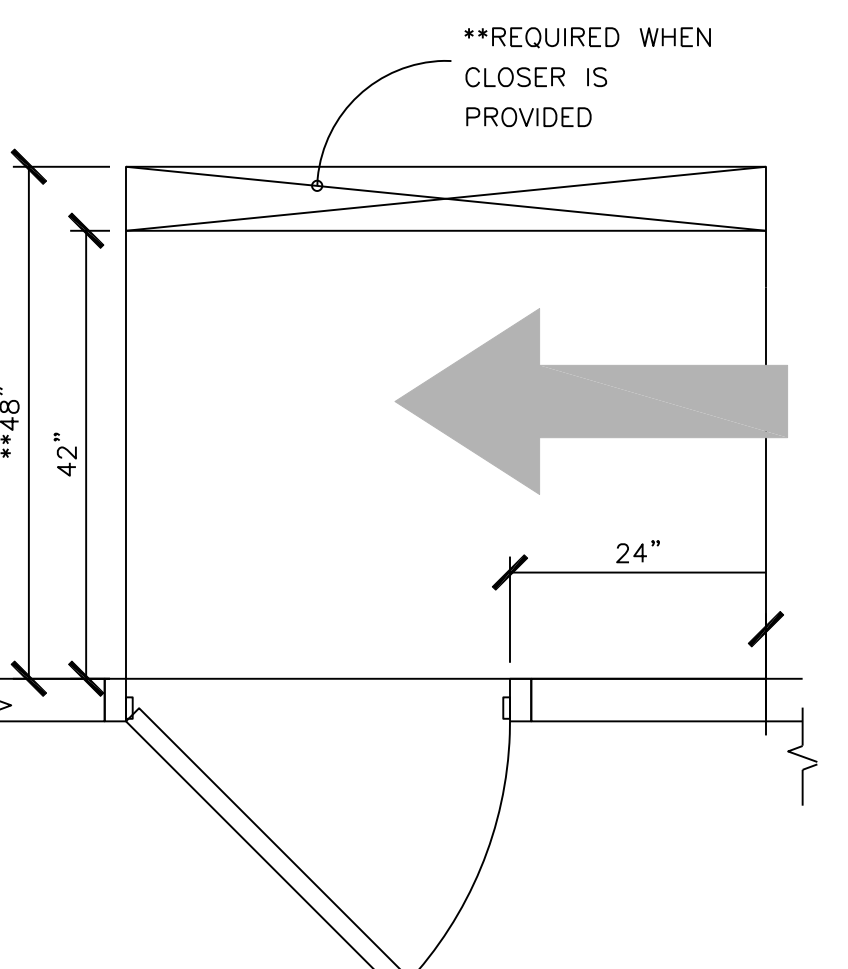
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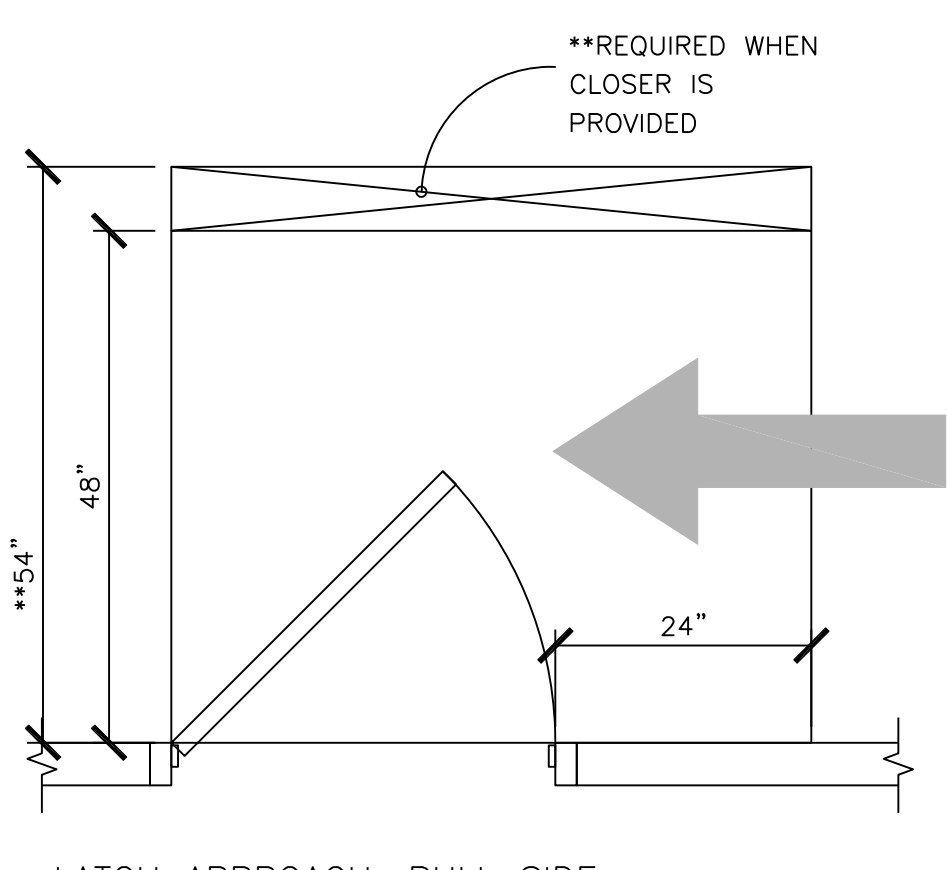
HINGE APPROACH, PUSH SIDE



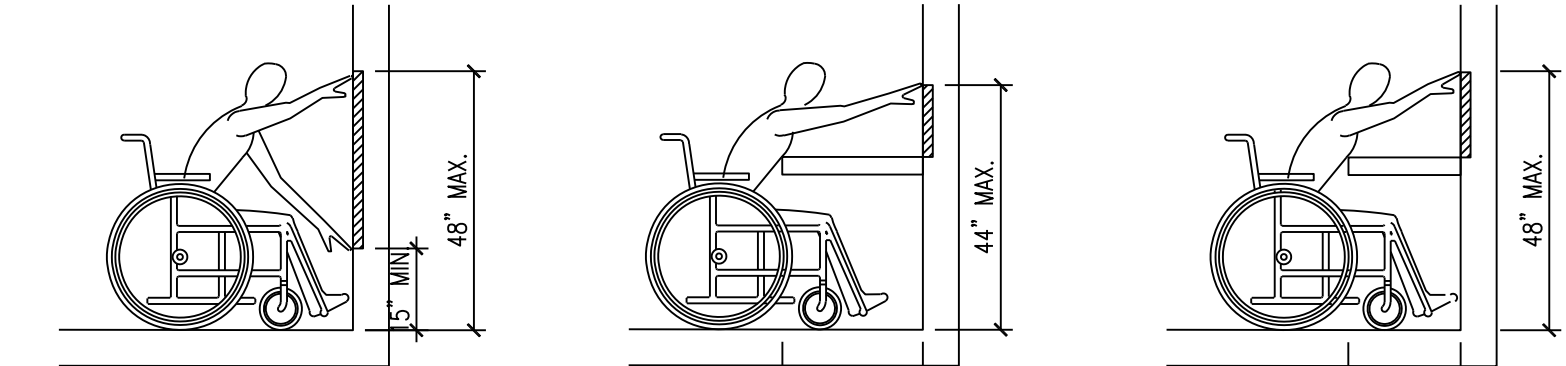
HINGE APPROACH, PULL SIDE (OPTION 1)



LATCH APPROACH, PUSH SIDE



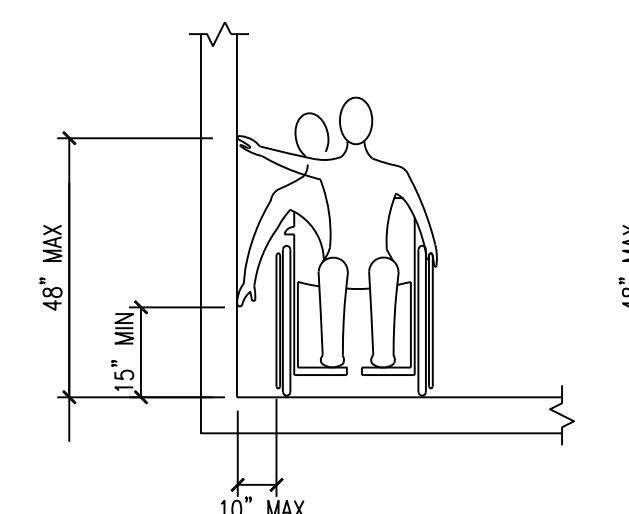
LATCH APPROACH, PULL SIDE



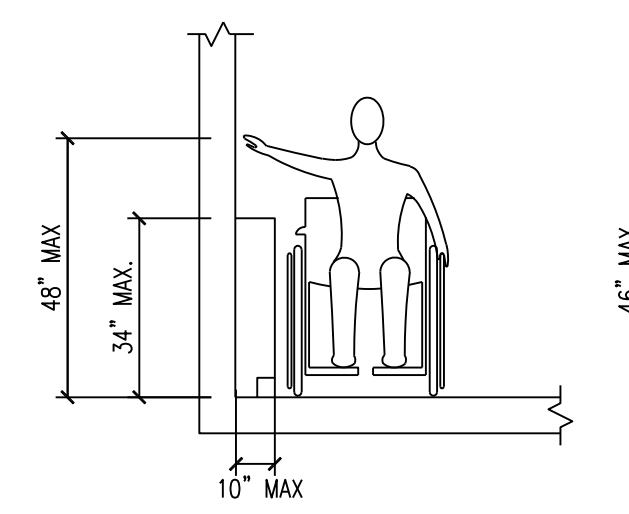
MAXIMUM FORWARD REACH UNOBSTRUCTED

MAXIMUM FORWARD REACH OVER PARTIAL OBSTRUCTION

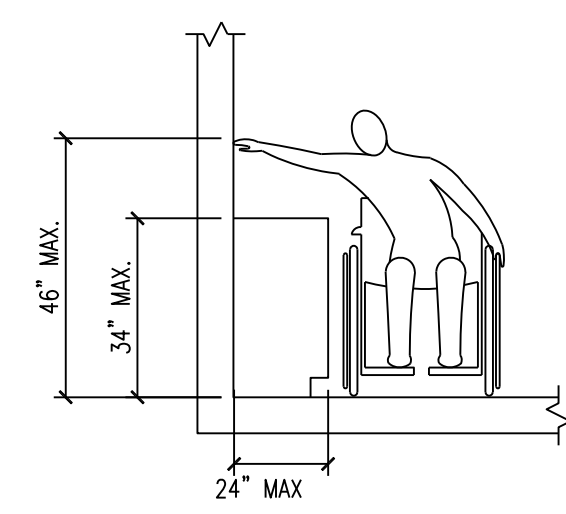
MAXIMUM FORWARD REACH OVER OBSTRUCTION



MAXIMUM SIDE REACH UNOBSTRUCTED

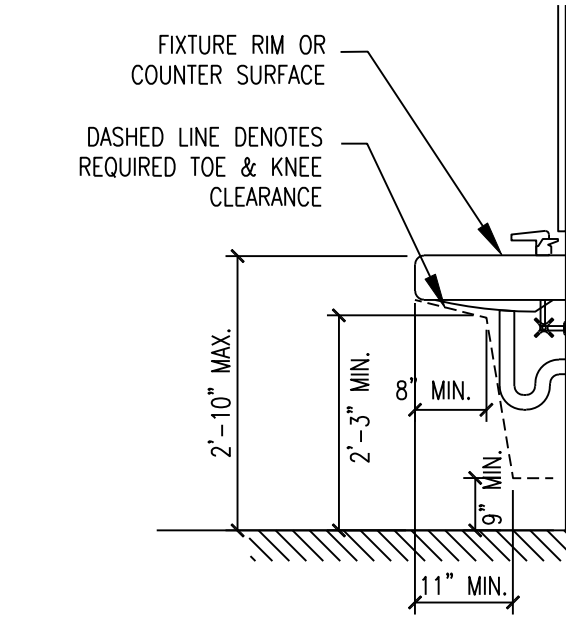
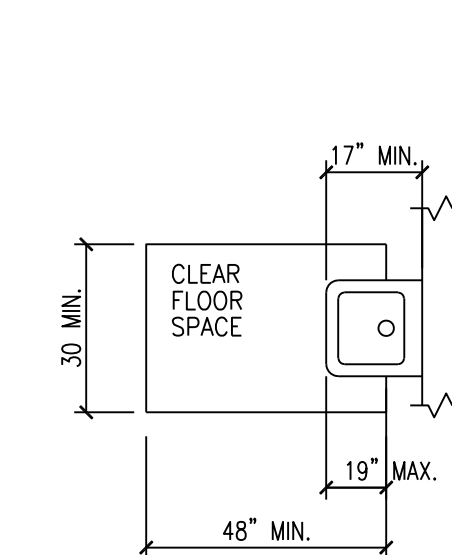


MAXIMUM SIDE REACH OVER PARTIAL OBSTRUCTION

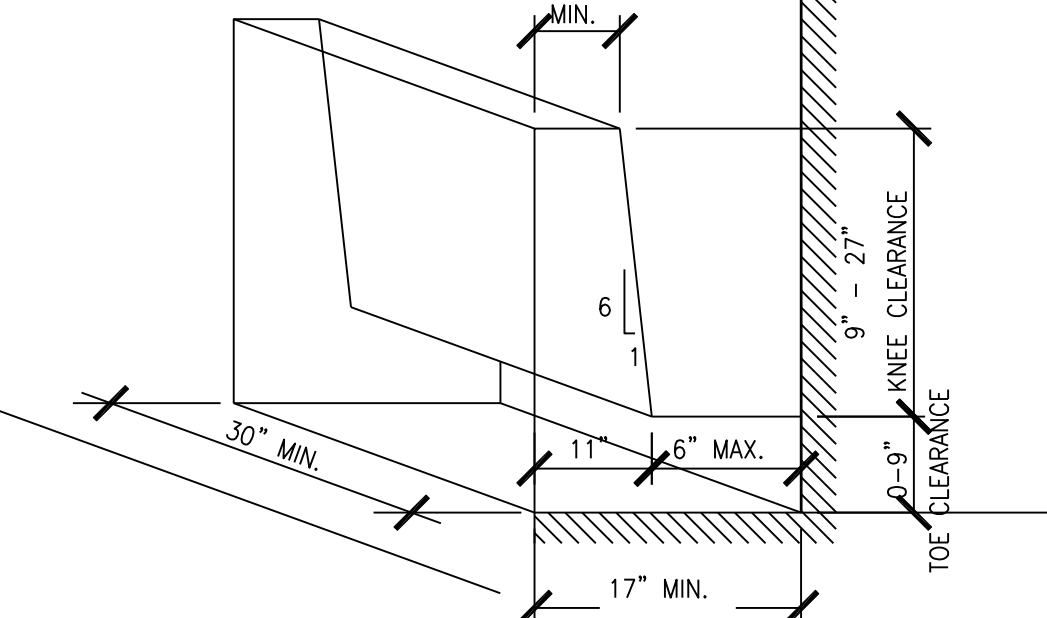


MAXIMUM SIDE REACH OVER OBSTRUCTION

K8 ACCESSIBLE REACHING RANGES

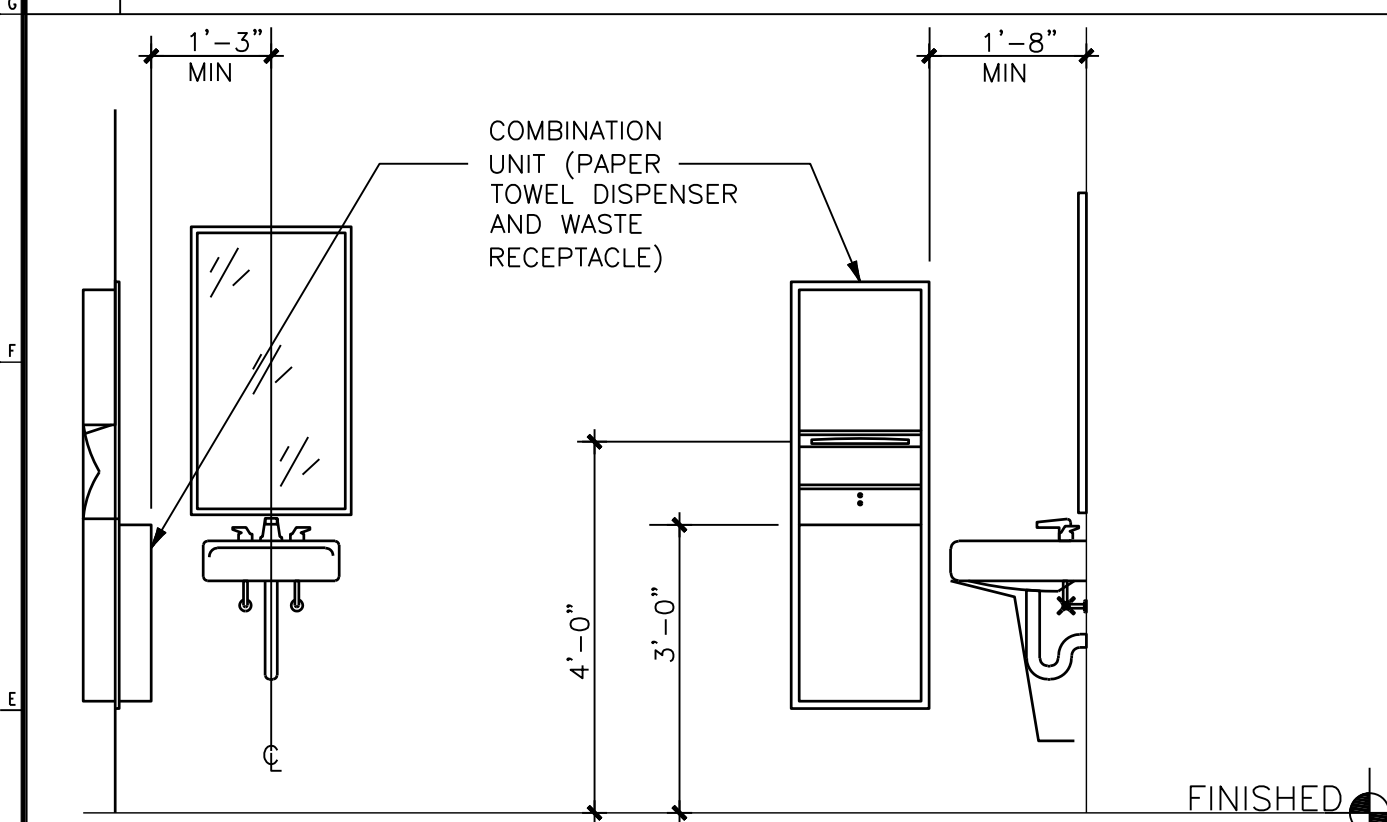


TYPICAL LAVATORY ELEVATION

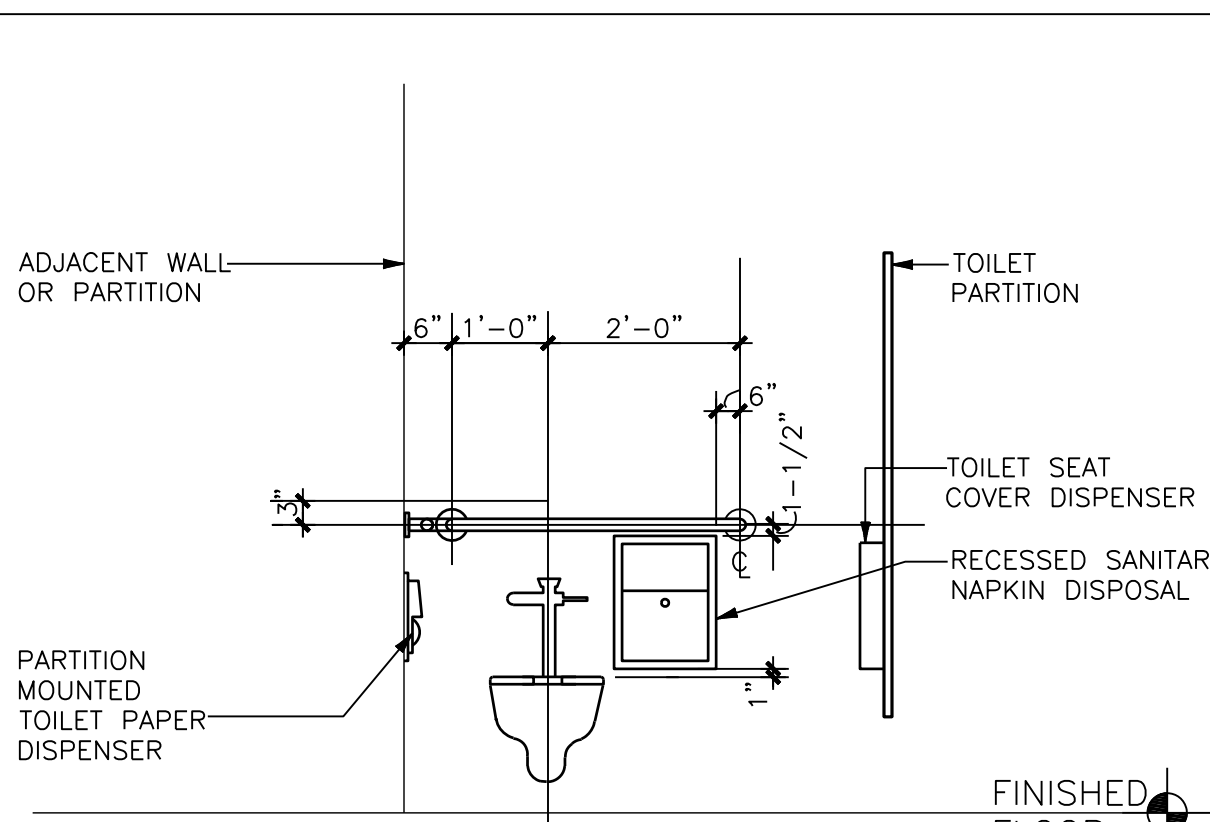


KNEE AND TOE CLEARANCE FOR SINK

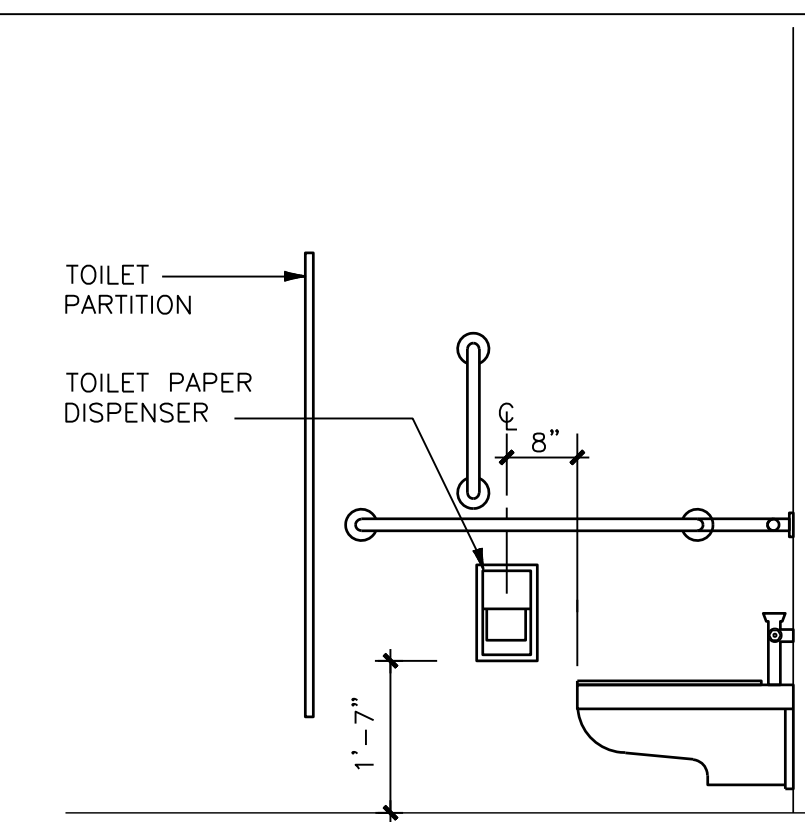
G20 MANEUVERING CLEARANCES AT DOORS



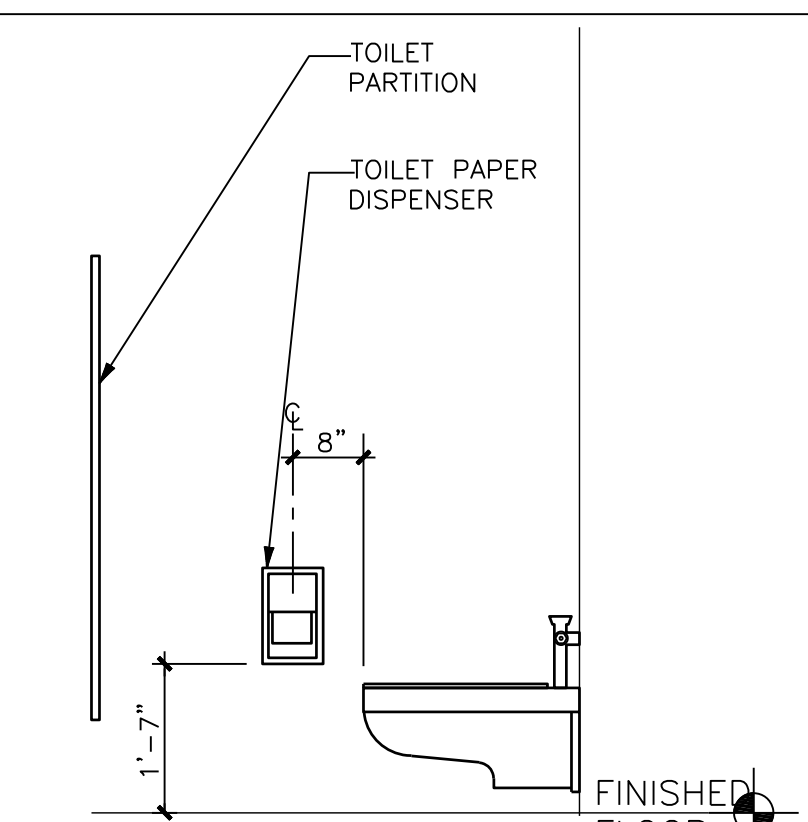
ACCESSIBLE LAVATORY



ACCESSIBLE TOILET STALL FRONT ELEVATION

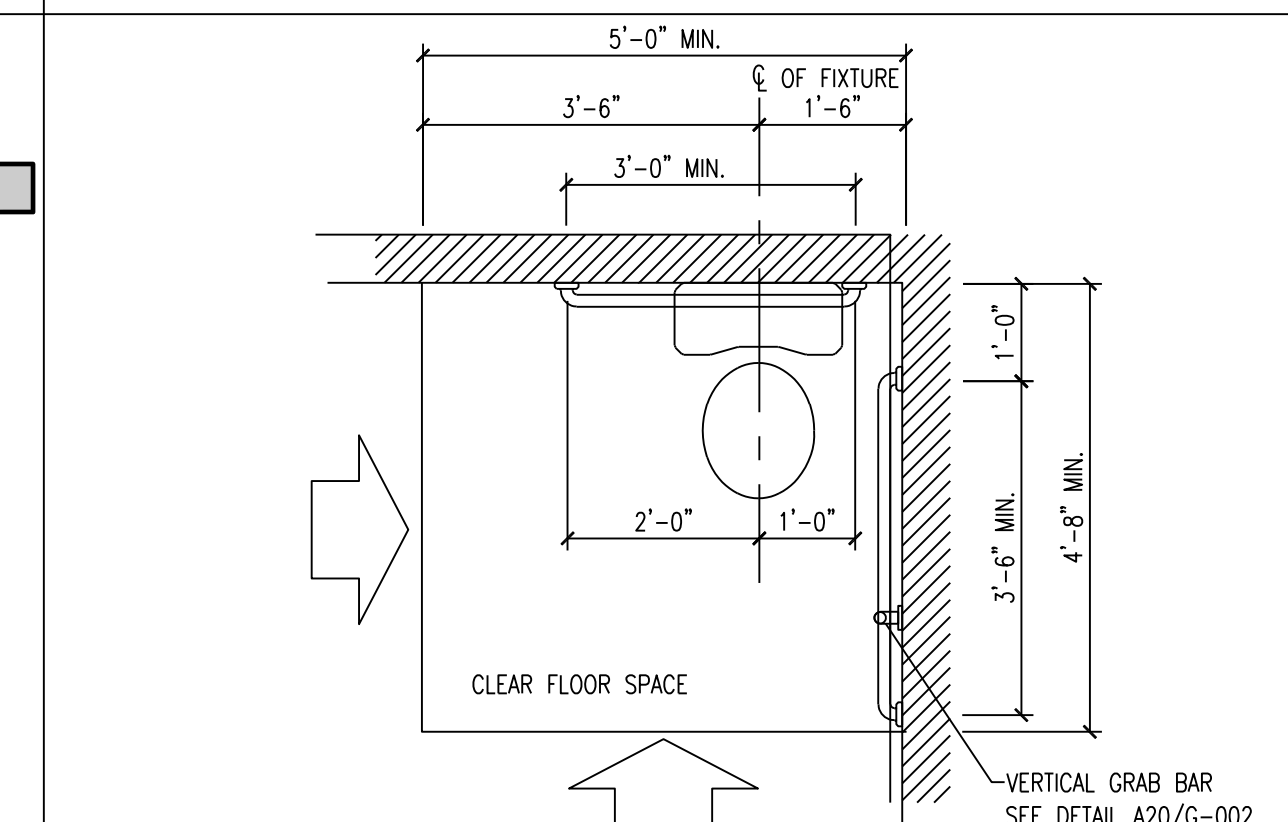
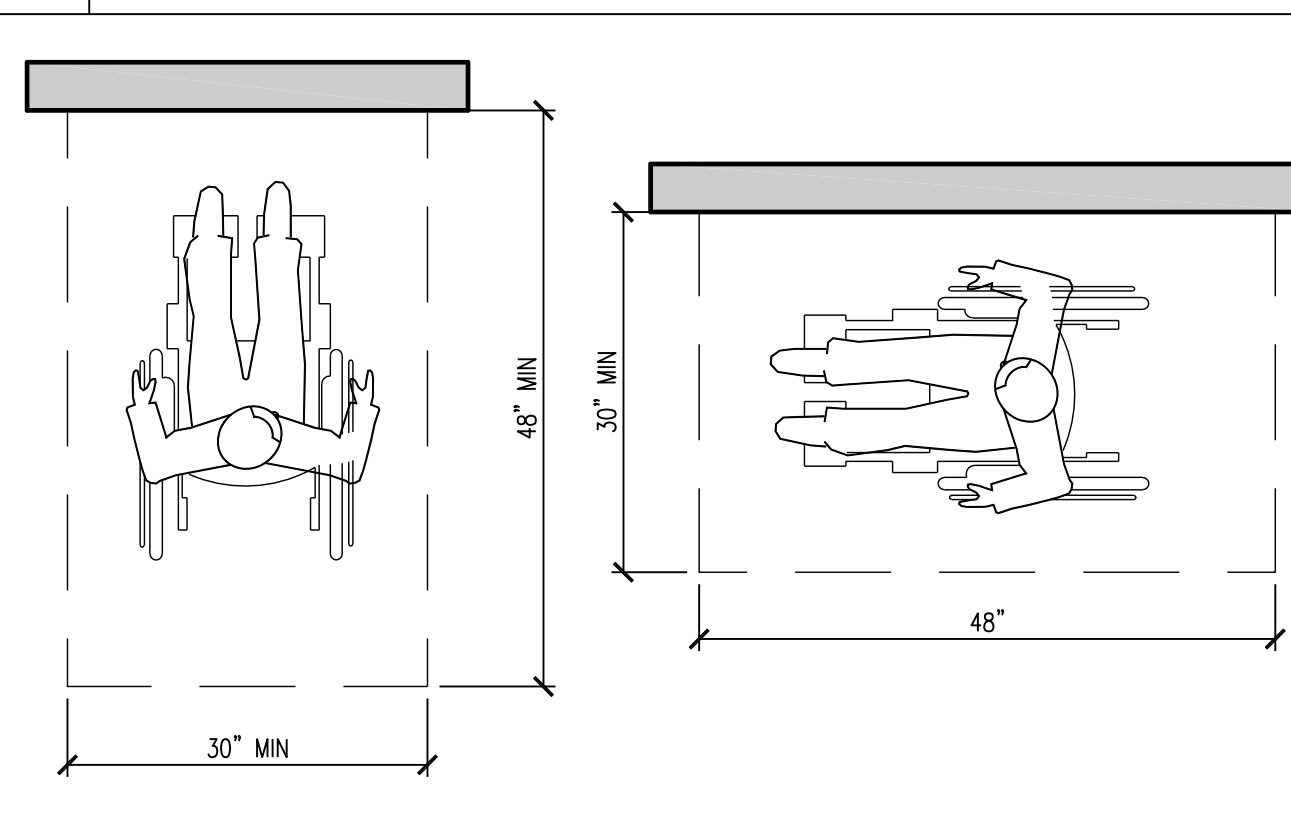


ACCESSIBLE TOILET STALL SIDE ELEVATION



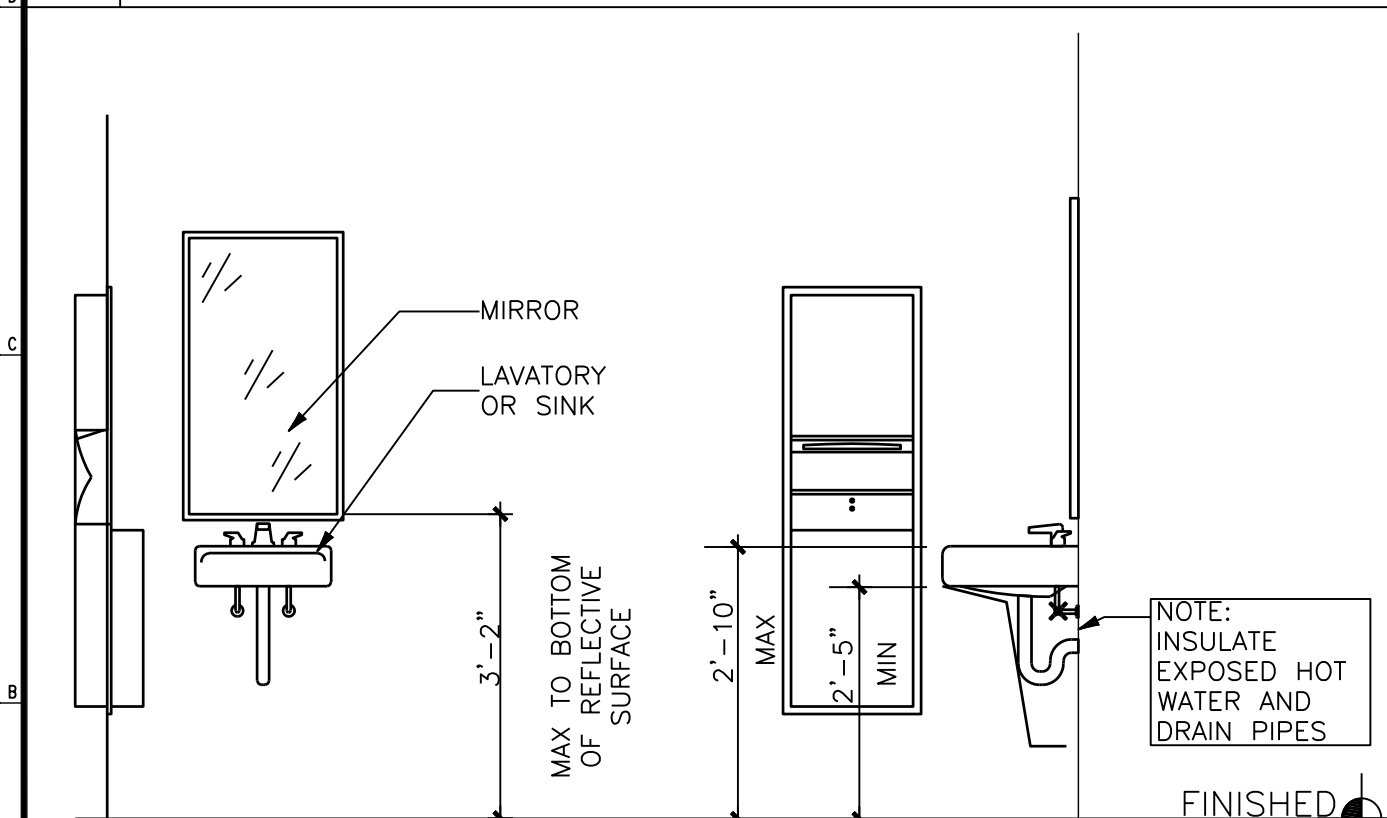
STANDARD TOILET STALL

G8 ACCESSIBLE LAVATORY CLEARANCES

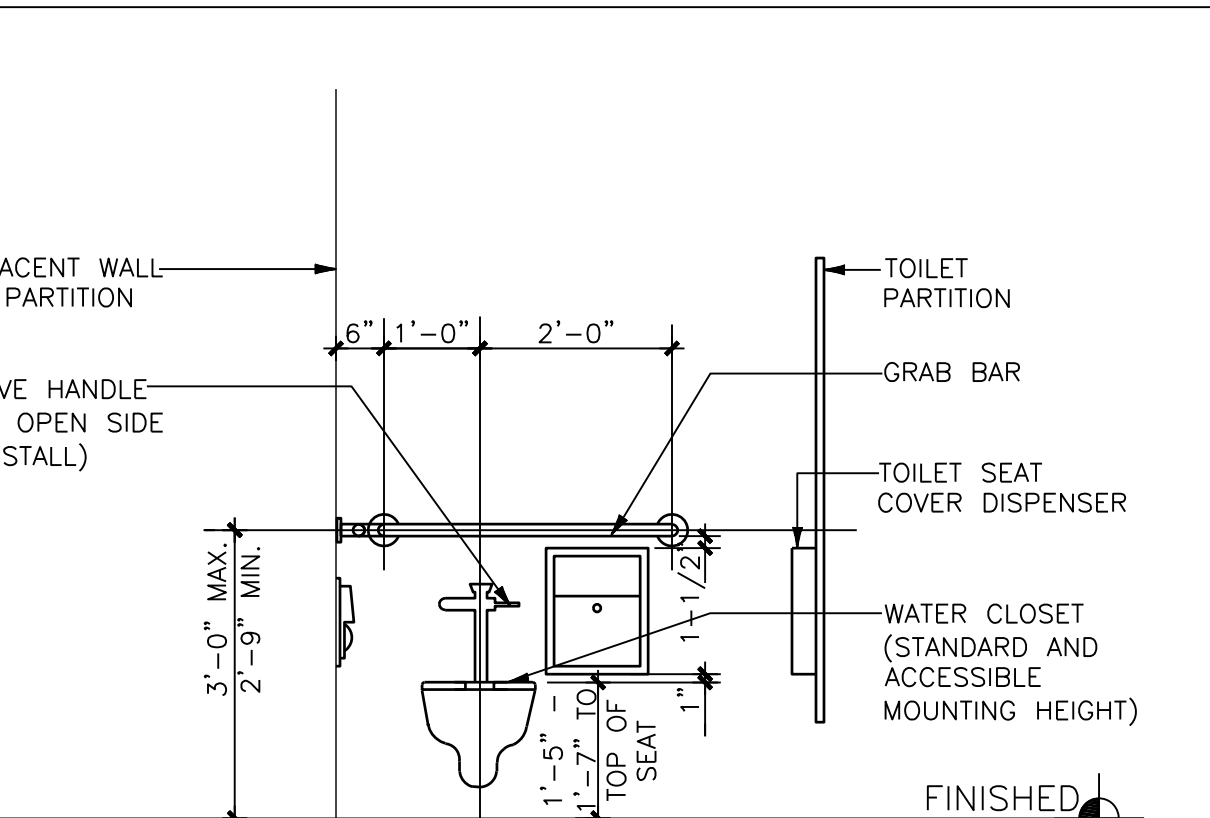


TYPICAL WATER CLOSET PLAN

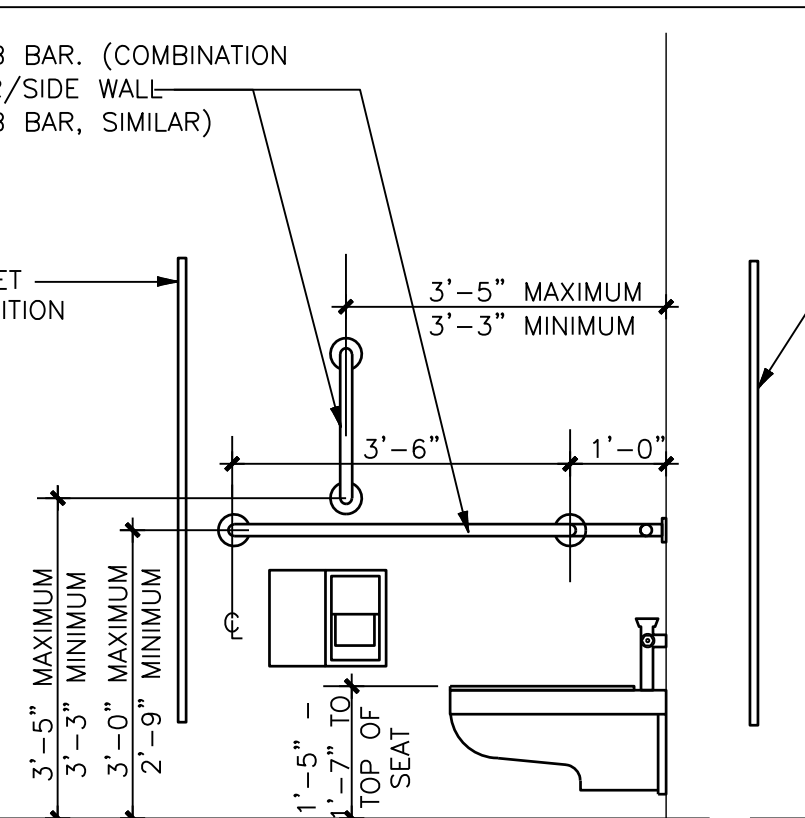
D20 ACCESSIBLE MOUNTING HEIGHTS - FOR TOILET ROOM ACCESSORIES FOR PUBLIC RESTROOMS, REFER TO UNIT SHEETS FOR BATHROOMS IN UNITS



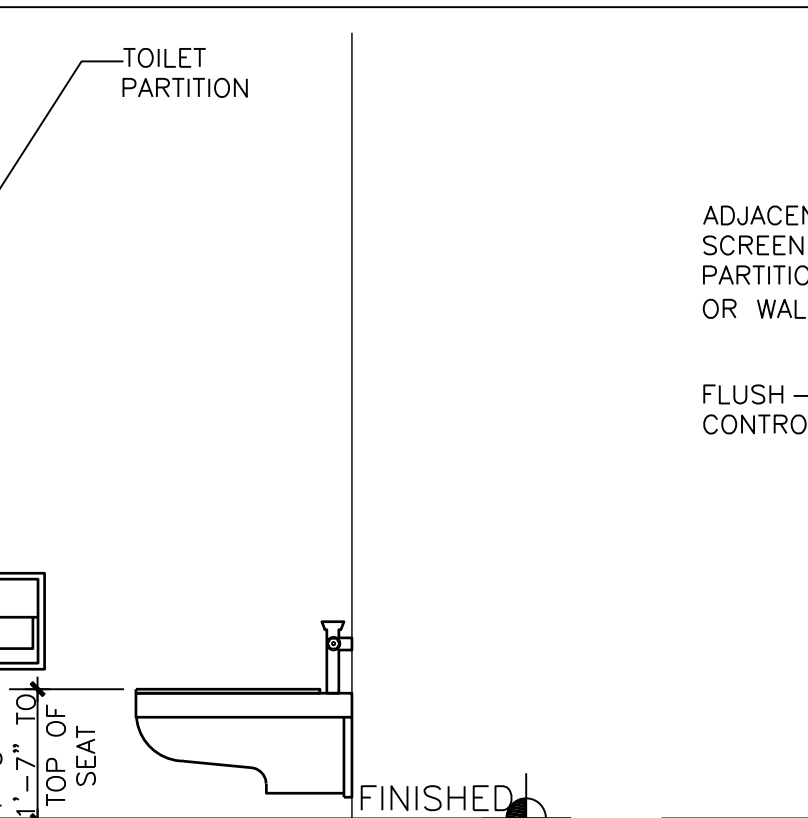
ACCESSIBLE LAVATORY



ACCESSIBLE TOILET STALL FRONT ELEVATION

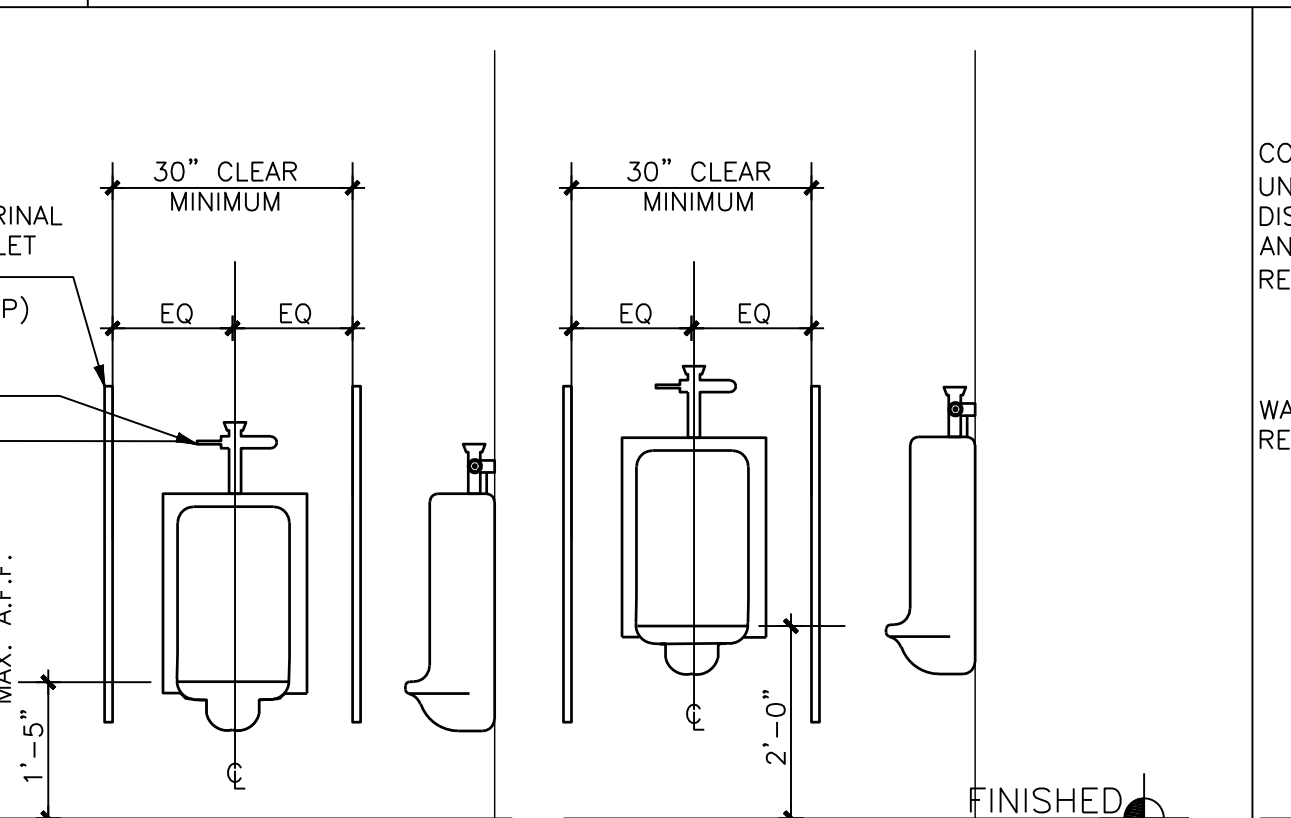


ACCESSIBLE TOILET STALL SIDE ELEVATION



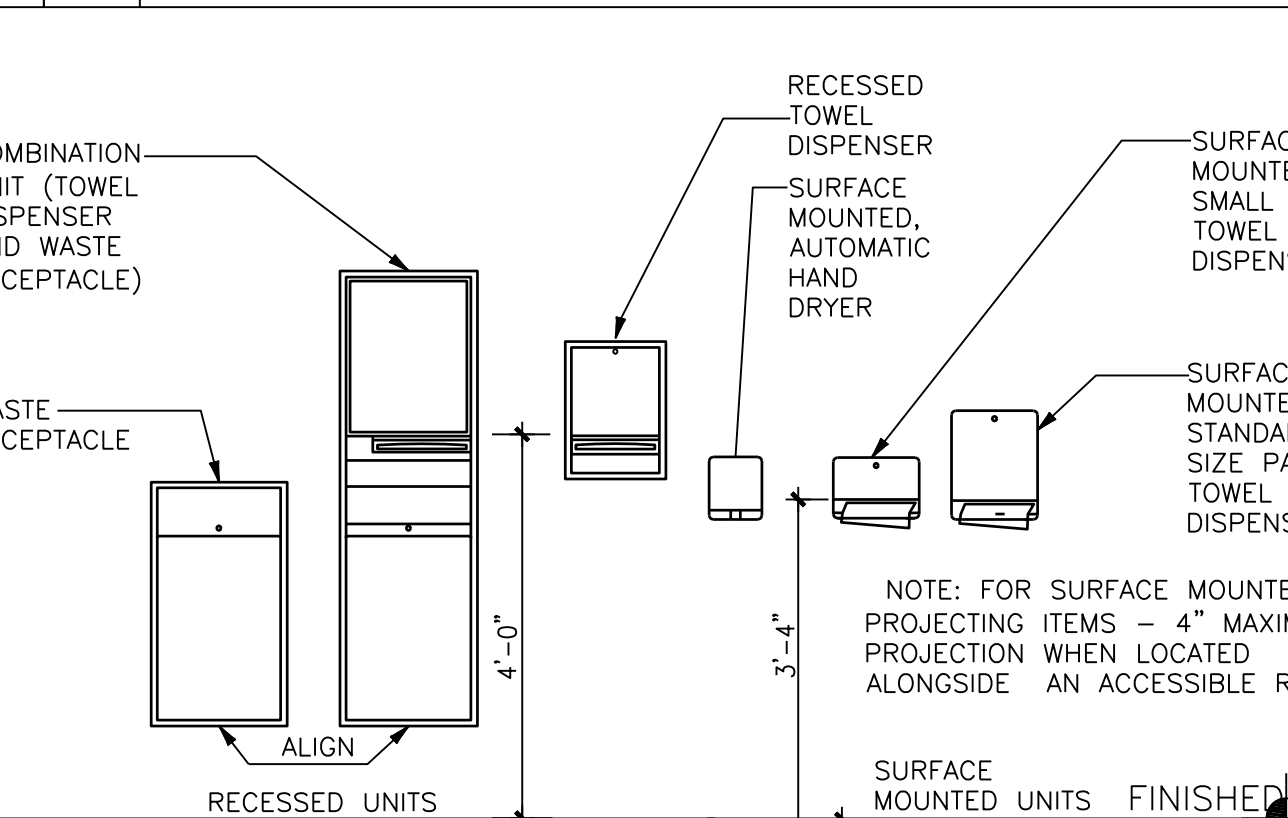
STANDARD TOILET STALL

D8 CLEAR FLOOR AREA



ACCESSIBLE HEIGHT URINAL

D4 HC ACCESSIBLE WATER CLOSET PLAN



TYPICAL WATER CLOSET PLAN

A20 ACCESSIBLE MOUNTING HEIGHTS - FOR TOILET ROOM FIXTURES & GRAB BARS FOR PUBLIC RESTROOMS, REFER TO UNIT SHEETS FOR BATHROOM IN UNITS.



ACCESSIBLE LAVATORY



ACCESSIBLE TOILET STALL FRONT ELEVATION



ACCESSIBLE TOILET STALL SIDE ELEVATION



STANDARD TOILET STALL

D8 CLEAR FLOOR AREA



ACCESSIBLE HEIGHT URINAL

A4 STANDARD MOUNTING HEIGHTS FOR TOILET ROOM ACCESSORIES



TYPICAL WATER CLOSET PLAN

**Clarke Caton Hintz**  
 ARCHITECTURE  
 1500 Edgewood Road  
 Yardley, PA 19087  
 (215) 345-9400  
 www.clarkecatonhintz.com

OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (215) 274-1100

SITE / CIVIL/GEOTECHNICAL/ENVIRONMENTAL:  
 Boucher & James, Inc.  
 1450 Ferry Road, Building 800  
 Doylestown, PA 19501  
 (215) 345-9400 www.bjengineers.com

STRUCTURAL:  
 Harrison-Hammatt, P.C.  
 40 Knowles Street  
 Perkasie, PA 18954  
 (610) 815-1808 www.hhpcos.com

MEP / FP:  
 Holstein White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7111 www.holsteinwhite.com

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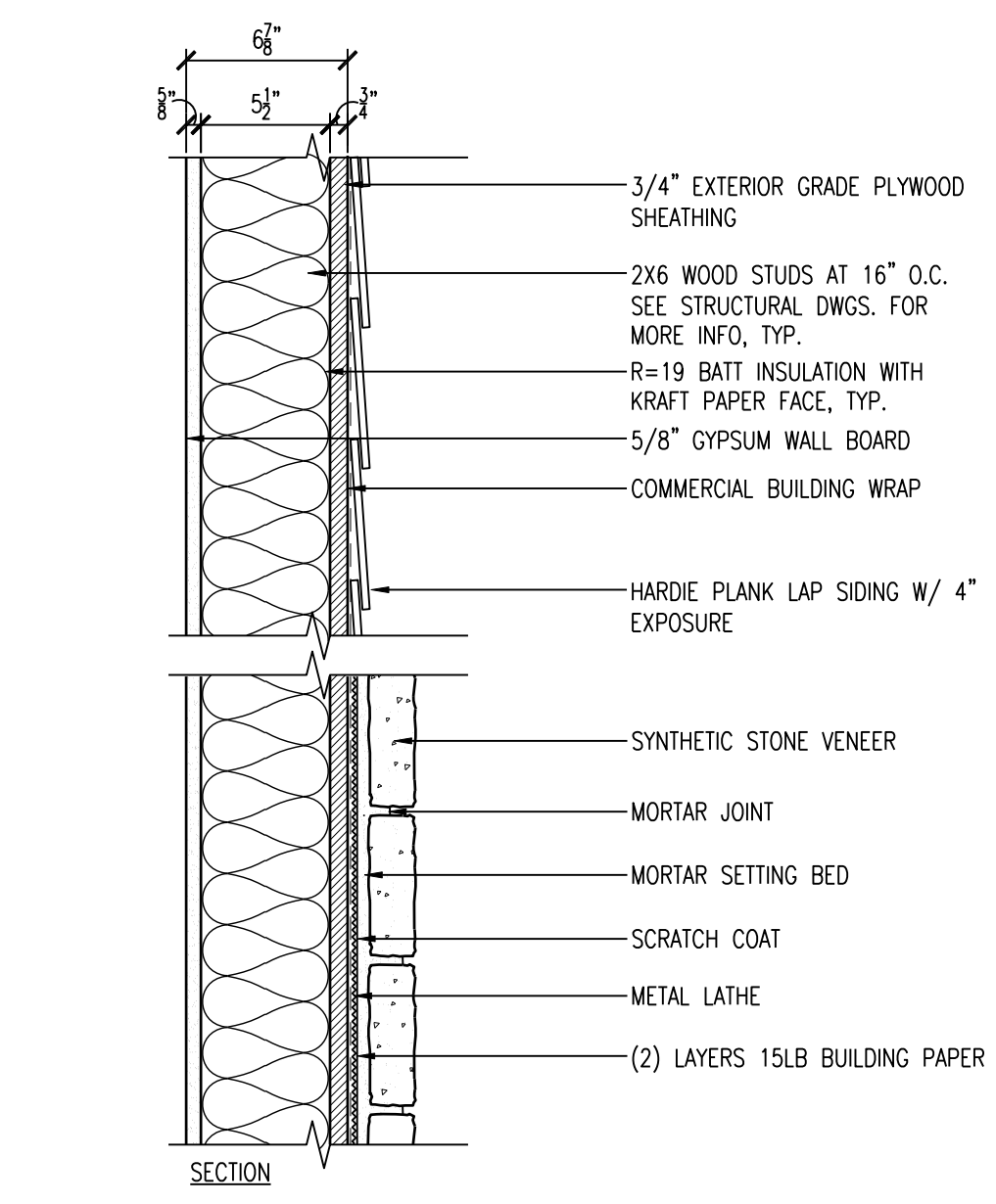
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 GEORGE W. HIBBS, AIA  
 PA LICENSE NO. RA-010877-B  
 DATE: \_\_\_\_\_

**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

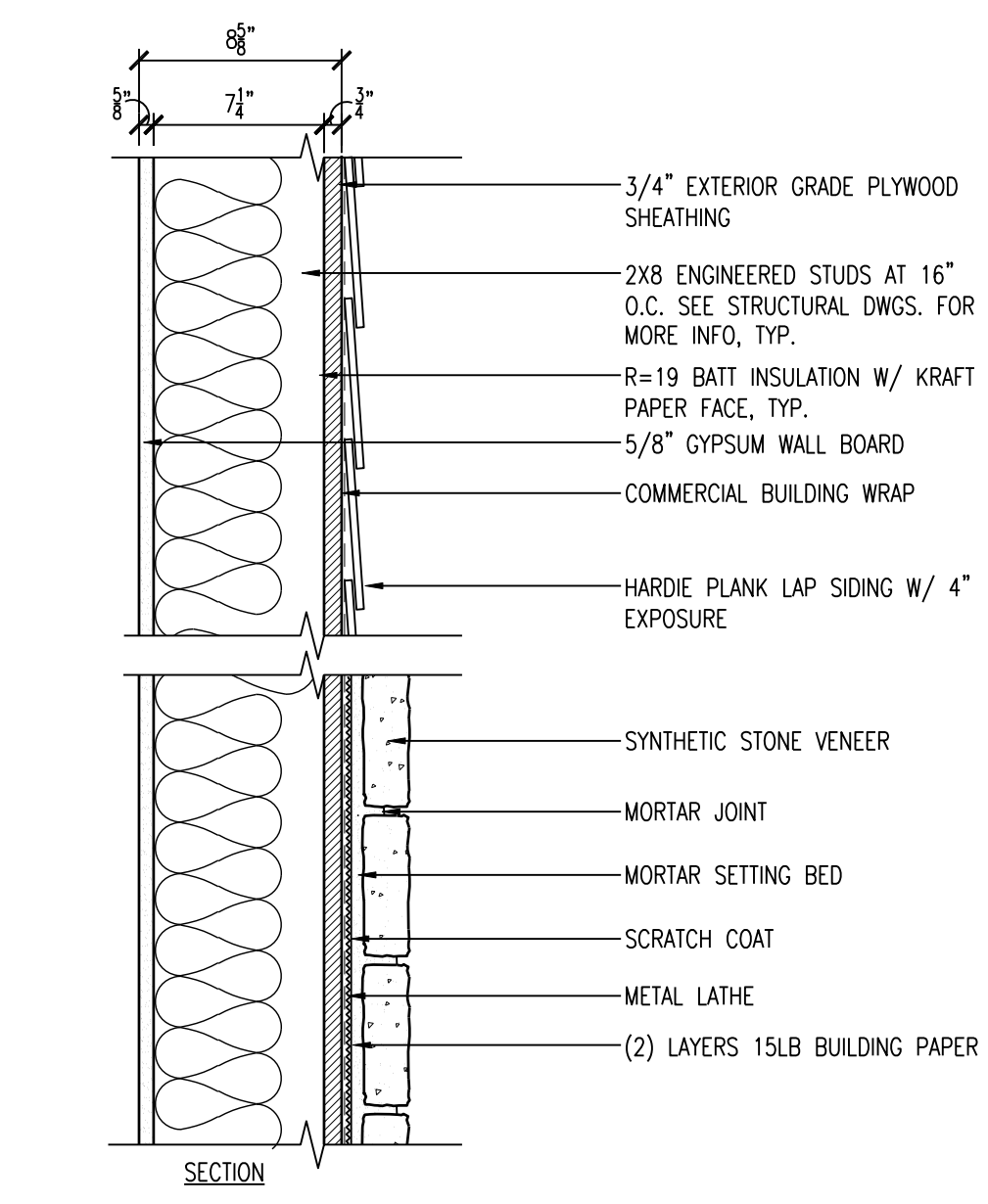
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 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
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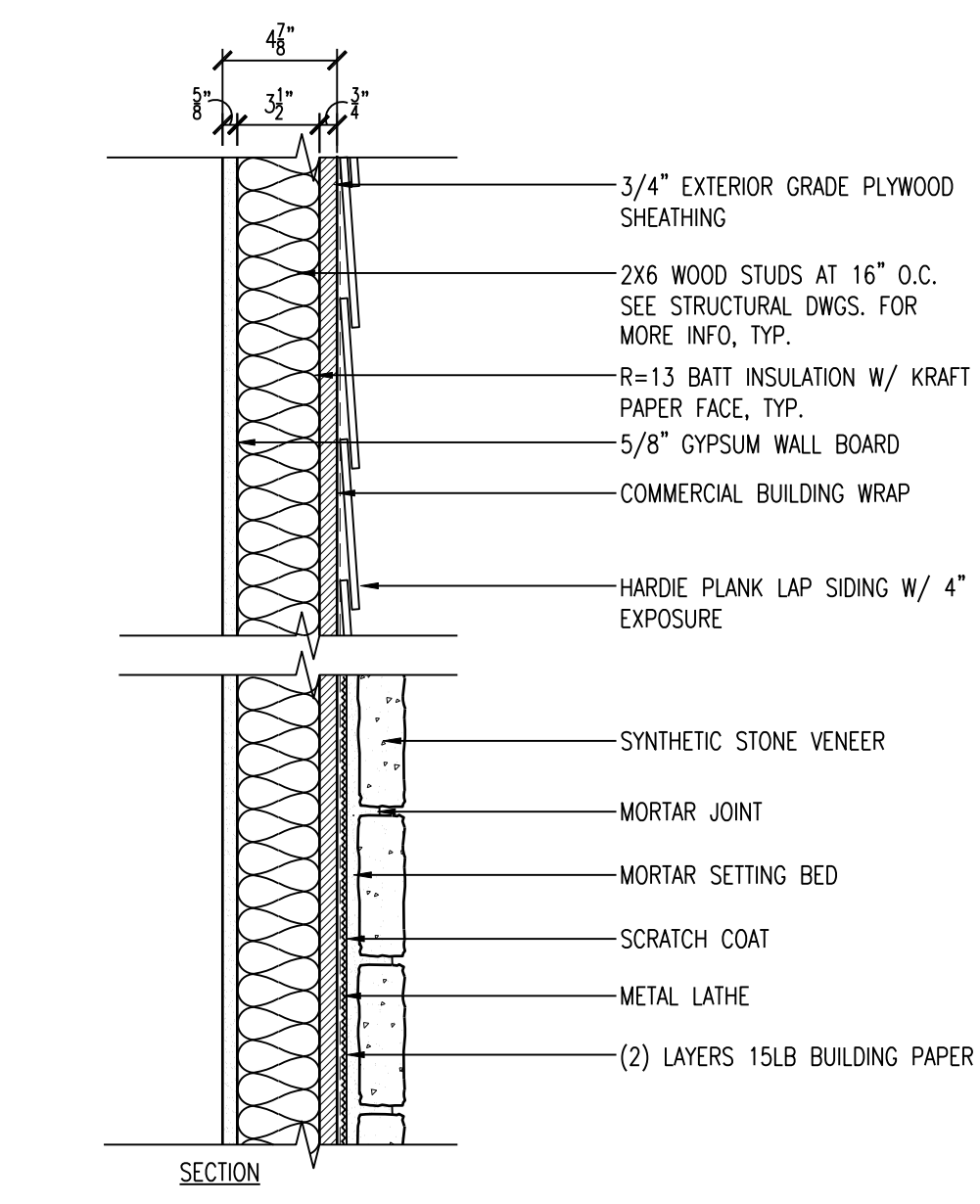
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**G-002**  
 CCH PROJECT NO: 1833



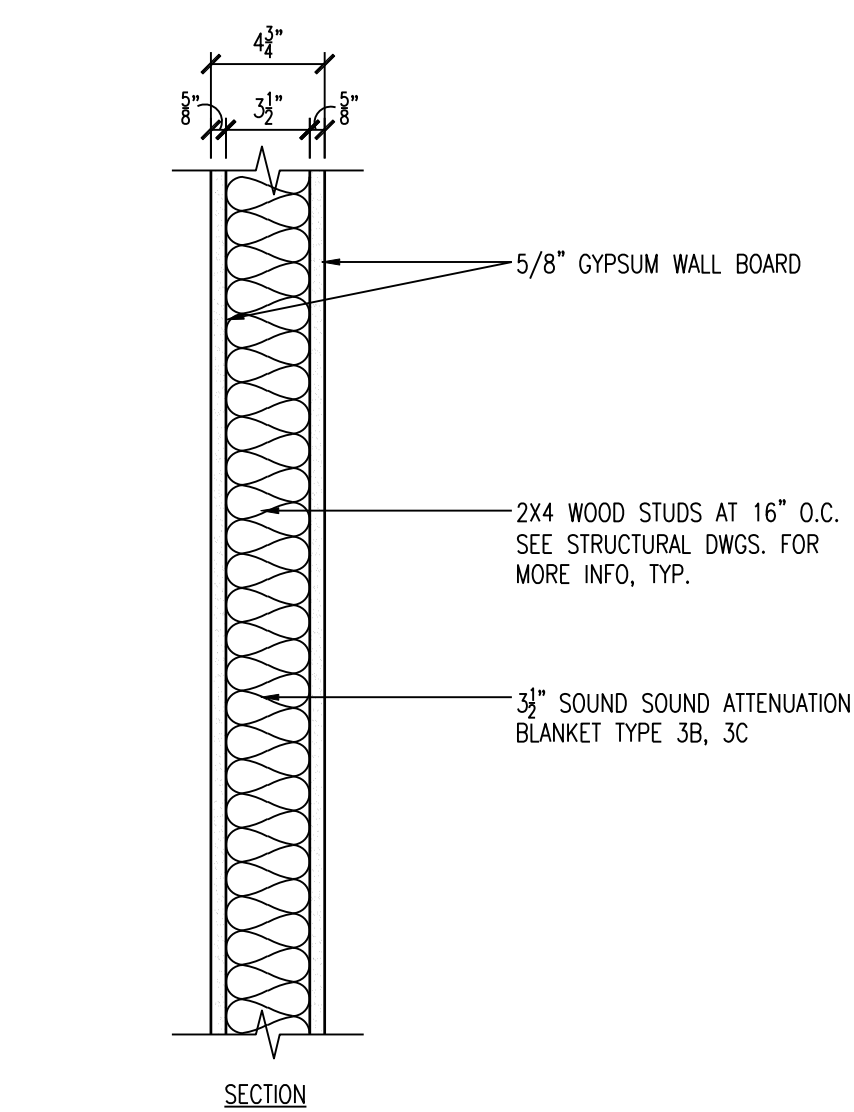
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2 EXTERIOR WALL  
2X8 WOOD STUDS SPACED AT 16\"/>

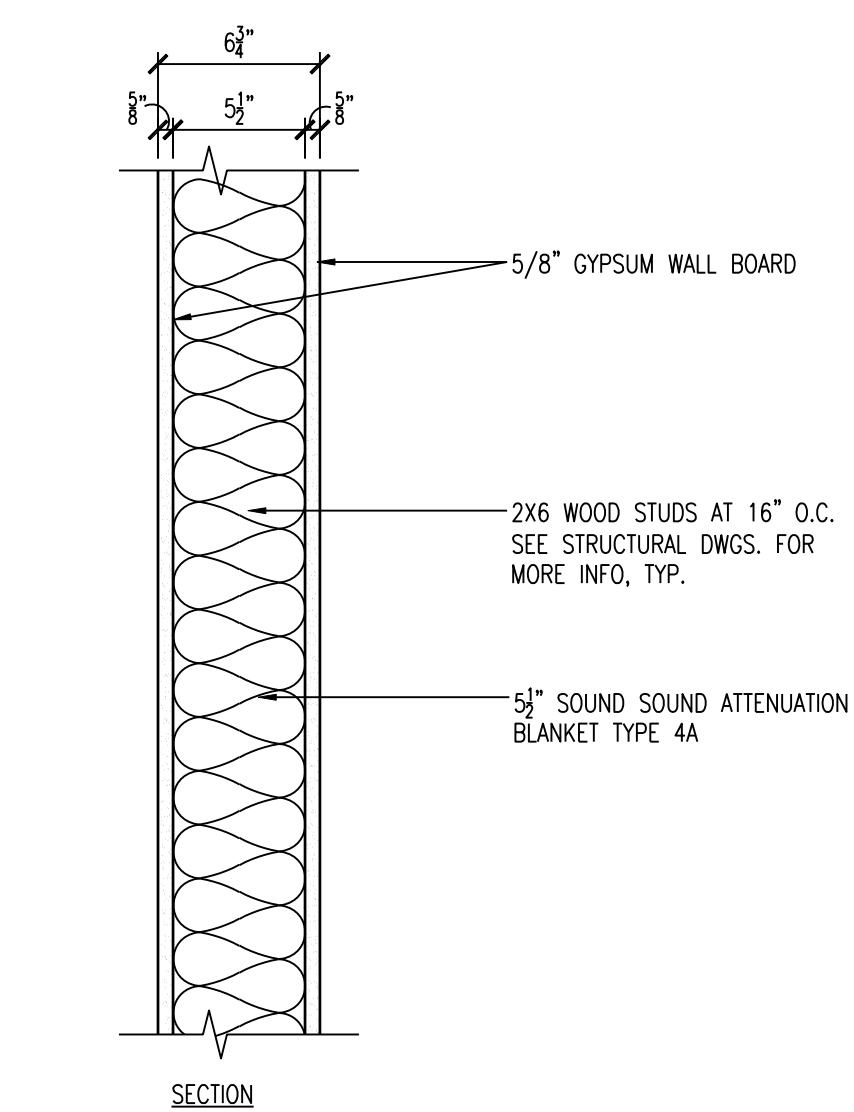


9 EXTERIOR WALL  
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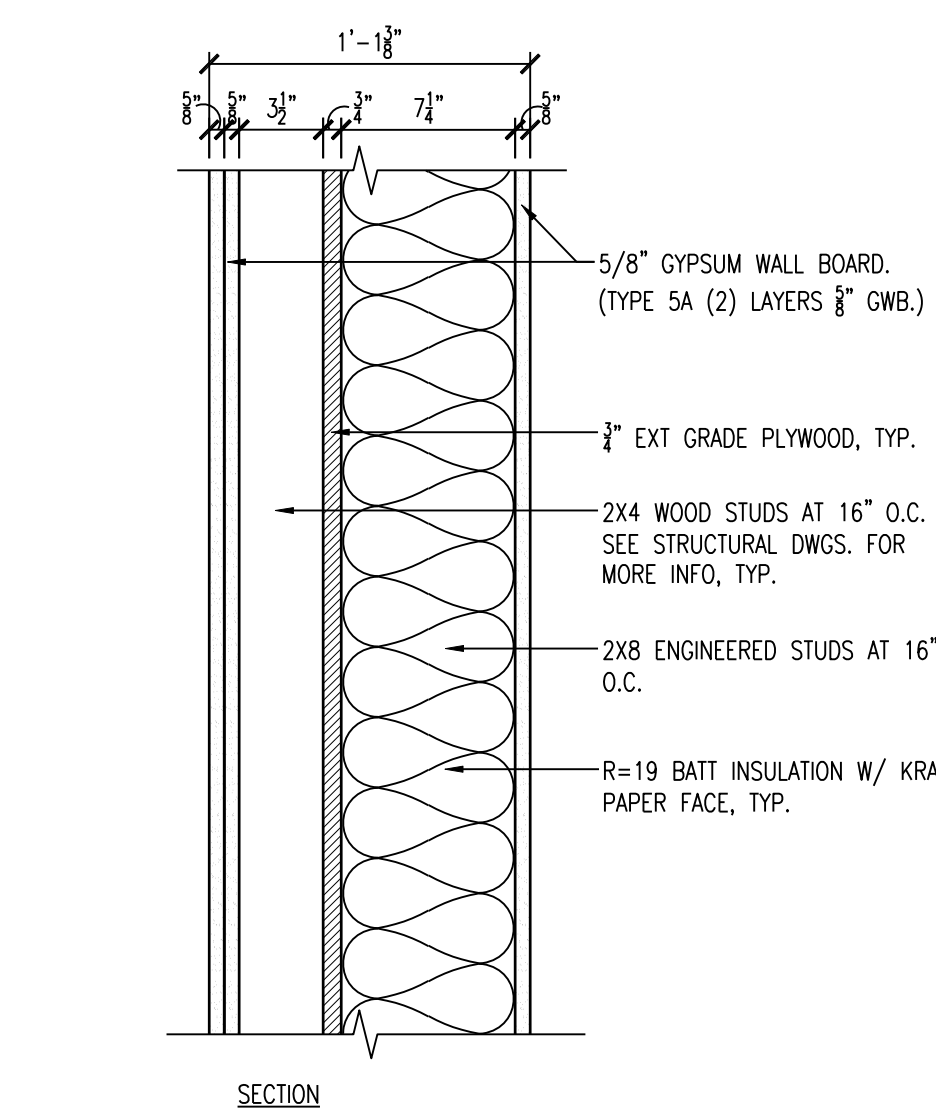
3 INTERIOR PARTITION  
2X4 WOOD STUDS SPACED AT 16\"/>

- 3A 1 HOUR RATED U.L. DESIGN #U305 WITH 5/8\"/>
- 3B WITH 3\"/>
- 3C 1 HOUR RATED WITH 3\"/>



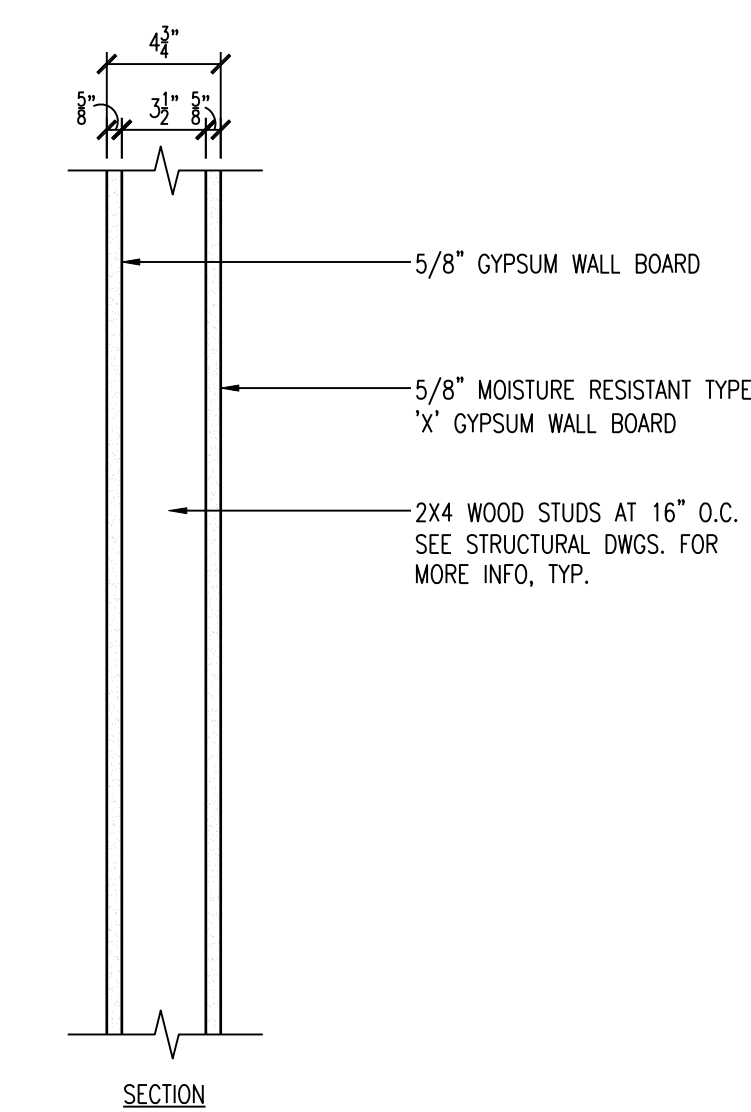
4 INTERIOR PARTITION  
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- 4A 1 HOUR RATED INTERIOR PARTITION U.L. DESIGN #U305 WITH 3\"/>
- 4B 1 HOUR RATED U.L. DESIGN #U305

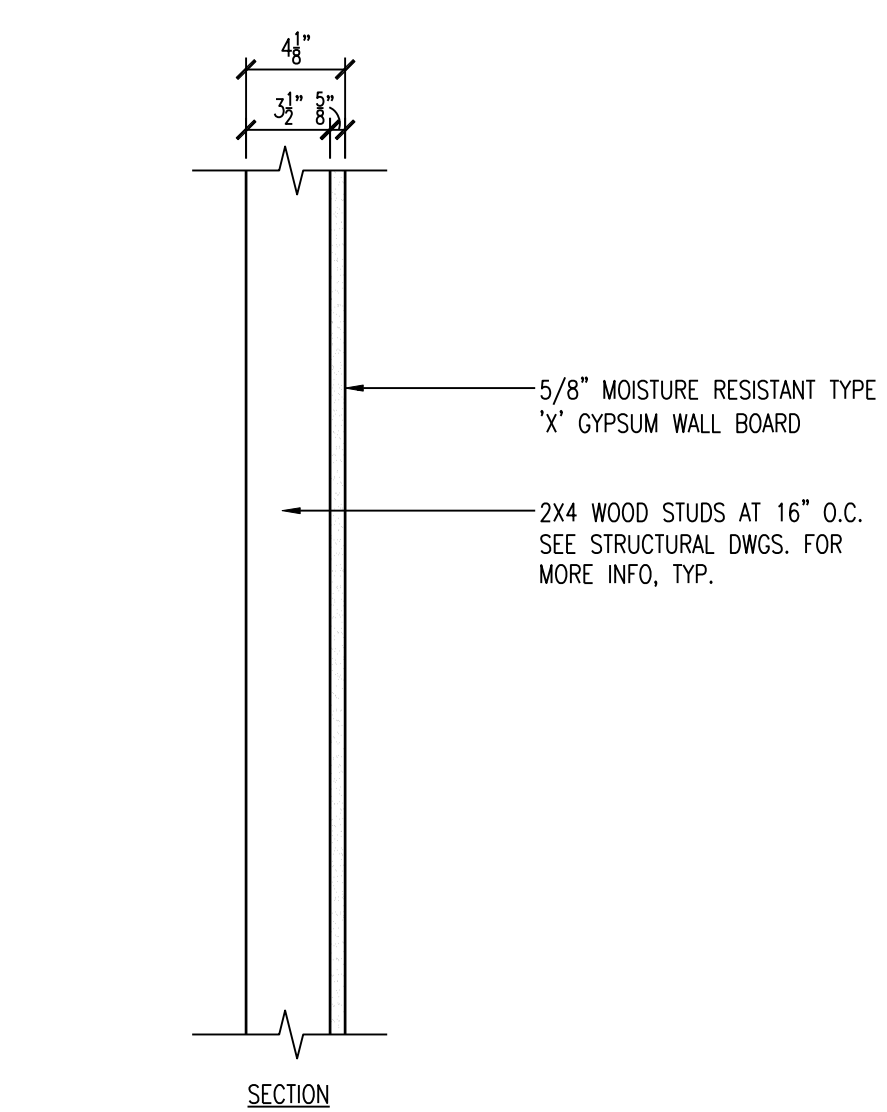


5 INTERIOR PARTITION  
2X4 & 2X8 WOOD STUDS SPACED AT 16\"/>

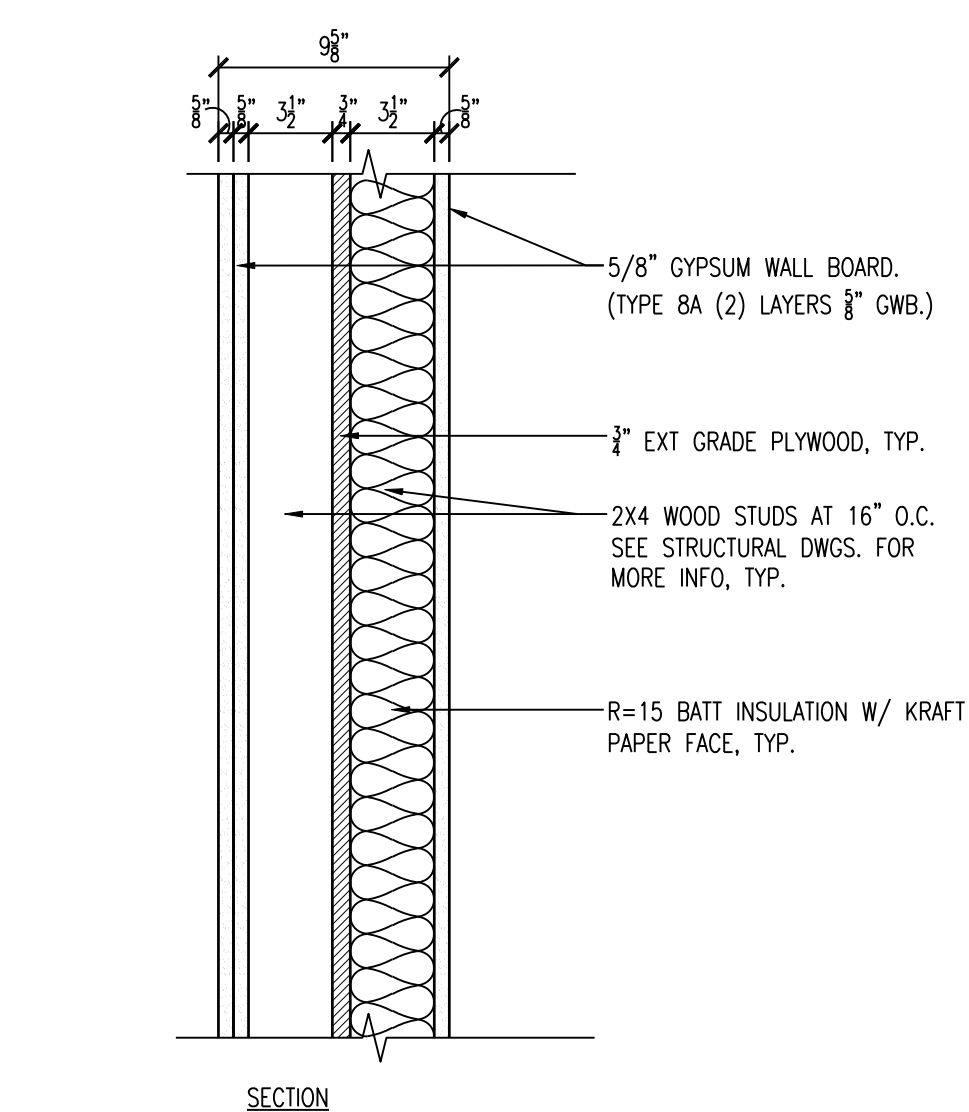
- 5A 1 HOUR RATED



6 INTERIOR PARTITION  
2X4 WOOD STUDS SPACED AT 16\"/>



7 INTERIOR PARTITION  
2X4 WOOD STUDS SPACED AT 16\"/>



8 INTERIOR PARTITION  
2X4 & 2X4 WOOD STUDS SPACED AT 16\"/>

- 8A 1 HOUR RATED, SIMILAR TO U.L. DESIGN #U356

**Clarke Catton Hintz**  
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 Landscape Architecture  
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100 Barred Street  
 York, PA 17403  
 Tel: (717) 833-8395  
 Fax: (717) 833-8396  
 www.clarkecattonhintz.com

**OWNER:**  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

**SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:**  
 Broecker & James, Inc.  
 1656 Fairy Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengineers.com

**STRUCTURAL:**  
 Hamilton-Harrett, P.C.  
 40 Knowles Street  
 Pennington, NJ 08654  
 (609) 816-1800 www.hjpcosa.com

**MEP / FF:**  
 Hollister White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7711 www.hollisterwhite.com

SUBMISSIONS	
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REVISIONS	
NO.	DESCRIPTION

ARCHITECT  
 PA LICENSE NO. RA-014857-B  
 GEORGE M. HIBBS, IVA  
 DATE

**Lower Makefield  
 Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**WALL PARTITION  
 TYPES**

DRAWING NO.:  
**G-003**

CCH PROJECT NO.: 1833

- ANALYSIS BASED ON FOLLOWING CODES:
- 2009 INTERNATIONAL BUILDING CODE
  - 2012 INTERNATIONAL BUILDING CODE (CHAPTER 11 ONLY)
  - 2008 NATIONAL ELECTRIC CODE
  - 2009 INTERNATIONAL MECHANICAL CODE
  - 2009 INTERNATIONAL FUEL GAS CODE
  - 2009 INTERNATIONAL PLUMBING CODE
  - 2009 INTERNATIONAL ENERGY CONSERVATION CODE
  - ANSI A117.1-2009 (ACCESSIBILITY)

THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW 7,856 CROSS SQUARE FT. COMMUNITY CENTER.

**A. USE AND OCCUPANCY CLASSIFICATION**  
OCCUPANCY CLASSIFICATION OF PROPOSED BUILDING:

- A-3 ASSEMBLY (MAIN OCCUPANCY) ASSEMBLY USES INTENDED FOR WORSHIP, RECREATION OR AMUSEMENT AND OTHER ASSEMBLY USES NOT CLASSIFIED ELSEWHERE IN GROUP A INCLUDING, BUT NOT LIMITED TO COMMUNITY HALLS.
  - STORAGE GROUP S-1 (NON-SEPARATED OCCUPANCY), BUILDINGS OCCUPIED FOR STORAGE USES THAT ARE NOT CLASSIFIED AS GROUP S-2, INCLUDING, BUT NOT LIMITED TO, STORAGE OF THE FOLLOWING BOOKS AND PAPER IN ROLLS OR PACKS, CARDBOARD AND CARDBOARD BOXES, AND FURNITURE.
  - B BUSINESS GROUP (NON-SEPARATED OCCUPANCY) BUSINESS GROUP B OCCUPANCY INCLUDES, AMONG OTHERS, THE USE OF A BUILDING OR STRUCTURE, OR A PORTION THEREOF, FOR OFFICE, PROFESSIONAL OR SERVICE-TYPE TRANSACTIONS, INCLUDING STORAGE OF RECORDS AND ACCOUNTS.
- PER 508.3.1 NON-SEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. THE REQUIREMENTS OF THIS CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE EXCEPT THAT THE MOST RESTRICTIVE APPLICABLE PROVISIONS OF SECTION 403 AND CHAPTER 9 SHALL APPLY TO THE BUILDING OR PORTION THEREOF IN WHICH THE NONSEPARATED OCCUPANCIES ARE LOCATED.

**B. CONSTRUCTION CLASSIFICATION**  
CONSTRUCTION CLASSIFICATION OF PROPOSED BUILDING: TYPE 5B

**C. FIRE RESISTANCE RATING REQUIREMENTS FOR THE BUILDING ELEMENTS (HOURS) PER IBC 2009 TABLE 601, TYPE 2B CONSTRUCTION**

STRUCTURAL FRAME	0-HOUR
BEARING WALLS	0-HOUR
EXTERIOR INTERIOR	0-HOUR
NON-BEARING EXTERIOR WALLS & PARTITIONS (SEE TABLE BELOW)	0-HOUR
NON-BEARING INTERIOR WALLS & PARTITIONS	0-HOUR
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0-HOUR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0-HOUR
CORRIDOR WALLS	1-HOUR

PER 508.3.3 SEPARATION, NO SEPARATION IS REQUIRED BETWEEN NONSEPARATED OCCUPANCIES.

PER TABLE 605: CORRIDOR FIRE RESISTANCE RATING FOR CORRIDORS, SERVING MORE THAN 50 PEOPLE IN USE GROUP A OCCUPANCIES IN BUILDINGS NOT EQUIPPED WITH AUTOMATIC SPRINKLER IS 1-HOUR.

709.4 FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE, AND SHALL BE SECURELY ATTACHED THERETO. IF THE PARTITIONS ARE NOT CONTIGUOUS TO THE SHEATHING, AND WHERE CONSTRUCTED OF COMBUSTIBLE CONSTRUCTION, THE SPACE BETWEEN THE CEILING AND THE SHEATHING, DECK OR SLAB ABOVE SHALL BE FIRE-LOCKED OR DRAFTSTOPPED IN ACCORDANCE WITH SECTIONS 713.2 AND 713.3 AT THE PARTITION LINE. THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL SUPPORTED, EXCEPT FOR CORRIDOR WALLS, IN BUILDINGS OF TYPE VB CONSTRUCTION.

**D. FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE (PER IBC 2009 TABLE 602)**

X < 5'	2B CONSTRUCTION, OCCUPANCY B =	1-HOUR
5' ≤ X < 10'	2B CONSTRUCTION, OCCUPANCY B =	1-HOUR
10' ≤ X < 30'	2B CONSTRUCTION, OCCUPANCY B =	0-HOUR
X ≥ 30'	2B CONSTRUCTION, OCCUPANCY B =	0-HOUR

**E. INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (PER IBC 2009 TABLE 803.9)**

GROUP A-3, SPRINKLERED  
EXIT ENCLOSURES AND EXIT PASSAGEWAYS  
CORRIDORS  
ROOMS AND ENCLOSED SPACES  
LOBBIES

**F. HEIGHT AND AREA LIMITATIONS, PER TABLE 503 IBC 2009, FOR TYPE 5B CONSTRUCTION**

PER 505.3.2 ALLOWABLE BUILDING AREA AND HEIGHT. THE ALLOWABLE BUILDING AREA AND HEIGHT OF THE BUILDING OR PORTION THEREOF SHALL BE BASED ON THE MOST RESTRICTIVE ALLOWANCES FOR THE OCCUPANCY GROUPS UNDER CONSIDERATION FOR THE TYPE OF CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH SECTION 503.1. THE MOST RESTRICTIVE OCCUPANCY IS GROUP A-3.

GROUP A-3	ALLOWABLE BUILDING HEIGHT, 1 STOREY (60'-0")
	ALLOWABLE BUILDING AREA, 6,000 SQFT. PER STORY

**G. HEIGHT AND AREA LIMITATIONS, PER TABLE 504 IBC 2009, FOR TYPE VB CONSTRUCTION, WITH ALLOWABLE INCREASES**

GROUP A-3	ALLOWABLE BUILDING HEIGHT, 1 STOREY (60'-0")
	ALLOWABLE BUILDING AREA, 25,500 SQFT. PER STORY

**H. AUTOMATIC SPRINKLER SYSTEM INCREASE (HEIGHT)**

NOT APPLICABLE

**I. AREA MODIFICATIONS**

AA=[AT + (AT X IF) - (AT X IS)]  
AA=ALLOWABLE AREA PER STORY SQ/FT  
AT=TABULAR AREA PER STORY  
IF=AREA INCREASE FACTOR FOR FRONTAGE  
IS=AREA INCREASE FACTOR FOR SPRINKLER.

GROUP A-3 AA=[6,000 + (6,000 X 0.34) - (0 X 3)]  
AA=8,040 SQ. FT.

**J. FRONTAGE INCREASE**

IF=[(F/P) - 0.25]/30  
IF=AREA INCREASE DUE TO FRONTAGE  
F=BUILDING PERIMETER THAT FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING 20 FEET OPEN MINIMUM WIDTH  
P=PERIMETER OF ENTIRE BUILDING  
W=WIDTH OF PUBLIC WAY OR OPEN SPACE IN ACCORDANCE WITH SECTION 506.2.1.

**K. SPRINKLER INCREASE**

IS PER SECTION 905.2.1.3 OF IBC 2009, THE AREA LIMITATION IN THE TABLE 503 IS PERMITTED TO BE INCREASED BY AN ADDITIONAL 300% (IS = 3) FOR BUILDINGS WITH NO MORE THAN ONE STORY ABOVE GRADE PLANE WHEN THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 905.3.1.1.

**L. ACTUAL HEIGHT AND AREA**

ACTUAL BUILDING AREA = 7,856 G.S.F.

ACTUAL BUILDING HEIGHT = 29'-6" (1 STOREY)

ACTUAL BUILDING VOLUME = 231,752 C.F.

**M. AUTOMATIC SPRINKLER SYSTEM**

PER SECTION 905.2.1.3 OF THE IBC 2009, AN AUTOMATIC SPRINKLER SYSTEM MUST BE PROVIDED FOR GROUP A-3 OCCUPANCIES WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:  
THE FIRE AREA EXCEEDS 12,000 SQUARE FEET;  
THE FIRE AREA HAS AN OCCUPANT LOAD OF 300 OR MORE;  
THE FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES.

NO SPRINKLER SYSTEM IS REQUIRED

**N. OCCUPANT LOAD, AS DETERMINED BY SECTION 1004 OF IBC 2009**

TOTAL OCCUPANT LOAD - FIRST FLOOR = 234

**O. MEANS OF EGRESS**

- PLEASE REFER TO EGRESS DRAWINGS.
- EGRESS WIDTHS PER OCCUPANT CALCULATED AS PER TABLE 1005.1 PER IBC 2009
- OTHER EGRESS COMPONENTS = 0.2' PER OCCUPANT.
- PER SECTION 1014 OF IBC 2009 THE COMMON PATH OF EGRESS SHALL NOT EXCEED 100'
- PER SECTION 1016 OF IBC 2009, THE EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS IN THE A USE GROUP NOT EQUIPPED WITH A SPRINKLER SYSTEM SHALL NOT BE MORE THAN 200'
- PER SECTION 1018.4 OF IBC 2009, THE LENGTH OF THE DEADEND CORRIDORS SHALL NOT EXCEED 20'-0".

**P. PLUMBING FIXTURE COUNTS**

THE EGRESS OCCUPANT LOAD IS ALLOWED TO BE MULTIPLIED BY 50% TO DETERMINE THE NUMBER OF PERSONS OF EACH SEX TO BE PROVIDED FOR.

- IN THE A-3 USE GROUP 234/2 = 117, PROVIDE PLUMBING FIXTURES FOR 125 MEN AND 1257 WOMEN

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES - PER CHAPTER 4, USE GROUP A-3 OF THE 2009 INTERNATIONAL PLUMBING CODE. ALL ACCESSIBLE UNIT COUNTS ARE CHAPTER 11 OF THE 2009 INTERNATIONAL BUILDING CODE.

= 1 W.C. FOR MEN	(1 ACCESSIBLE)
= 1 LAVS FOR MEN	(1 ACCESSIBLE)
= 2 W.C. FOR WOMEN	(1 ACCESSIBLE)
= 1 LAVS FOR WOMEN	(1 ACCESSIBLE)

PROVIDED NUMBER OF PLUMBING FIXTURES IN BUILDING:

= 3 W.C. FOR MEN	(2 ACCESSIBLE)
= 3 LAVS FOR MEN	(1 ACCESSIBLE)
= 3 W.C. FOR WOMEN	(2 ACCESSIBLE)
= 3 LAVS FOR WOMEN	(1 ACCESSIBLE)

- 2 DRINKING WATER FACILITIES PROVIDED.
- 1 SERVICE SINK PROVIDED IN JANITOR'S CLOSET.

**Clarke Caton Hintz**  
ARCHITECTURE  
1100 Edgewood Road  
Yardley, PA 19087  
(215) 345-9400  
www.clarkecatonhintz.com

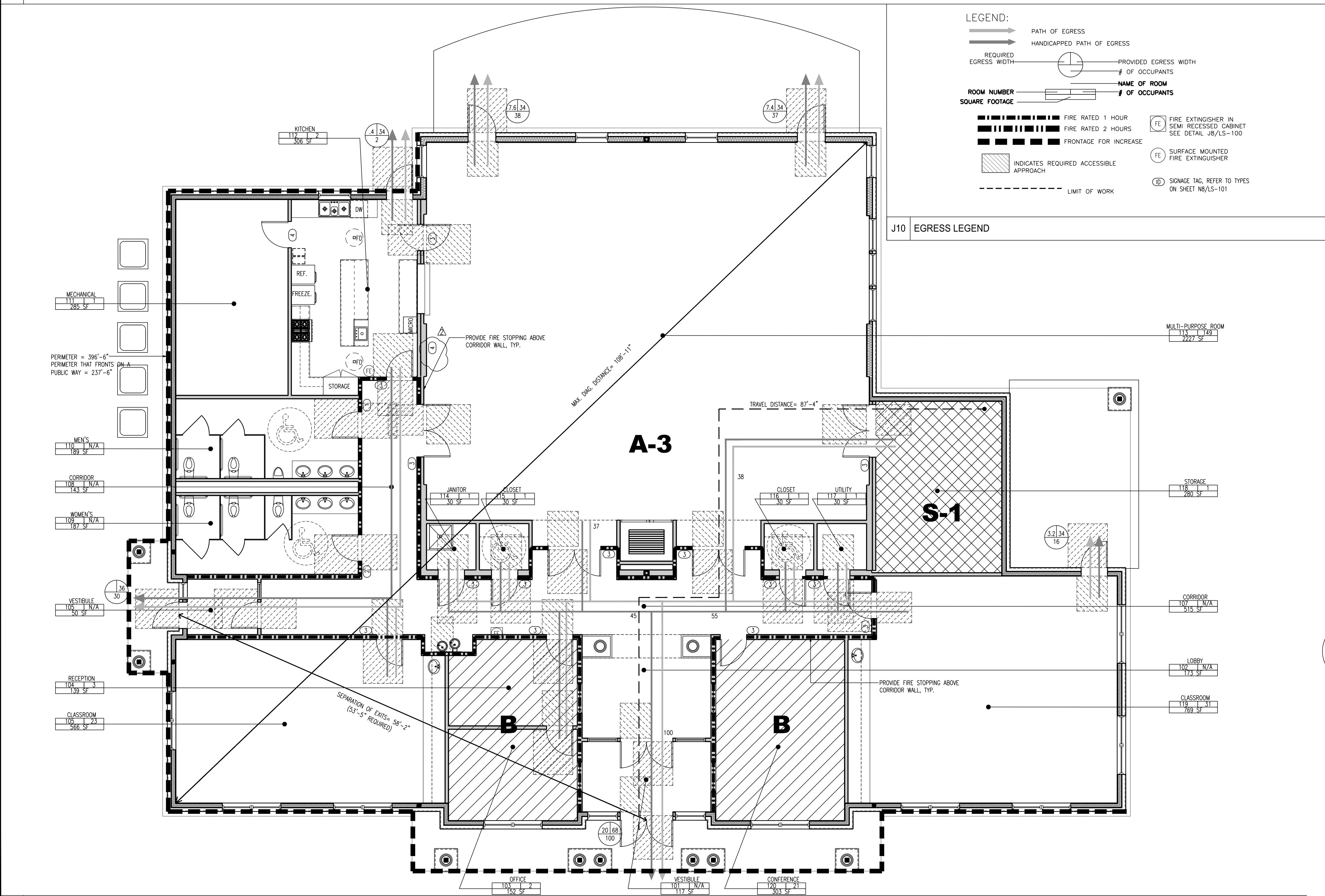
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Township of Lower Merion  
1100 Edgewood Road  
Yardley, PA 19087  
(215) 345-9400

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1456 Ferry Road, Building 500  
Dalestown, PA 18001  
(215) 345-9400 www.bjengineers.com

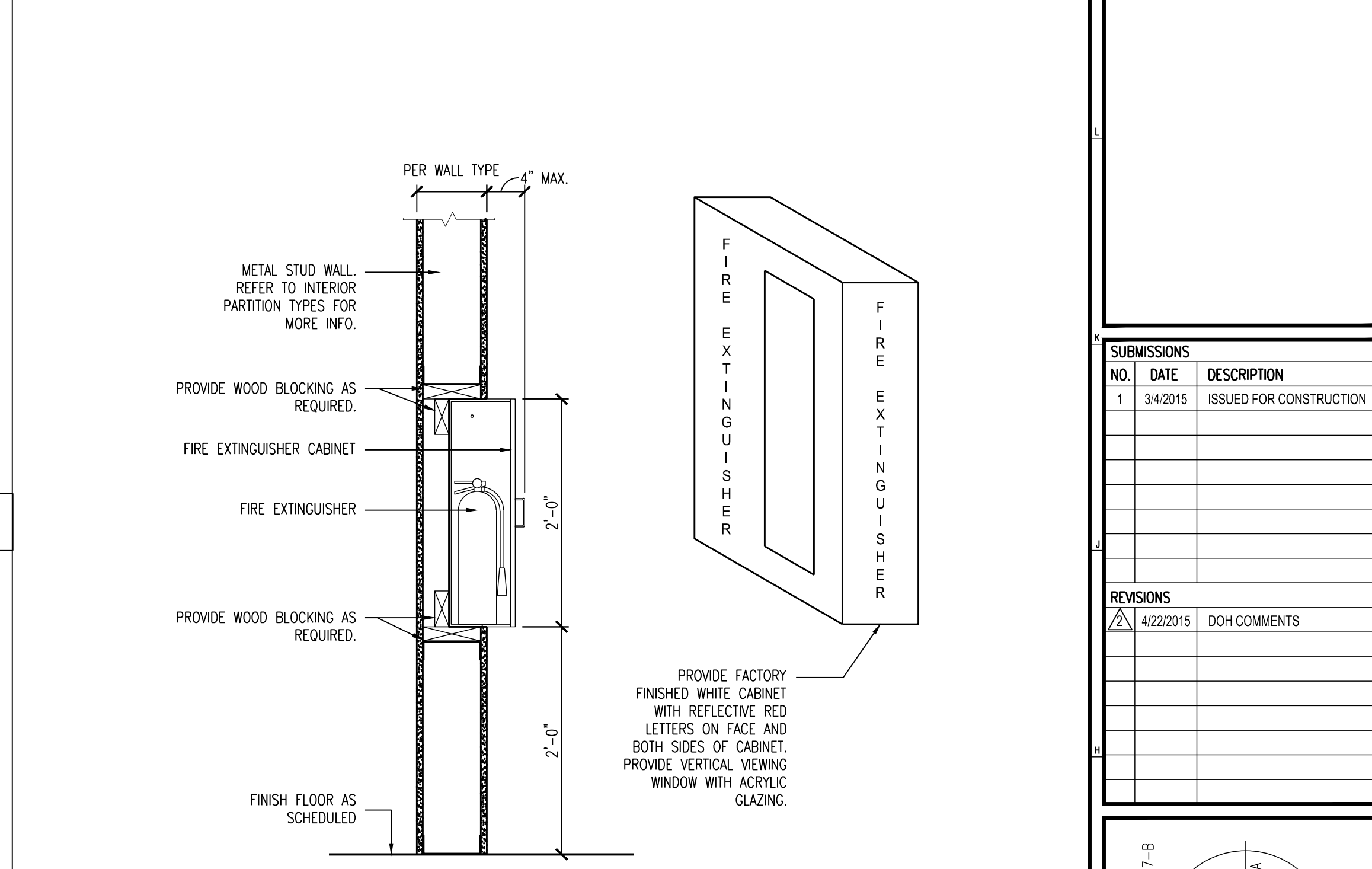
STRUCTURAL:  
Hanson-Hammel, P.C.  
40 Knowles Street  
Plumington, NJ 08534  
(609) 815-1000 www.hhpc.com

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Hobbs-Whitt, Inc.  
210 E. Street Road, Suite 2f  
Fleetville, PA 19023  
(215) 322-7711 www.hobbswhitt.com

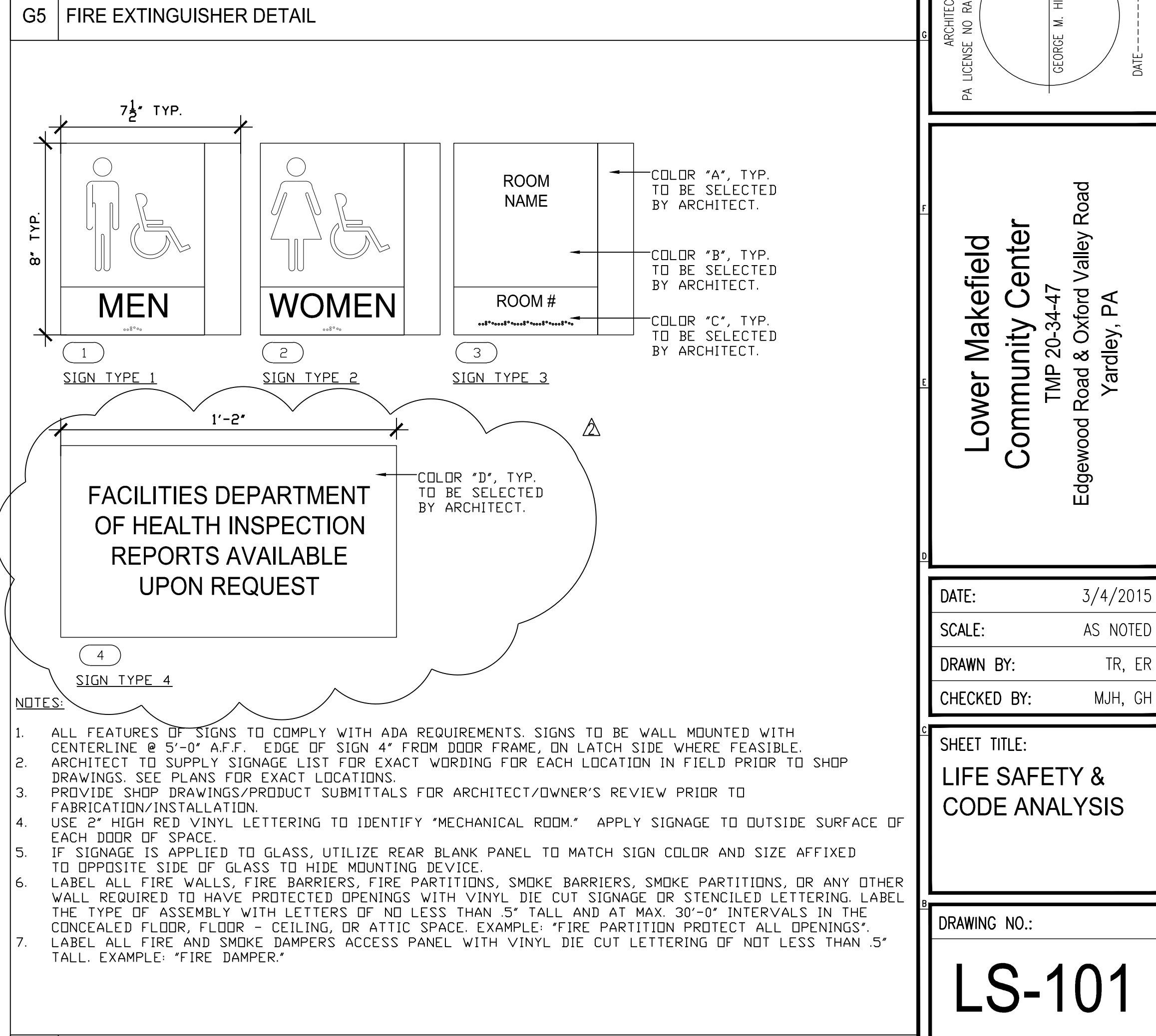
**M20 CODE ANALYSIS**



**G5 FIRE EXTINGUISHER DETAIL**



**A5 SIGNAGE TYPES**



**A20 CODE ANALYSIS**

**SUBMISSIONS**

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**REVISIONS**

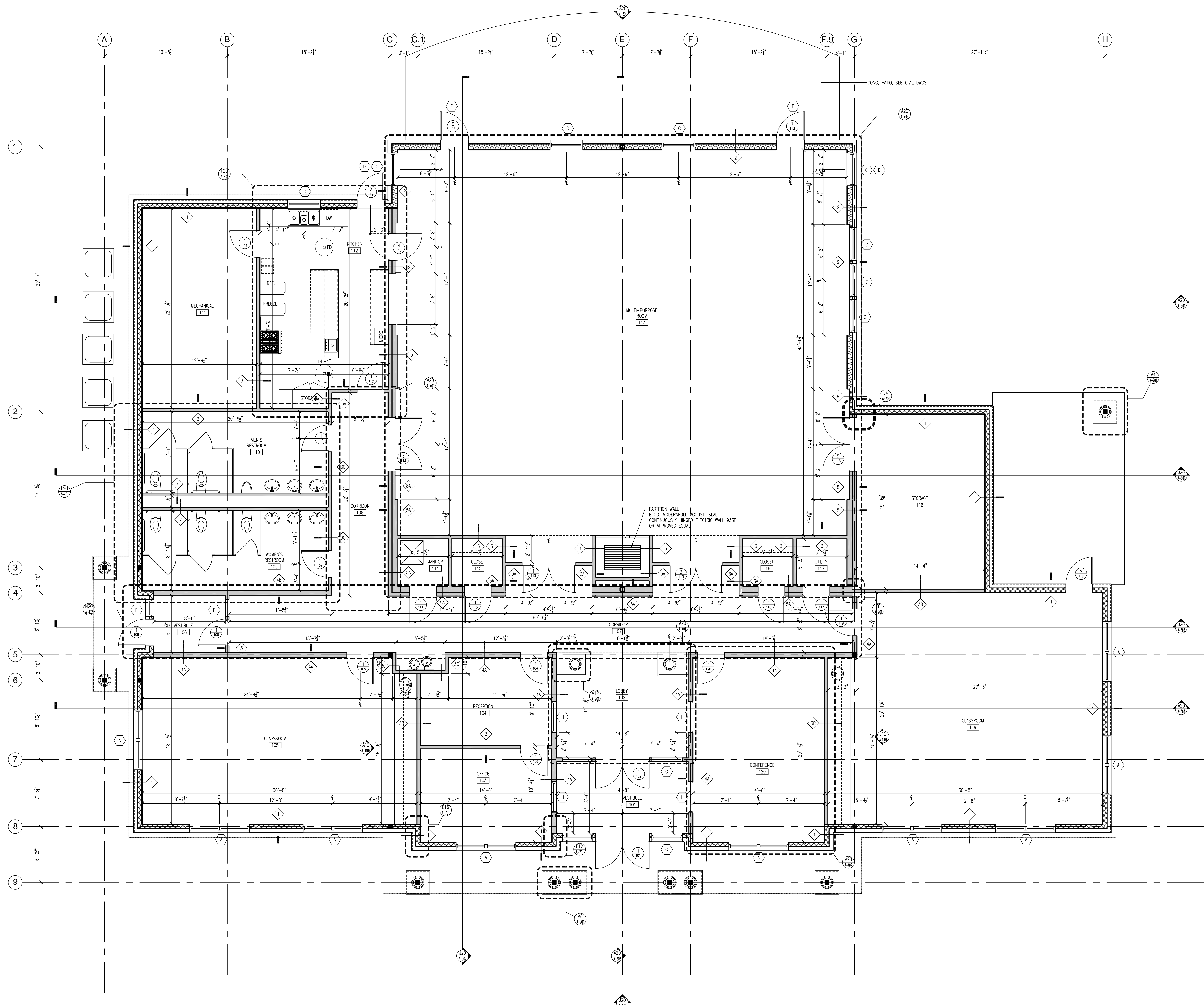
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GEORGE M. HIBBS, AIA  
DATE

**Lower Merion Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/4/2015  
SCALE: AS NOTED  
DRAWN BY: TR, ER  
CHECKED BY: MJH, GH

SHEET TITLE:  
**LIFE SAFETY & CODE ANALYSIS**  
DRAWING NO.:  
**LS-101**  
CCH PROJECT NO.: 1833



**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
 100 Barred Street  
 York, PA 17403  
 Tel: (717) 835-8345  
 Fax: (717) 835-8345  
 www.clarkecattonhintz.com

**OWNER:**  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

**SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:**  
 Broecker & James, Inc.  
 1456 Fairy Road, Building 500  
 Doylestown, PA 18001  
 (717) 345-9400 www.bjengr.com

**STRUCTURAL:**  
 Hinton-Harrett, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 815-1888 www.hjpcsa.com

**MEP / FF:**  
 Holsman White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7711 www.holsteinwhite.com

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**Lower Makefield  
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 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

**DATE:** 3/4/2015  
**SCALE:** AS NOTED  
**DRAWN BY:** TR, ER  
**CHECKED BY:** MJH, GH

**SHEET TITLE:**  
**FIRST FLOOR  
 PLAN**

**DRAWING NO.:**  
**A-100**  
**CCH PROJECT NO.:** 1833

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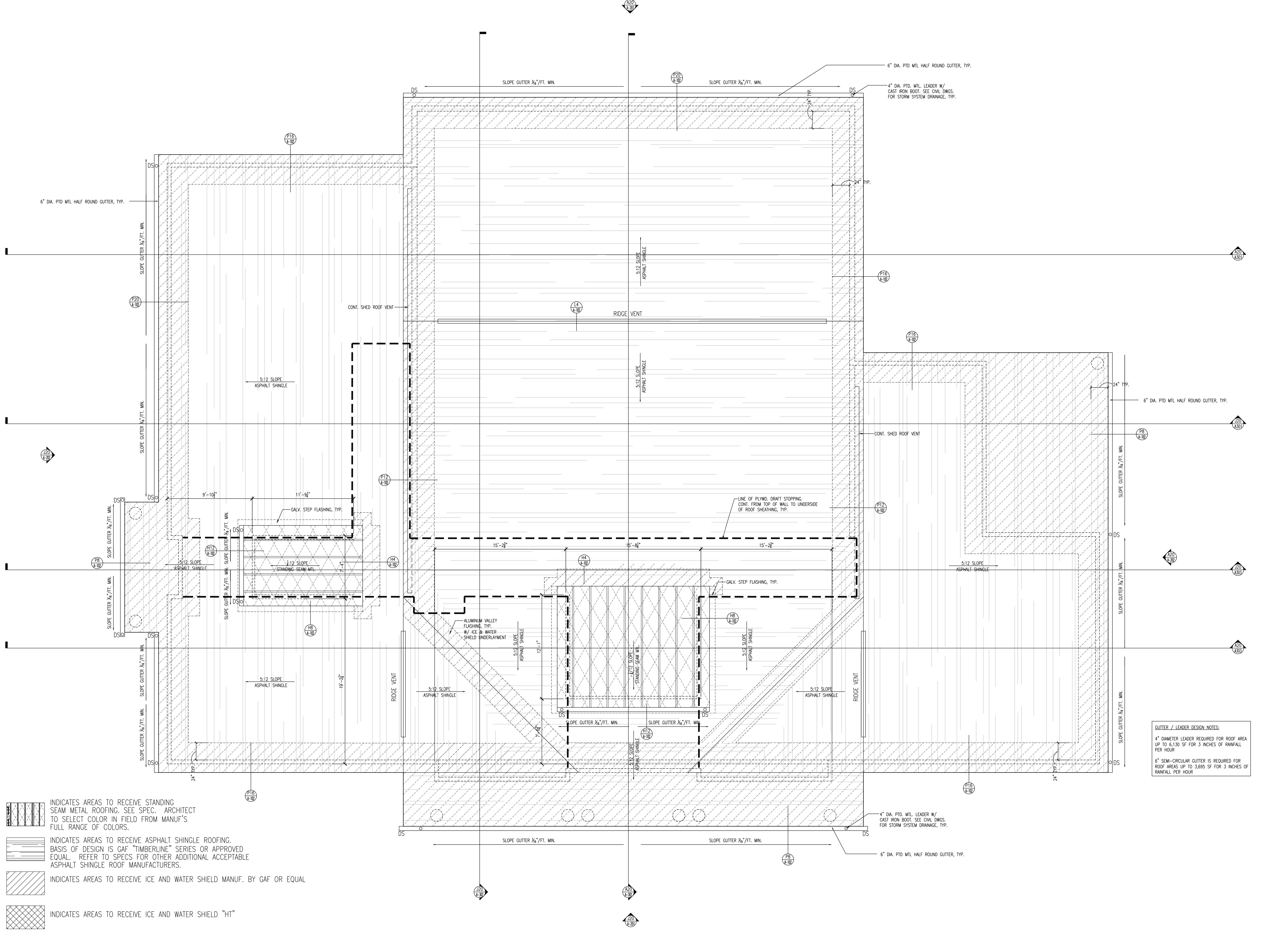
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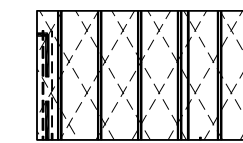
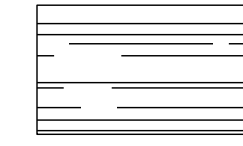
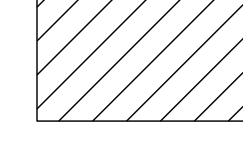
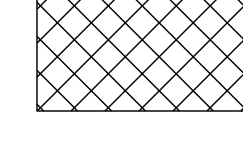
**Lower Makefield  
 Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

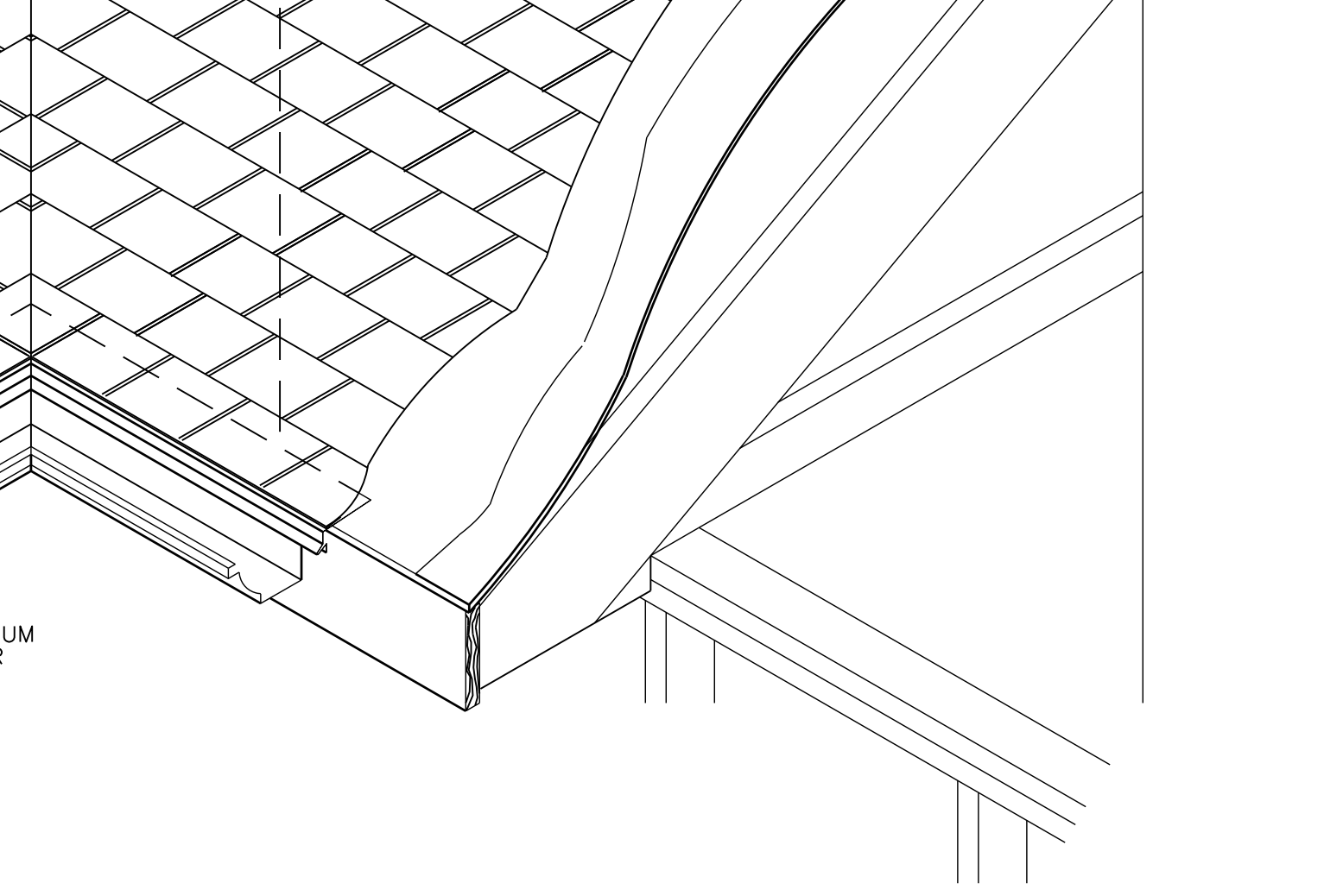
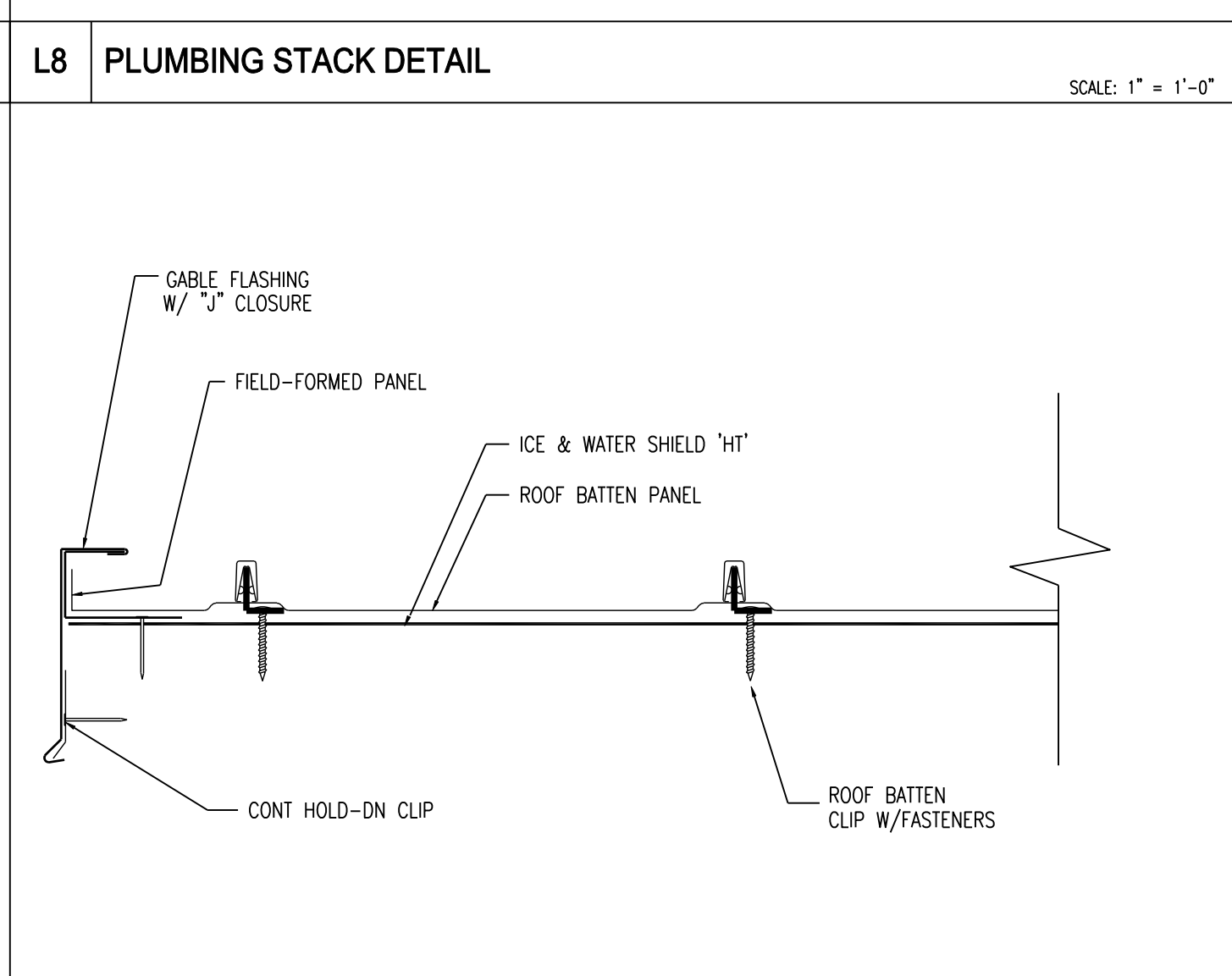
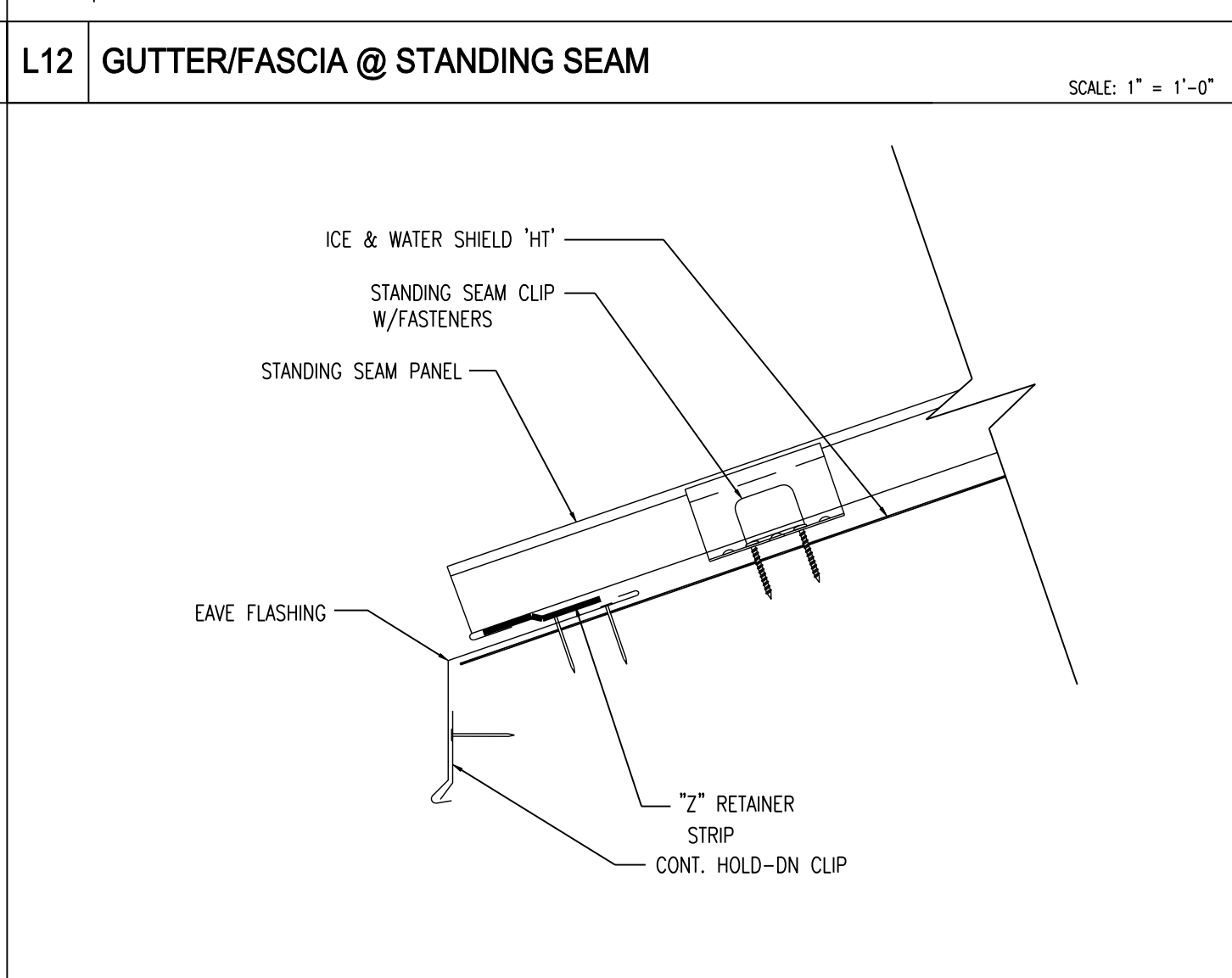
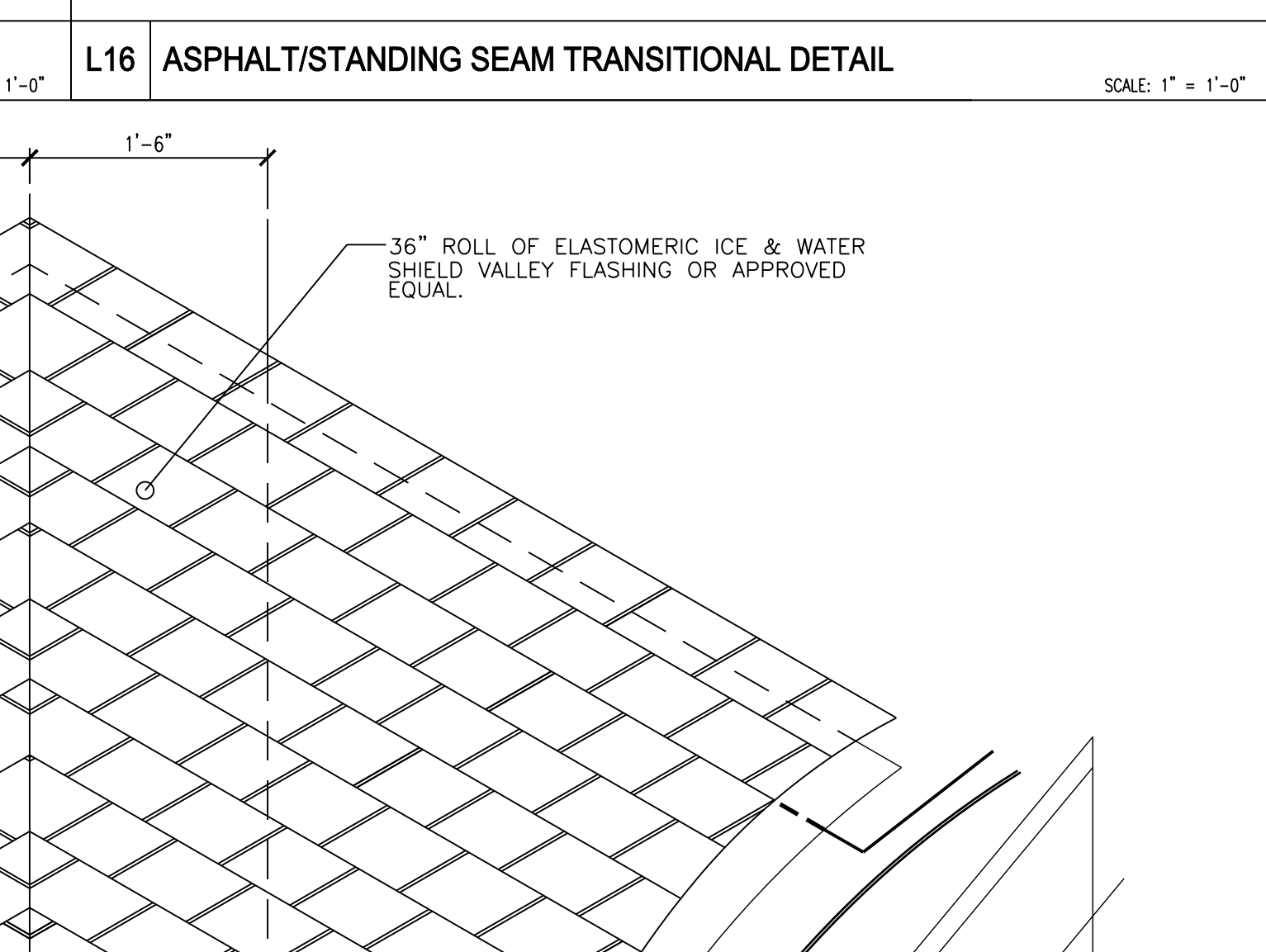
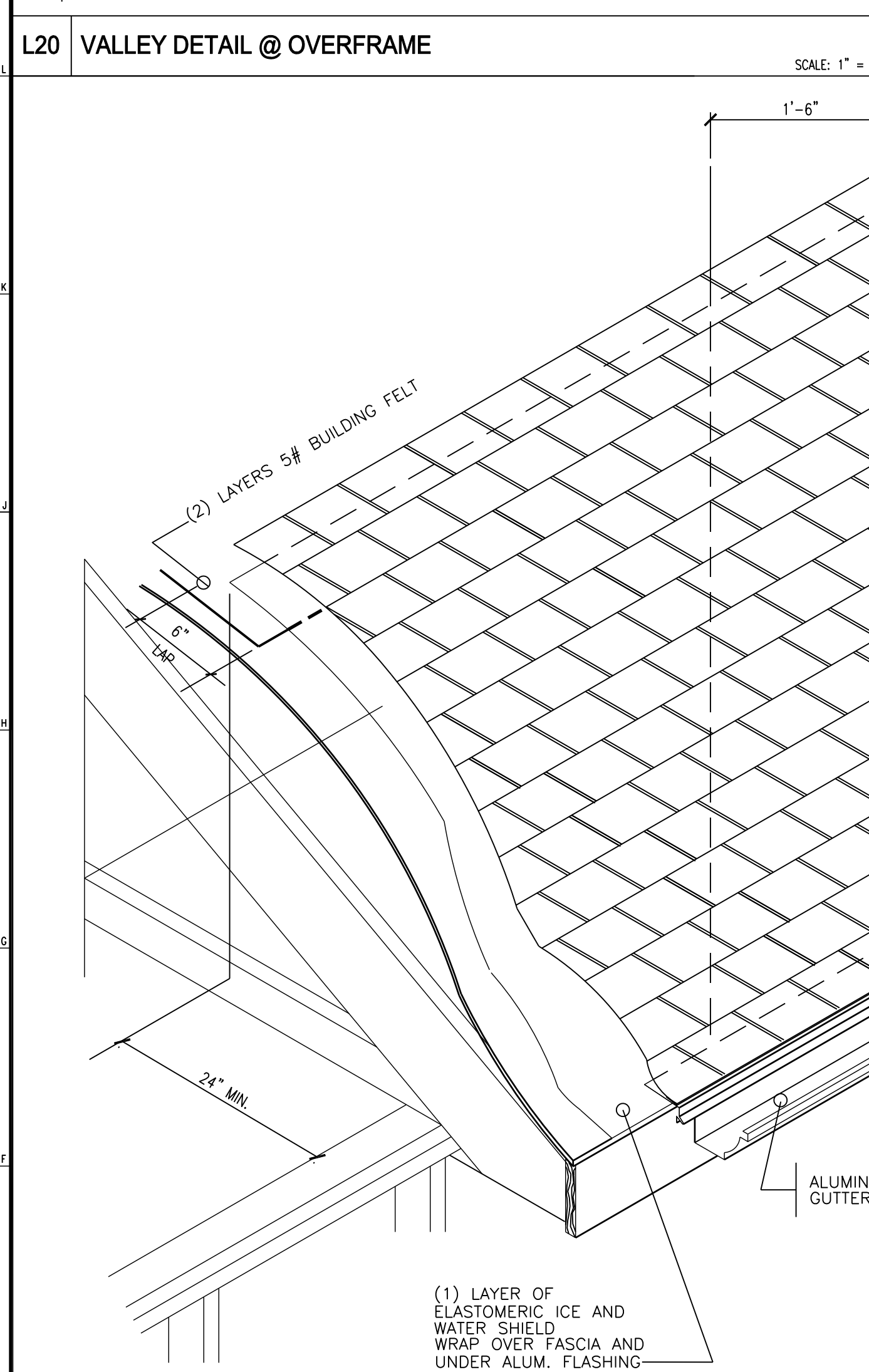
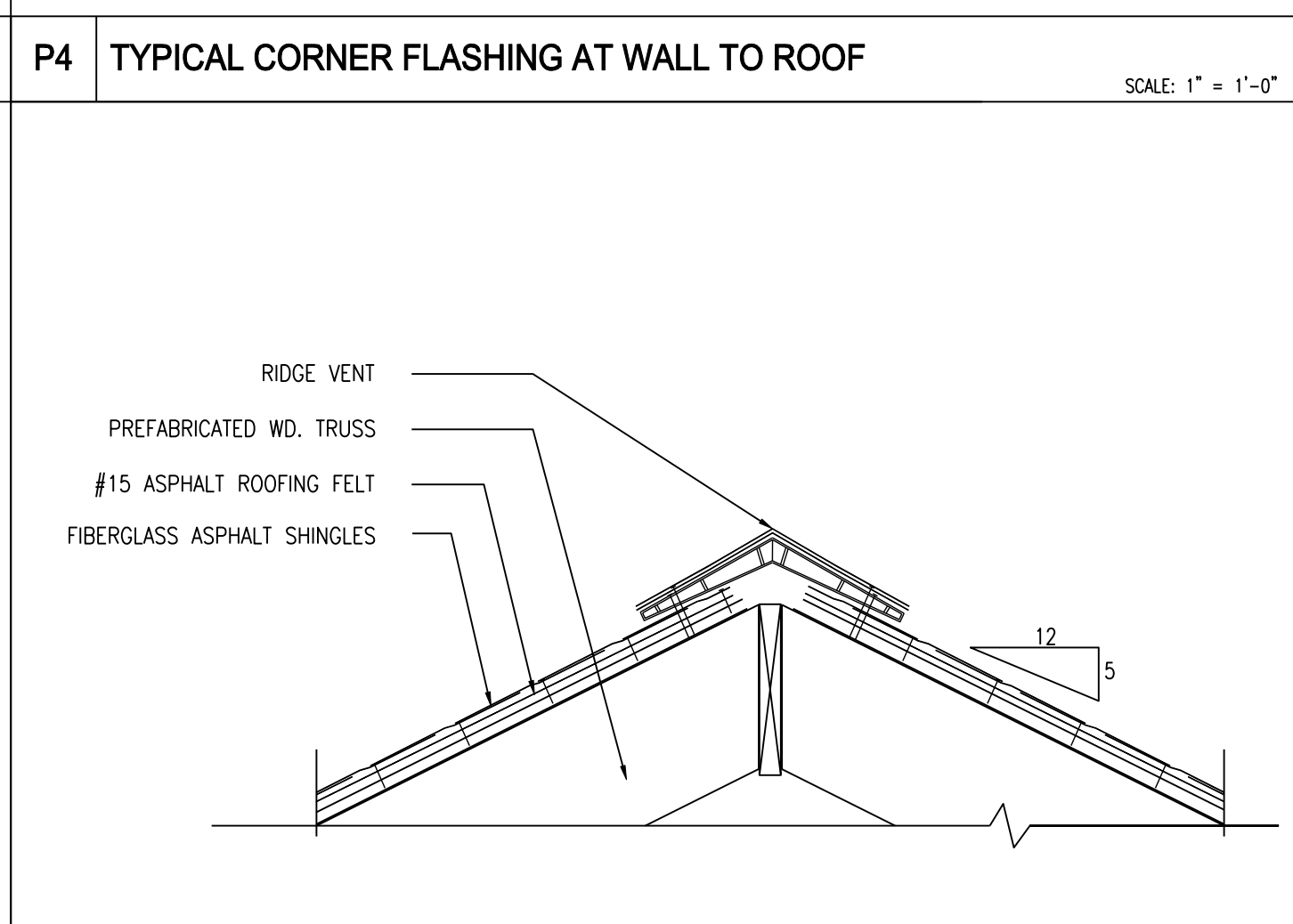
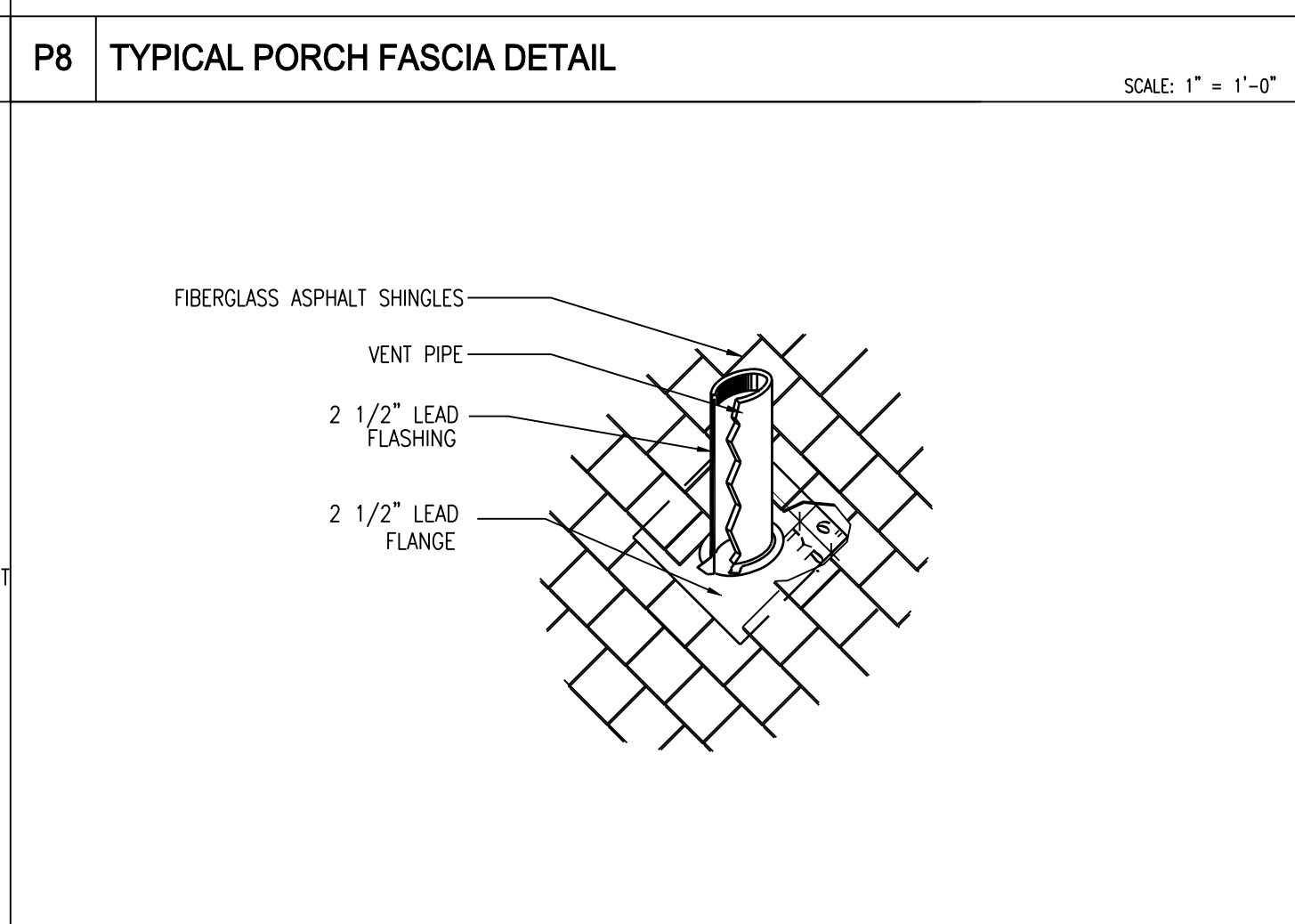
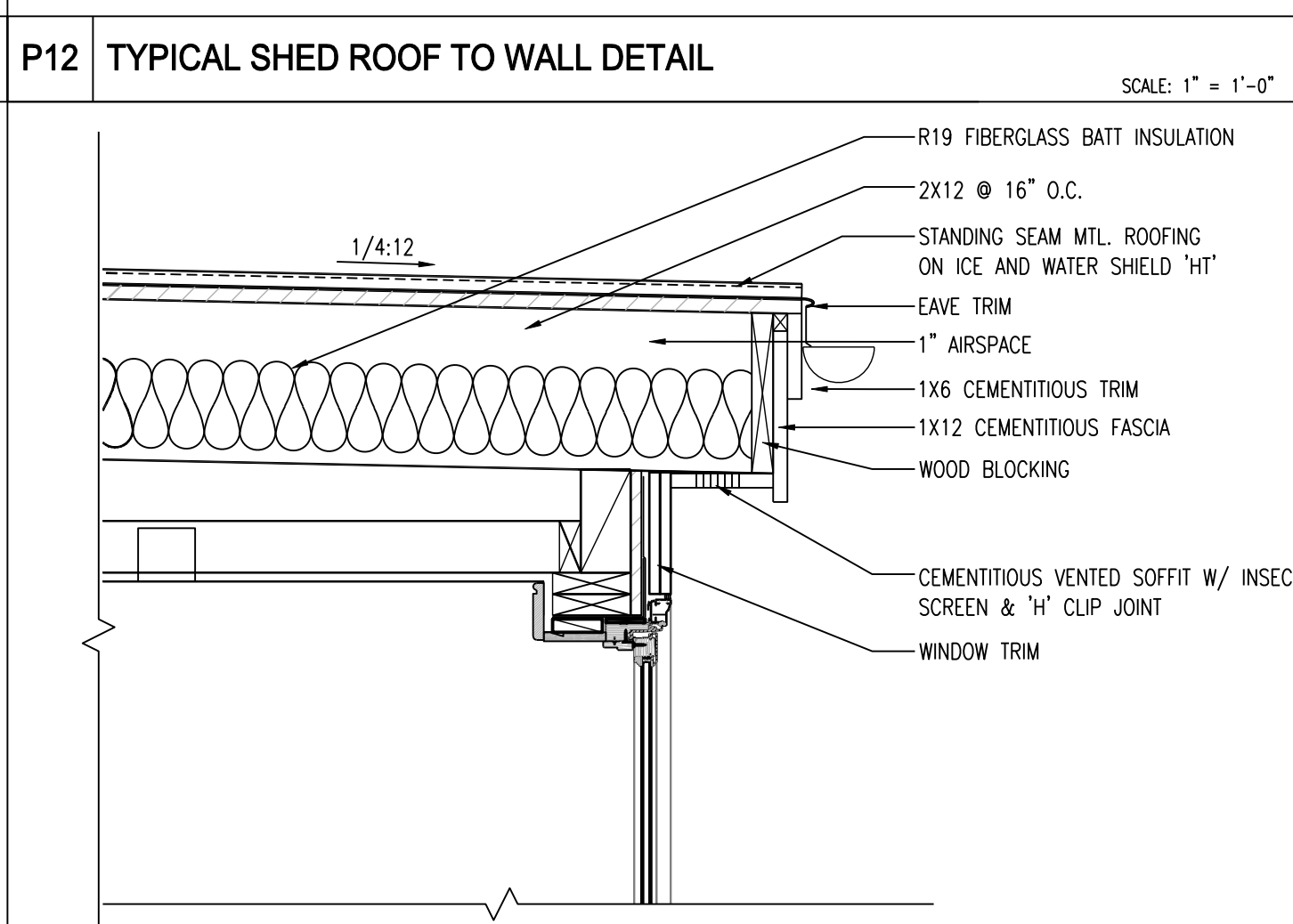
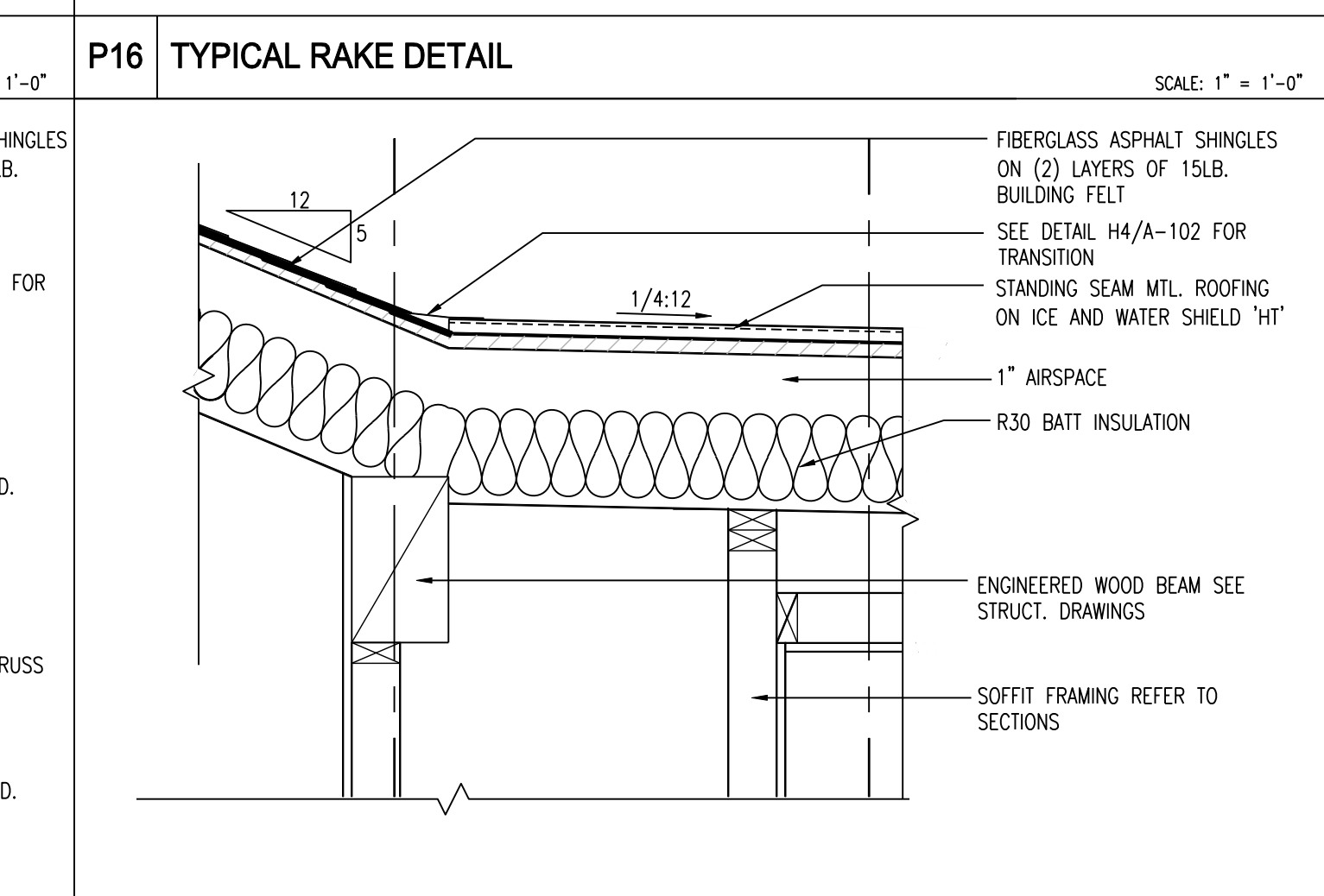
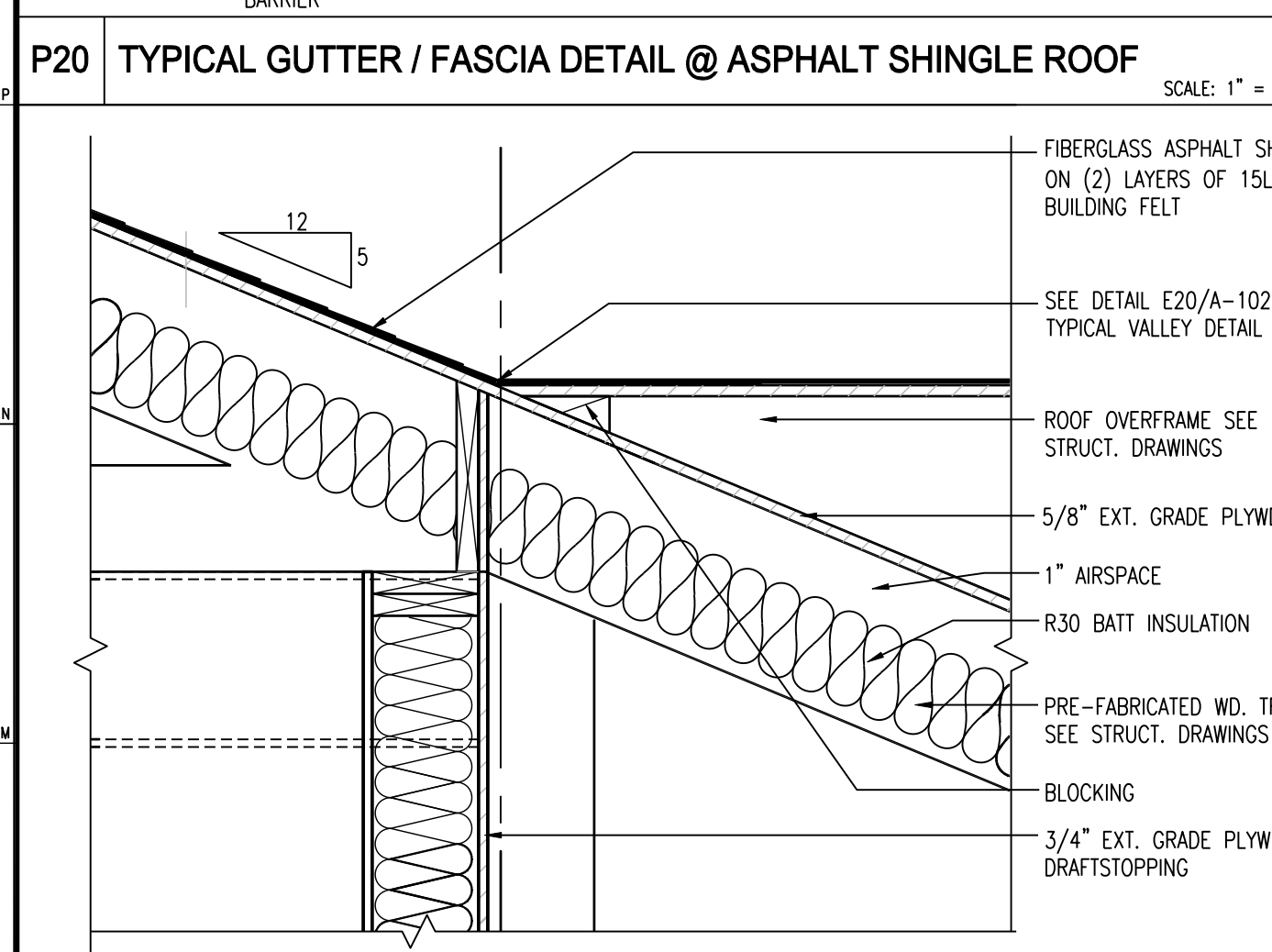
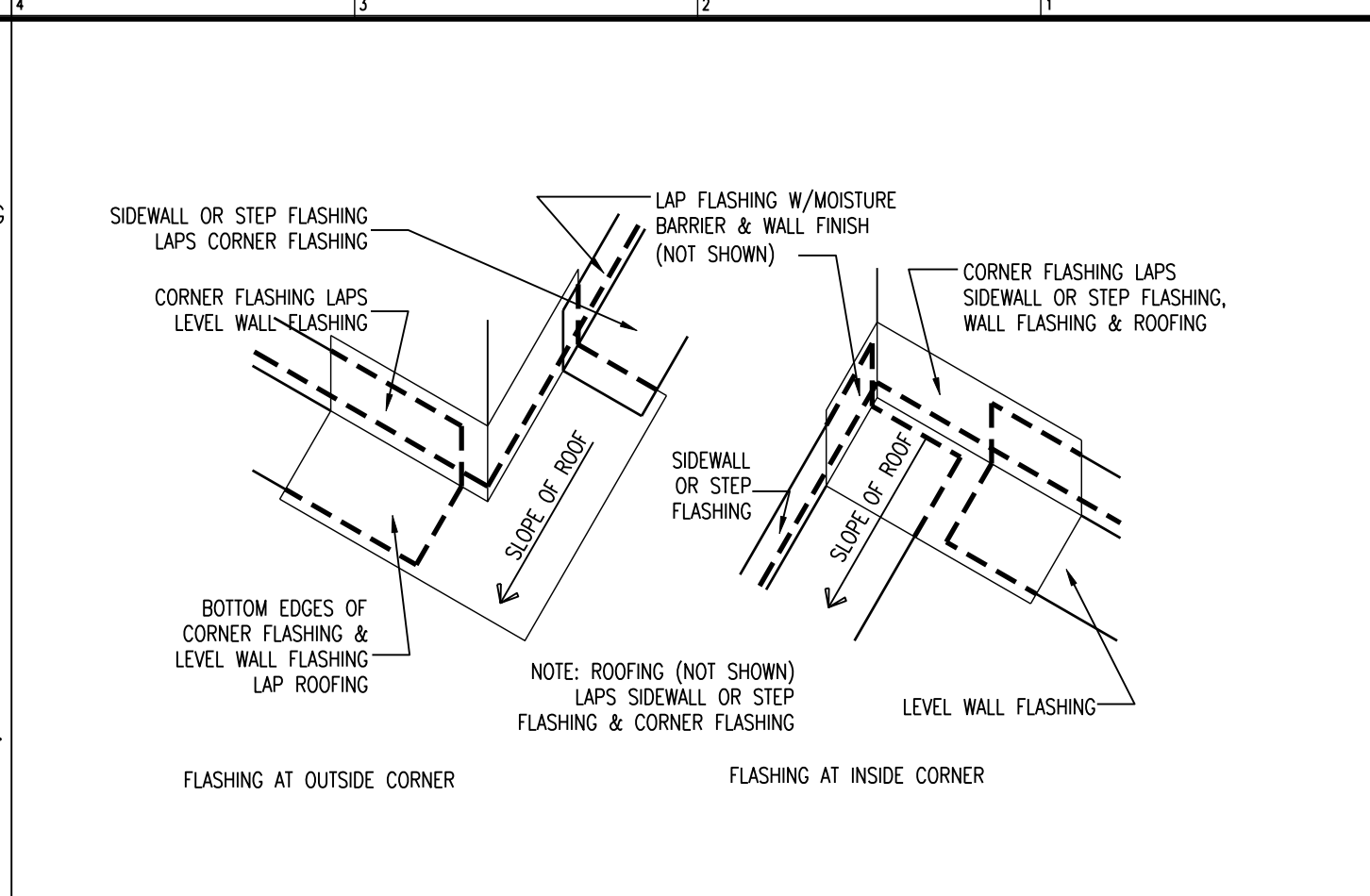
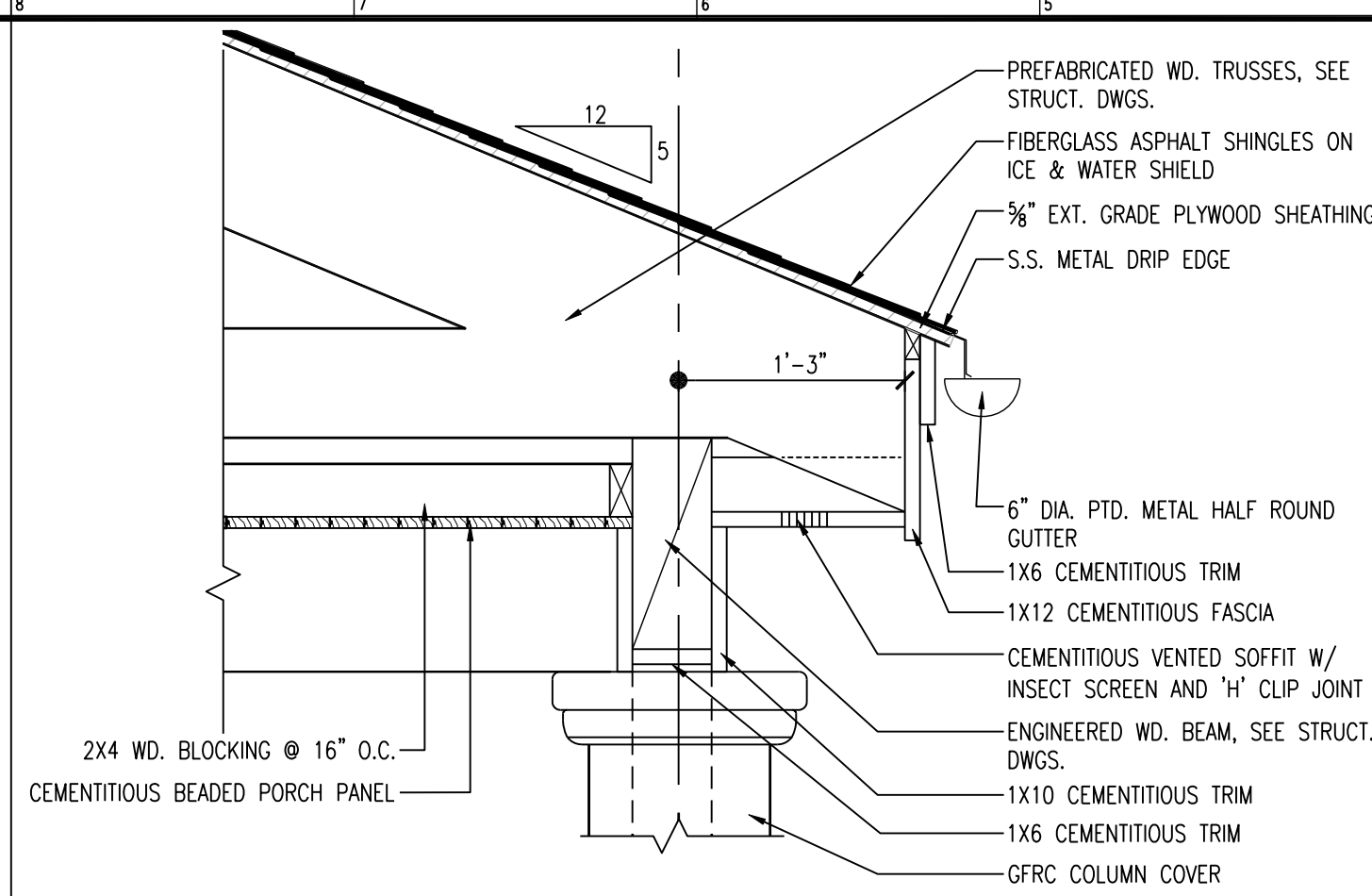
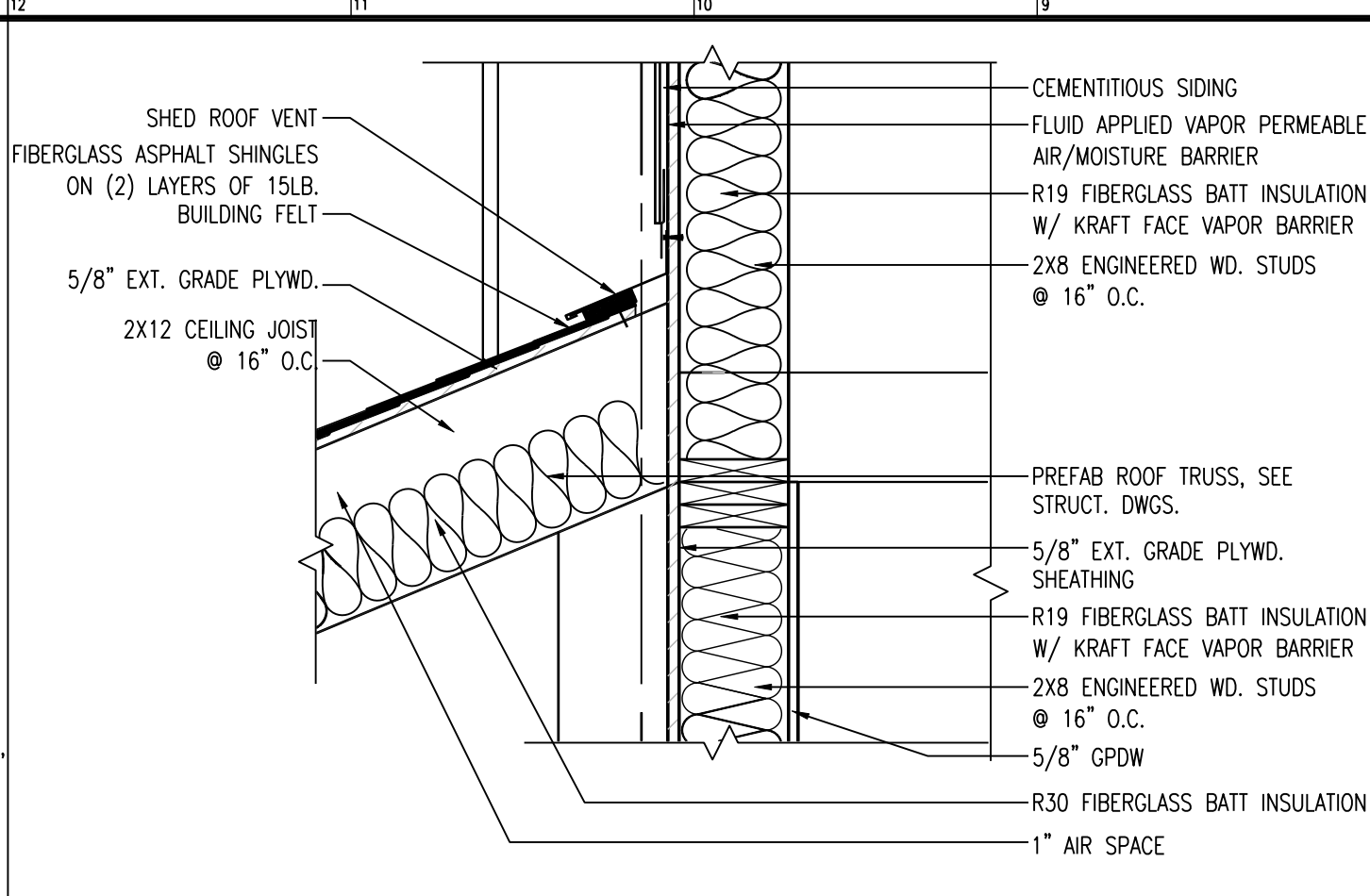
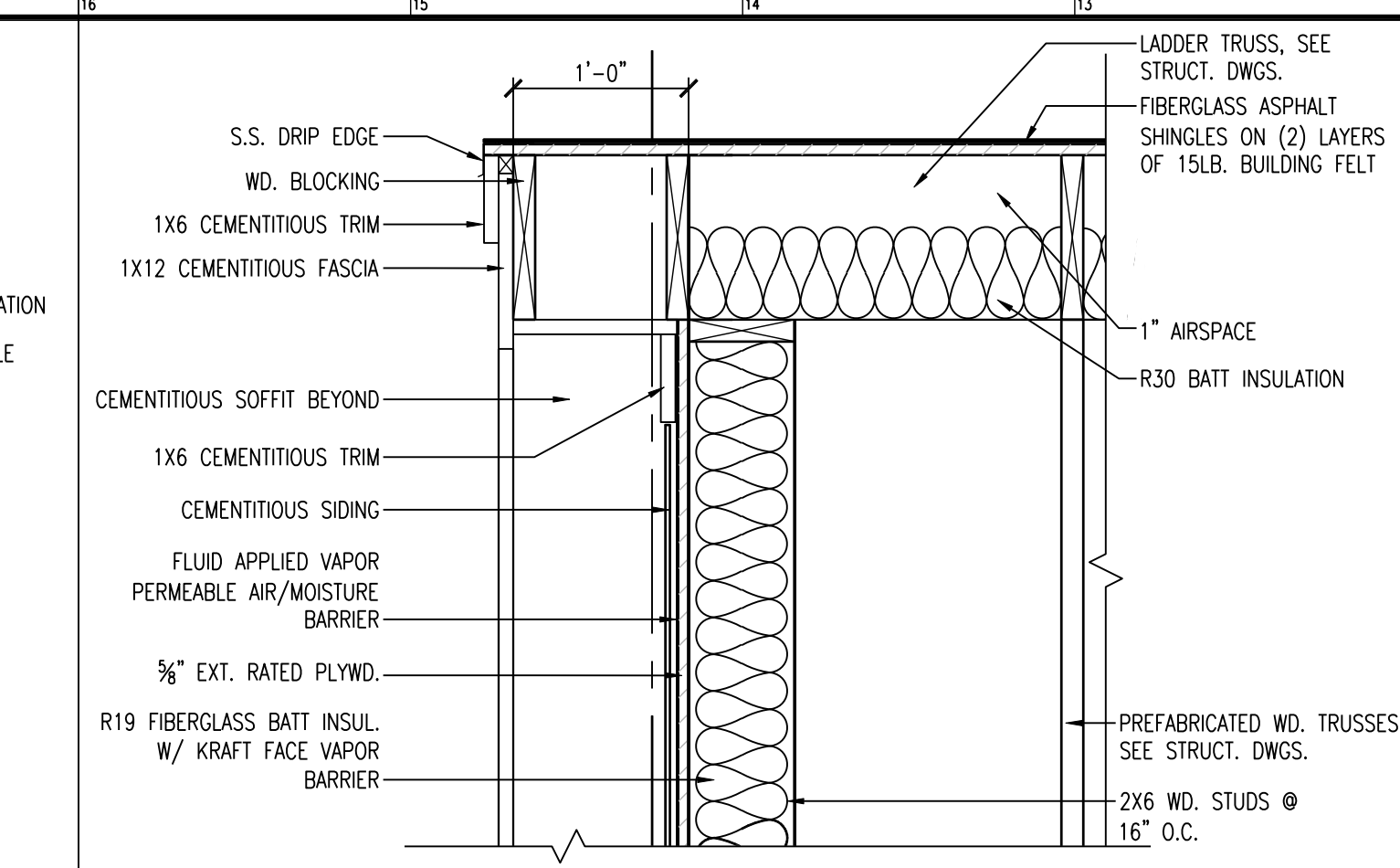
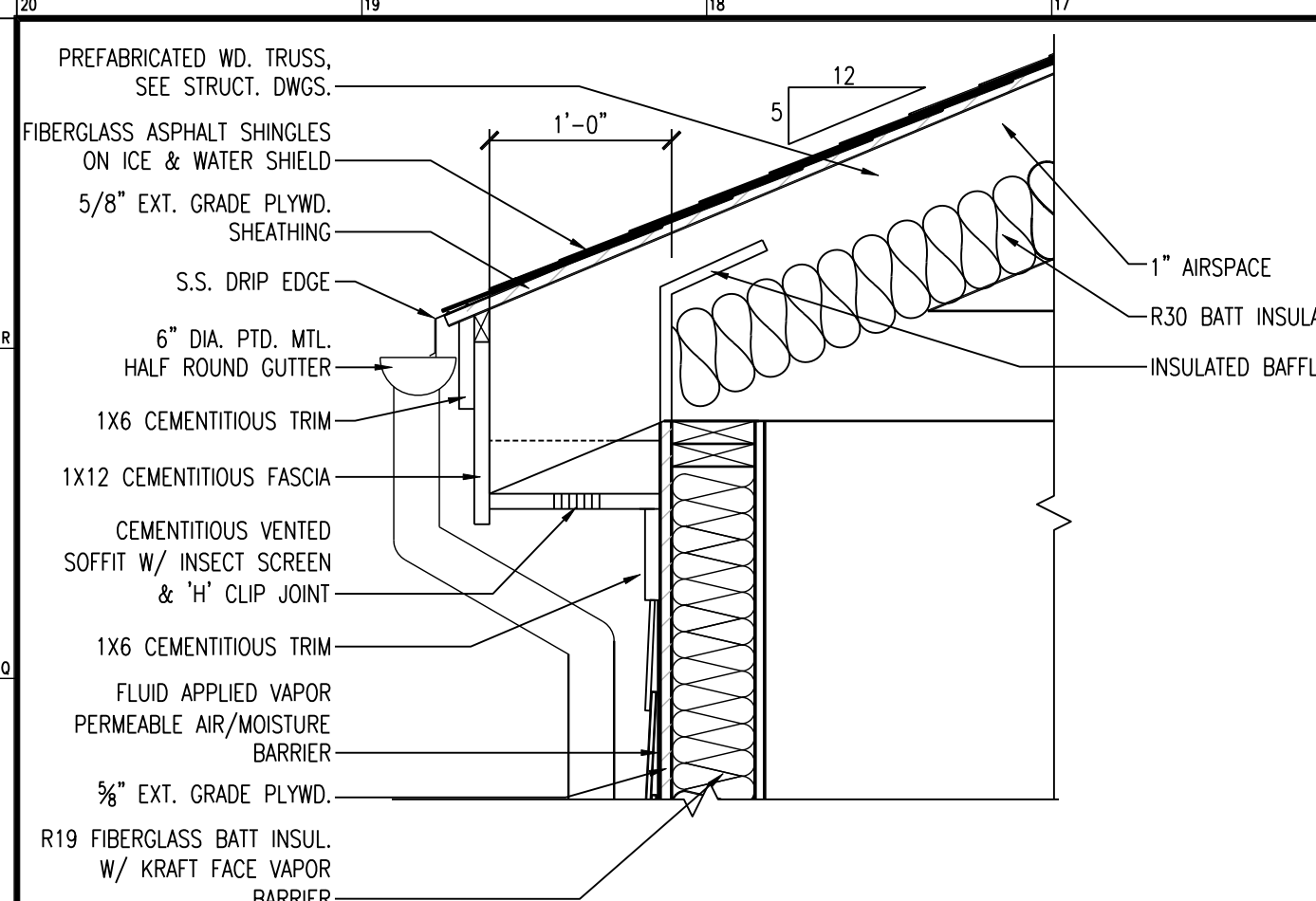
SHEET TITLE:  
**ROOF PLAN**

DRAWING NO.:  
**A-101**  
 CCH PROJECT NO: 1833



-  INDICATES AREAS TO RECEIVE STANDING SEAM METAL ROOFING. SEE SPEC. ARCHITECT TO SELECT COLOR IN FIELD FROM MANUF'S FULL RANGE OF COLORS.
-  INDICATES AREAS TO RECEIVE ASPHALT SHINGLE ROOFING. BASIS OF DESIGN IS GAF "TIMBERLINE" SERIES OR APPROVED EQUAL. REFER TO SPECS FOR OTHER ADDITIONAL ACCEPTABLE ASPHALT SHINGLE ROOF MANUFACTURERS.
-  INDICATES AREAS TO RECEIVE ICE AND WATER SHIELD MANUF. BY GAF OR EQUAL
-  INDICATES AREAS TO RECEIVE ICE AND WATER SHIELD "HT"

**GUTTER / LEADER DESIGN NOTES:**  
 4" DIAMETER LEADER REQUIRED FOR ROOF AREA UP TO 6,130 SF FOR 3 INCHES OF RAINFALL PER HOUR  
 6" SEMI-CIRCULAR GUTTER IS REQUIRED FOR ROOF AREAS UP TO 3,695 SF FOR 3 INCHES OF RAINFALL PER HOUR



**Clarke Catton Hintz**  
 100 Barren Street  
 York, PA 17403  
 Tel: (717) 839-8899  
 Fax: (717) 839-8899  
 www.clarkecattonhintz.com

OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
 Brooker & Jamin, Inc.  
 1456 Fairy Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengineering.com

STRUCTURAL:  
 Holsinger White, P.C.  
 40 Knowles Street  
 Pennington, NJ 08654  
 (609) 815-1855 www.hipcos.com

MEP / FF:  
 Holsinger White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7711 www.holsingerwhite.com

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 CHECKED BY: MJH, GH

SUBMISSIONS

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REVISIONS

NO.	DATE	DESCRIPTION
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ARCHITECT  
 PA LICENSE NO. PA-014857-B  
 GEORGE M. HEBBS, AIA  
 DATE

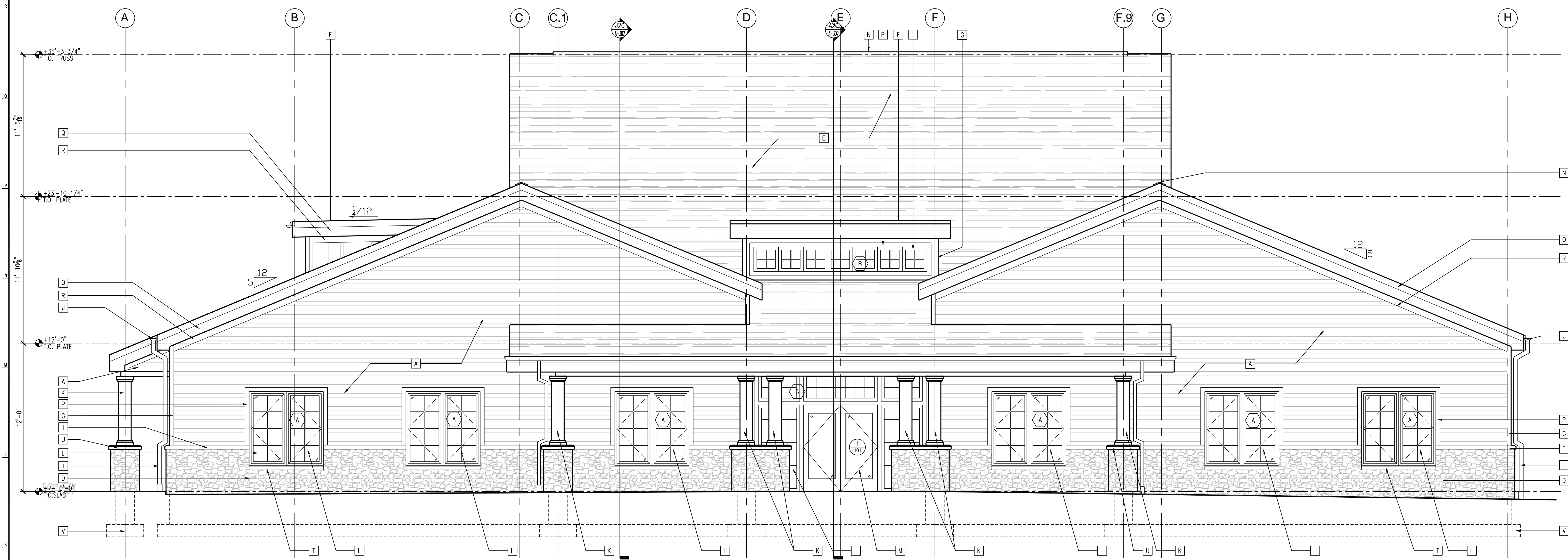
**Lower Makefield  
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 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 03/10/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**ROOF DETAILS**

DRAWING NO.:  
**A-102**  
 CCH PROJECT NO: 1833

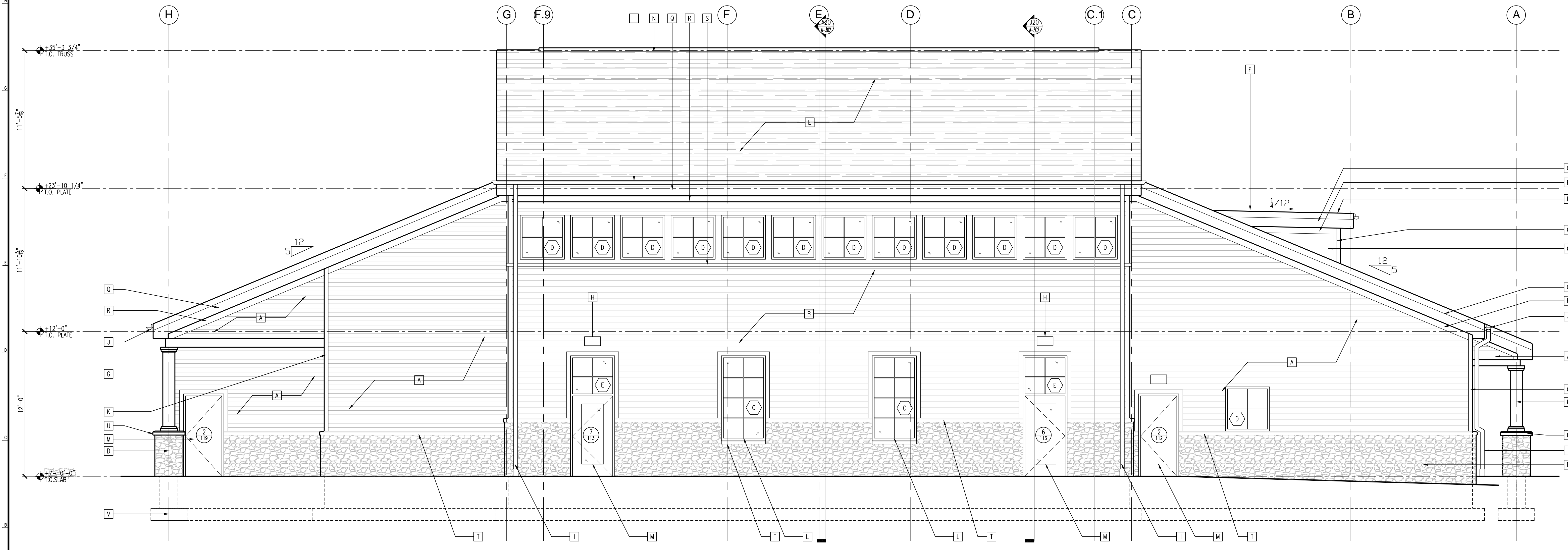




J20 FRONT ELEVATION

J3 ELEVATION KEYNOTES

- A HORIZ. CEMENTITIOUS LAP SIDING W/ 4" EXPOSURE  
B.O.D. JAMES HARDIE SMOOTH. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- B HORIZ. CEMENTITIOUS LAP SIDING W/ 6" EXPOSURE  
B.O.D. JAMES HARDIE SMOOTH. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- C VERTICAL CEMENTITIOUS BOARD & BATTEN SIDING  
B.O.D. JAMES HARDIE. COLOR MATCHED SMOOTH PANEL & SMOOTH BATTEN TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- D 1/2" THICK MANUFACTURED STONE VENEER  
B.O.D. ELDORADO STONE  
STYLE: HILLSTONE  
COLOR: LUCERA
- E ASPHALT SHINGLE ROOFING  
B.O.D. GAF ROOFING, TIMBERLINE SERIES
- F STANDING SEAM METAL ROOF. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- G 1"x4" CEMENTITIOUS CORNER BOARD
- H LIGHT FIXTURE. REFER TO REFLECTED CEILING PLAN. SEE ALSO ELEC. DWGS.
- I 4" DIA. PTD. METAL DOWNSPOUT W/ CAST IRON BOOT
- J 6" DIA. PTD. MTL. HALF ROUND GUTTER
- K 1"-0" DIA. GFRC COLUMN COVER  
B.O.D. FORMGLASS GFRC-L  
COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- L WINDOW. REFER TO WINDOW SCHEDULE
- M DOOR. REFER TO DOOR SCHEDULE
- N RIDGE VENT. REFER TO DETAIL H4/A-102
- O SHED ROOF VENT. REFER TO DETAIL H4/A-102
- P 1x4 CEMENTITIOUS WINDOW/DOOR TRIM  
B.O.D. JAMES HARDIE. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- Q 1x12 & 1x6 LAYERED CEMENTITIOUS FASCIA  
B.O.D. JAMES HARDIE. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- R 1x6 CEMENTITIOUS FRIEZE BOARD  
B.O.D. JAMES HARDIE. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- S 1x4 CEMENTITIOUS HORIZ. TRIM BOARD  
B.O.D. JAMES HARDIE. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- T PRECAST CONCRETE SILL. COLOR TO BE SELECTED BY ARCHITECT
- U PRECAST CONCRETE COLUMN CAP. COLOR TO BE SELECTED BY ARCHITECT
- V FOOTING. SEE STRUCTURAL DWGS.



A20 REAR ELEVATION

SCALE: 1/4" = 1'-0"

**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
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 100 Barred Street  
 York, PA 17403  
 Tel: (717) 839-9895  
 Fax: (717) 839-9896  
 www.clarkecattonhintz.com

OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
 Broecker & Jermol, Inc.  
 1456 Fairy Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengineering.com

STRUCTURAL:  
 Holsinger-Hammel, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 815-1888 www.hjpcos.com

MEP / FF:  
 Holsinger-Hammel, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7711 www.holsingerwhite.com

REVISIONS

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1	3/4/2015	ISSUED FOR CONSTRUCTION

ARCHITECT

NO.	DATE	DESCRIPTION
1	3/4/2015	ISSUED FOR CONSTRUCTION

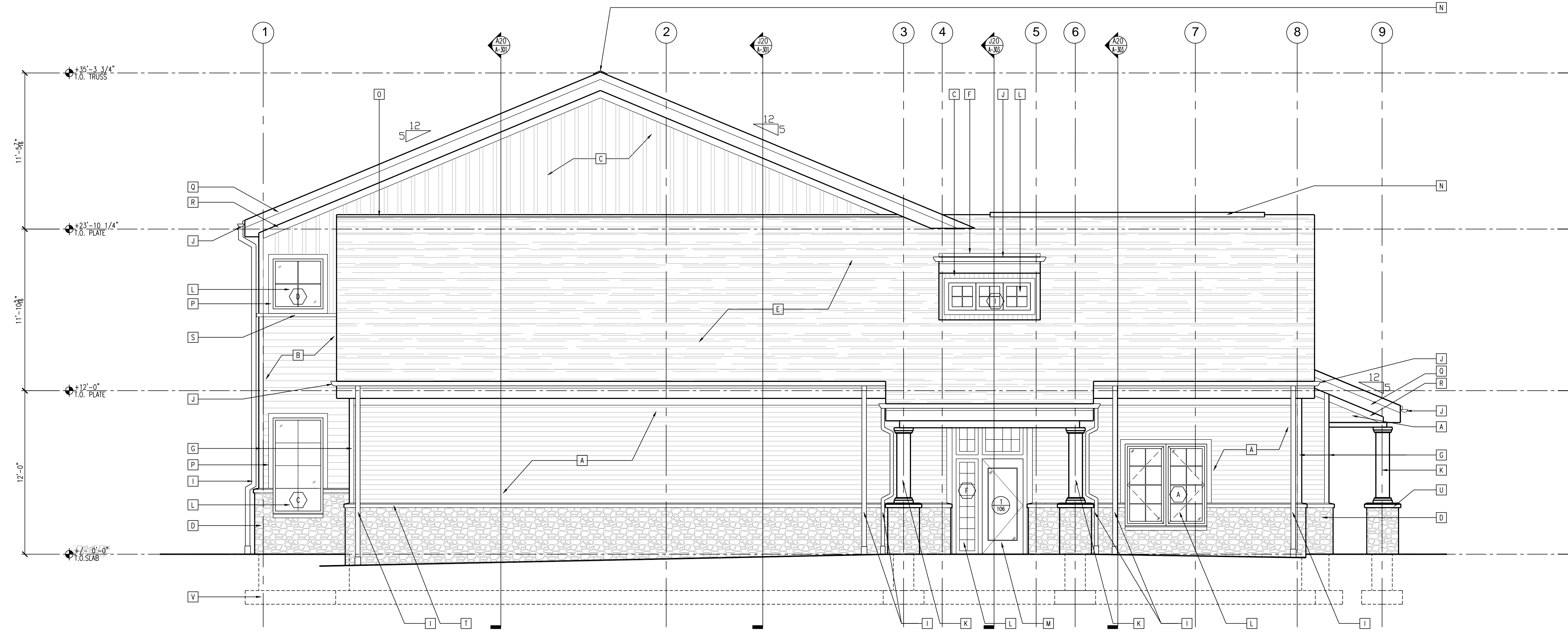
PA LICENSE NO. RA-014857-B  
 GEORGE M. HEBBS, AIA  
 DATE

**Lower Makefield  
 Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**EXTERIOR  
 ELEVATIONS**

DRAWING NO.:  
**A-201**  
 CCH PROJECT NO: 1833

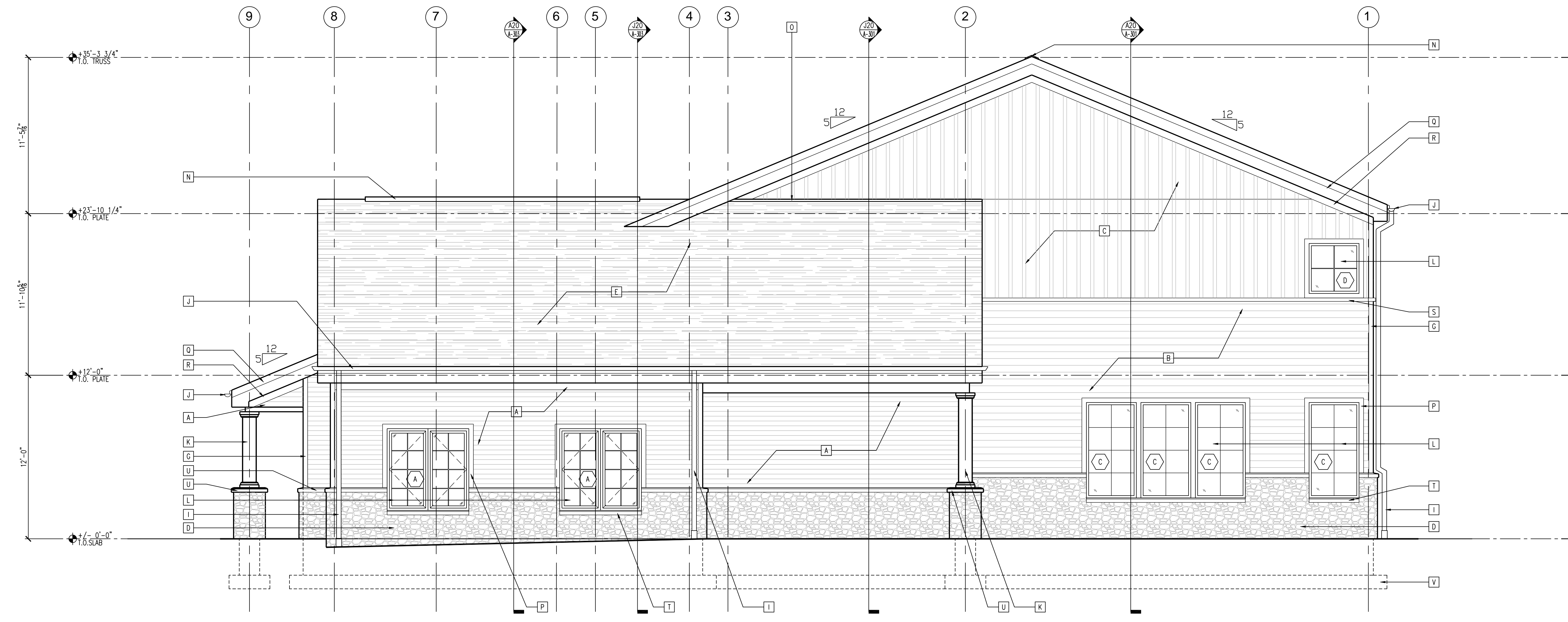


J20 ELEVATION

SCALE: 1/4" = 1'-0"

J3 ELEVATION KEYNOTES

- A HORIZ. CEMENTITIOUS LAP SIDING W/ 4" EXPOSURE  
B.O.D. JAMES HARDIE SMOOTH, COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- B HORIZ. CEMENTITIOUS LAP SIDING W/ 6" EXPOSURE  
B.O.D. JAMES HARDIE SMOOTH, COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- C VERTICAL CEMENTITIOUS BOARD & BATTEN SIDING  
B.O.D. JAMES HARDIE, COLOR MATCHED SMOOTH PANEL & SMOOTH BATTEN TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
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B.O.D. ELDOBRADO STONE  
STYLE: HILLSTONE  
COLOR: LUCERA
- E ASPHALT SHINGLE ROOFING  
B.O.D. CAF ROOFING, TIMBERLINE SERIES
- F STANDING SEAM METAL ROOF, COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- G 1"x4" CEMENTITIOUS CORNER BOARD
- H LIGHT FIXTURE, REFER TO REFLECTED CEILING PLAN.  
SEE ALSO ELEC. DWGS.
- I 4" DIA. PTD. METAL DOWNSPOUT W/ CAST IRON BOOT
- J 6" DIA. PTD. MET. HALF ROUND GUTTER
- K 1'-0" DIA. GFRG COLUMN COVER  
B.O.D. FORMGLASS GFRG-L,  
COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS.
- L WINDOW, REFER TO WINDOW SCHEDULE
- M DOOR, REFER TO DOOR SCHEDULE
- N RIDGE VENT, REFER TO DETAIL H4/A-102
- O SHED ROOF VENT, REFER TO DETAIL P12/A-102
- P 1X4 CEMENTITIOUS WINDOW/DOOR TRIM  
B.O.D. JAMES HARDIE, COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
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B.O.D. JAMES HARDIE, COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- R 1X6 CEMENTITIOUS FRIEZE BOARD  
B.O.D. JAMES HARDIE, COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- S 1X4 CEMENTITIOUS HORIZ. TRIM BOARD  
B.O.D. JAMES HARDIE, COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- T PRECAST CONCRETE SILL, COLOR TO BE SELECTED BY ARCHITECT
- U PRECAST CONCRETE COLUMN CAP, COLOR TO BE SELECTED BY ARCHITECT
- V FOOTING, SEE STRUCTURAL DWGS.



A20 ELEVATION

SCALE: 1/4" = 1'-0"

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 Architecture  
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 100 Barren Street  
 York, PA 17403  
 Tel: (717) 851-8885  
 www.clarkecattonhintz.com

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 Yardley, PA 19087  
 (267) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL  
 Brooker & Jettis, Inc.  
 1656 Fairy Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengineering.com

STRUCTURAL  
 Hamilton-Hammitt, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 815-1866 www.hipccsa.com

MEP / FP:  
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REVISIONS

NO.	DATE	DESCRIPTION

ARCHITECT  
 PA LICENSE NO. RA-041857-B  

 GEORGE M. HIBBS, AIA  
 DATE

**Lower Makefield  
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 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**EXTERIOR  
 ELEVATIONS**

DRAWING NO.:  
**A-202**  
 CCH PROJECT NO: 1833

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 (215) 345-9400 www.bjengineers.com

STRUCTURAL:  
 Harrison-Hammett, P.C.  
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 (609) 815-1888 www.hhpcsa.com

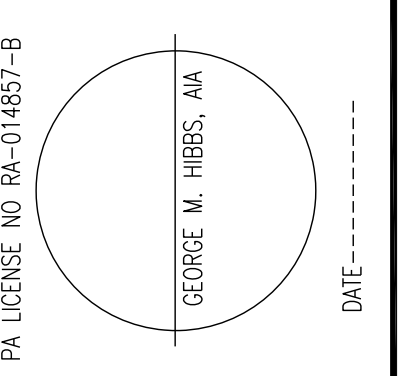
MEP / FF:  
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SUBMISSIONS

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1	3/4/2015	ISSUED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
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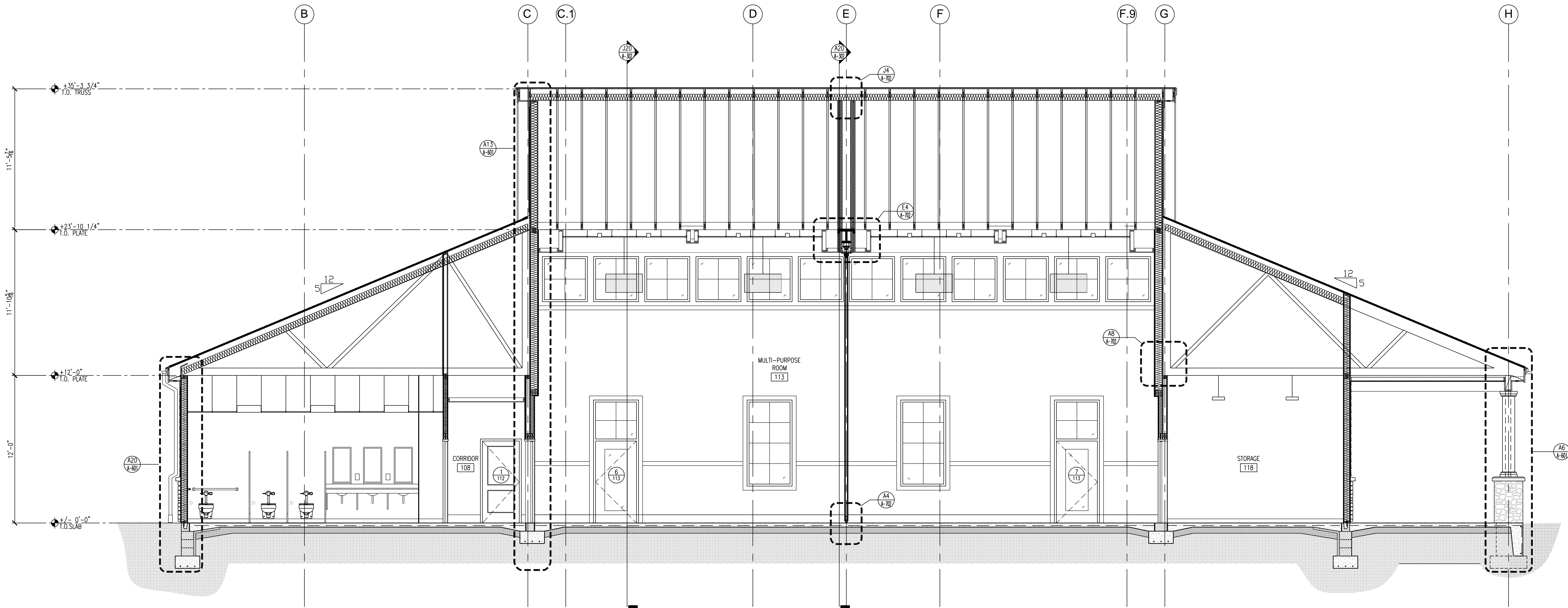
**Lower Makefield  
 Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**BUILDING  
 SECTIONS**

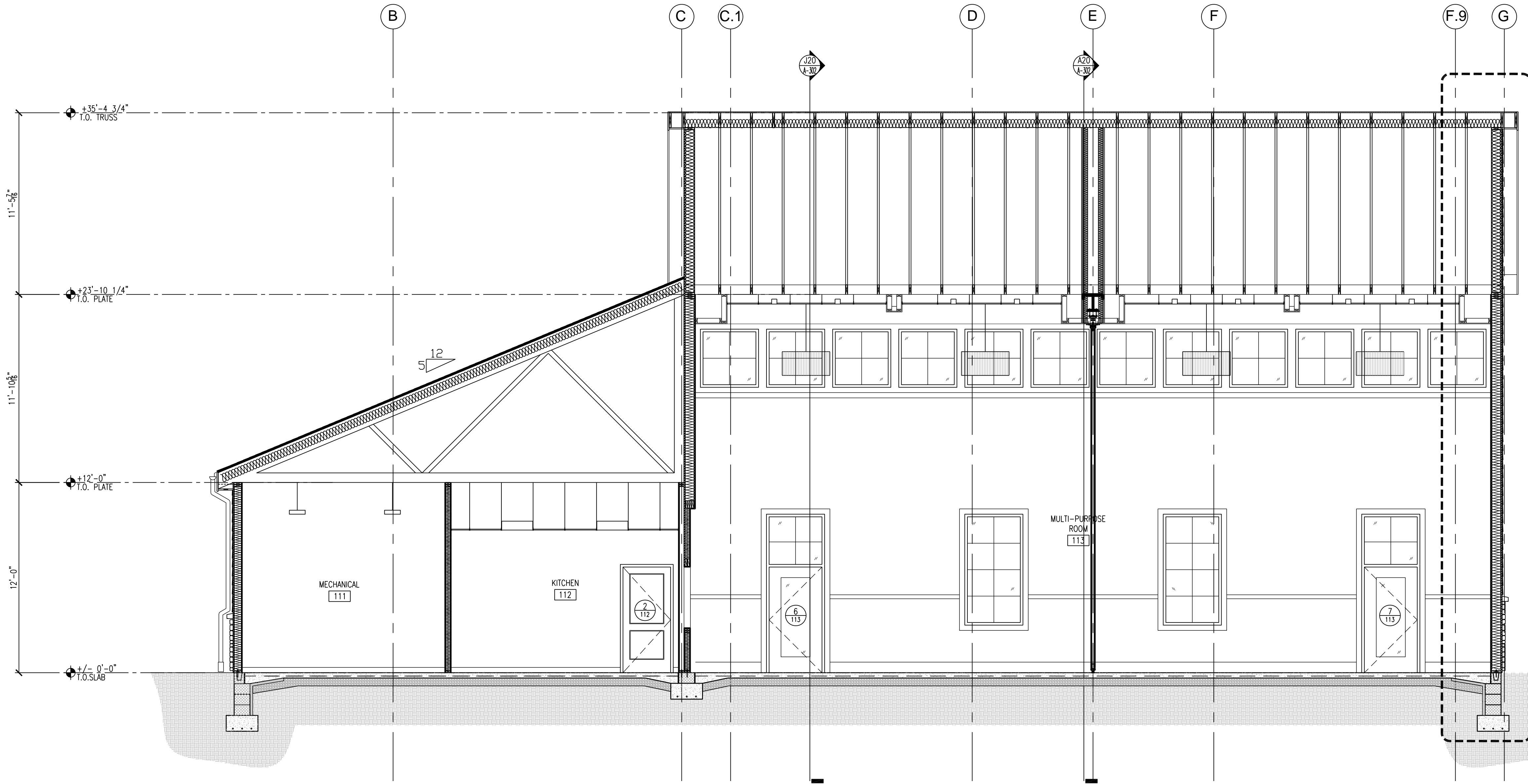
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**A-301**

CCH PROJECT NO.: 1833



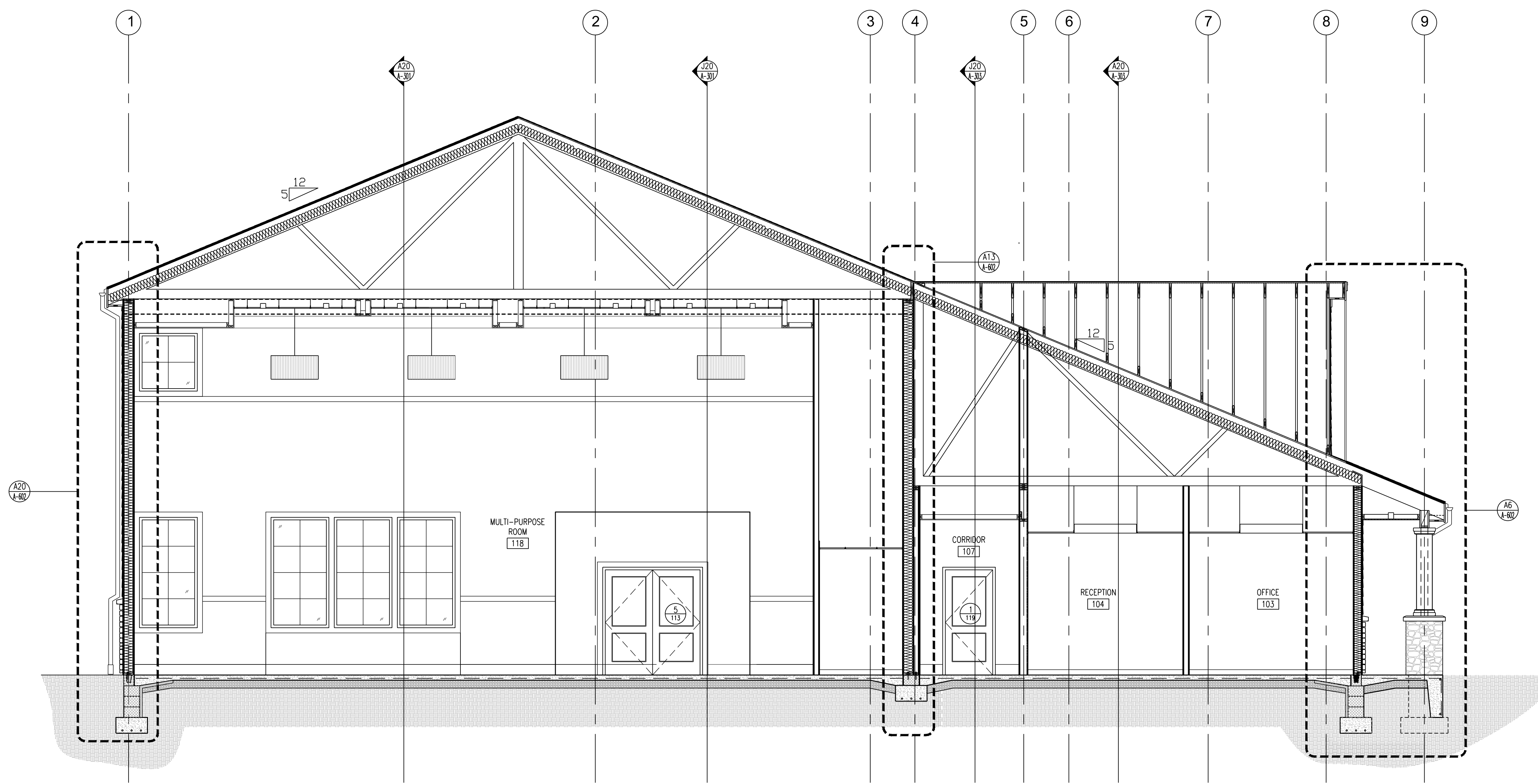
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SCALE: 1/4" = 1'-0"



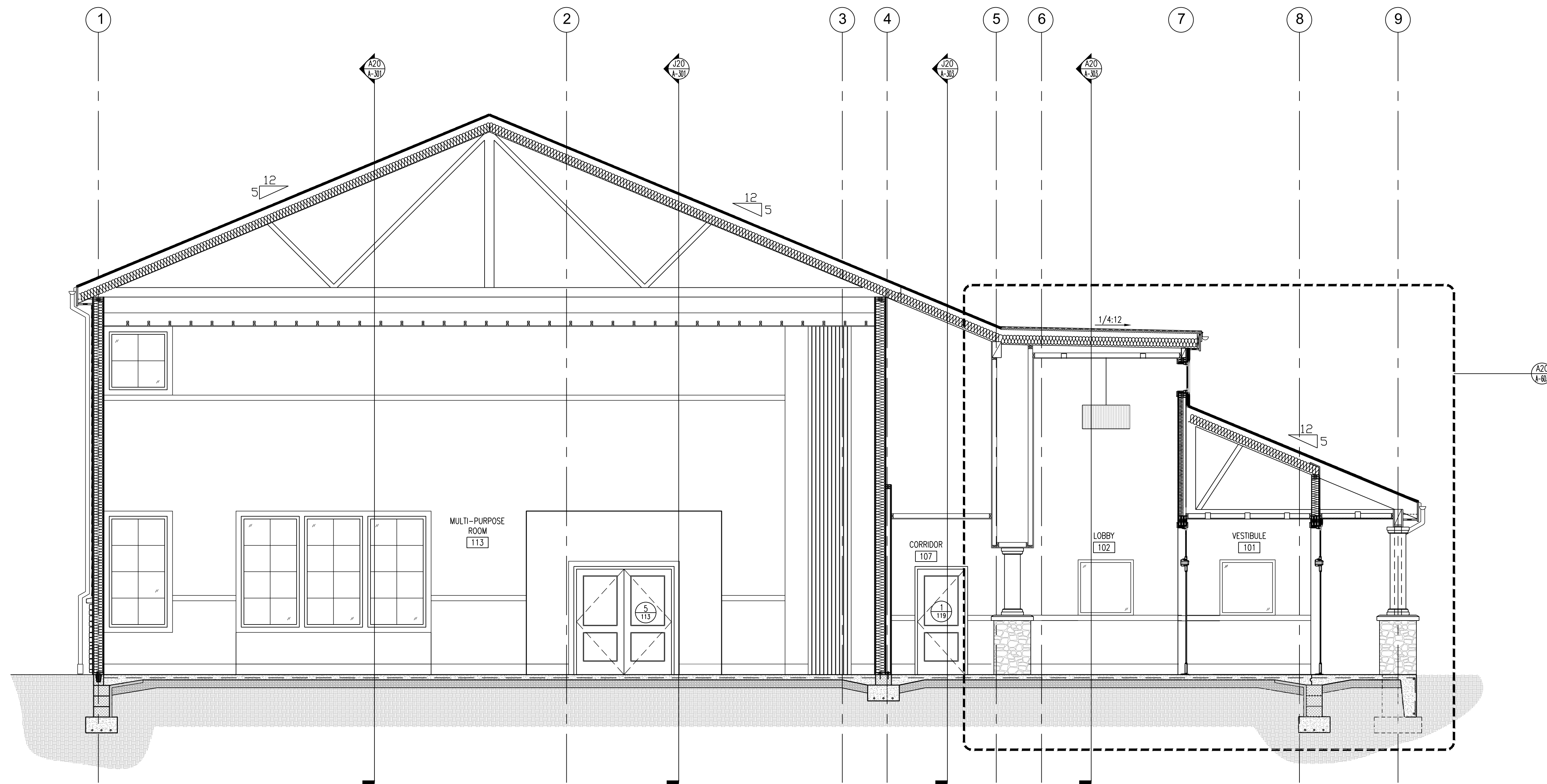
A20 BUILDING SECTION

SCALE: 1/4" = 1'-0"



J20 BUILDING SECTION

SCALE: 1/4" = 1'-0"



A20 BUILDING SECTION

SCALE: 1/4" = 1'-0"

**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
 100 Belmont Street  
 Doylestown, PA 19520  
 Tel: (610) 359-8999  
 Fax: (610) 359-8998  
 www.clarkecattonhintz.com

OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (215) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
 Bauckor & Jones, Inc.  
 1456 Ferry Road, Building 500  
 Doylestown, PA 19501  
 (215) 345-9400 www.bjengr.com

STRUCTURAL:  
 Harrison-Harriet, P.C.  
 40 Knowles Street  
 Pennington, NJ 08534  
 (609) 818-1888 www.hjpc.com

MEP / FF:  
 Holstein White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
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REVISIONS

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ARCHITECT  
 PA LICENSE NO. RA-014857-B  
 GEORGE M. WIERSE, AIA  
 DATE

**Lower Makefield  
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 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015

SCALE: AS NOTED

DRAWN BY: TR, ER

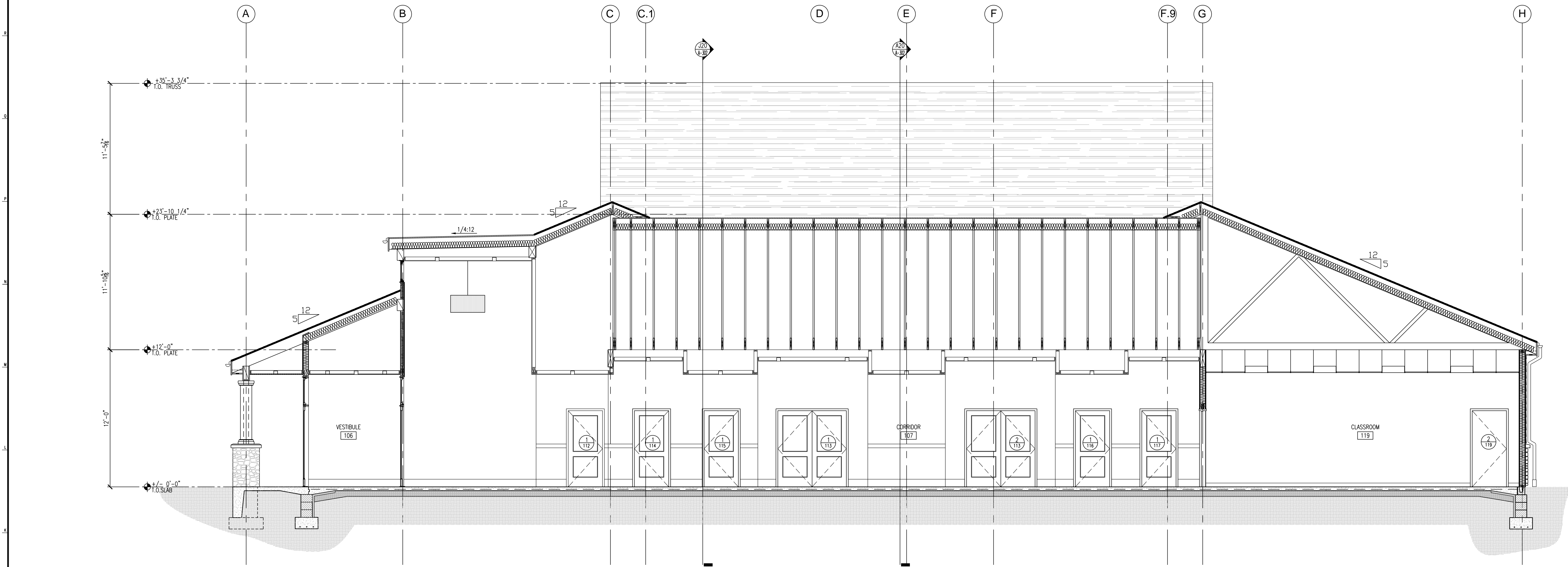
CHECKED BY: MJH, GH

SHEET TITLE:  
**BUILDING  
 SECTIONS**

DRAWING NO.:

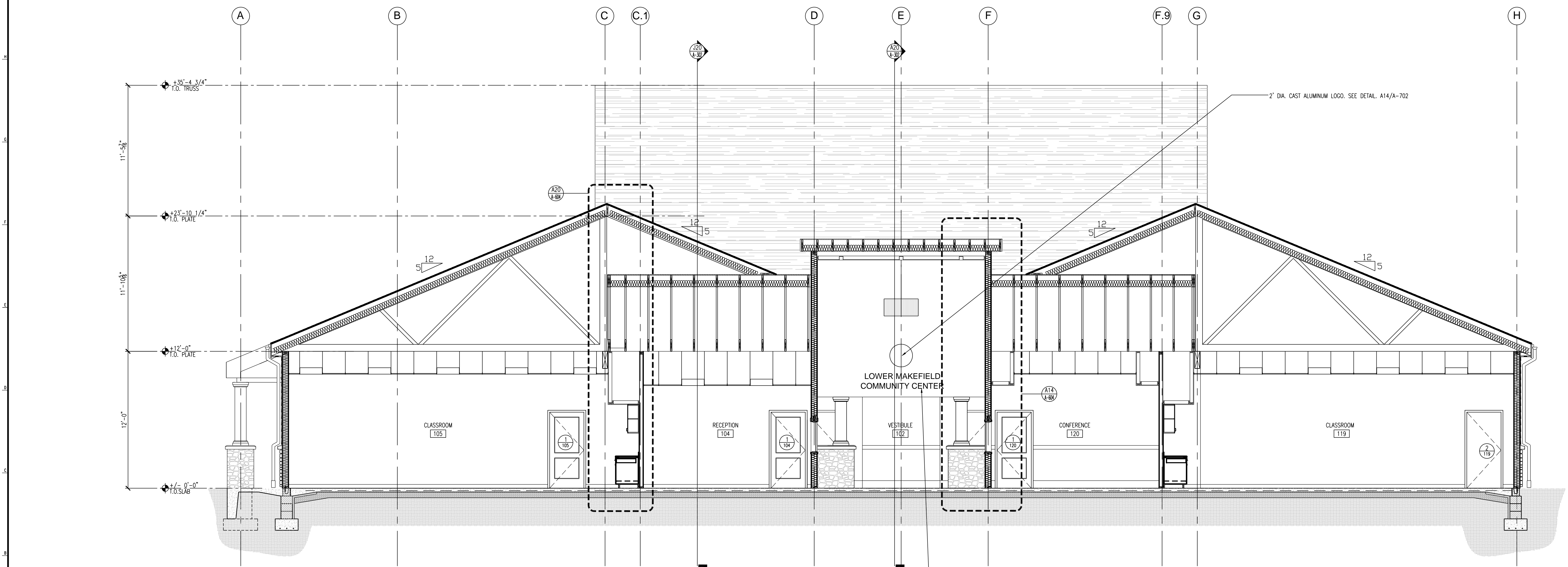
**A-302**

CCH PROJECT NO: 1833



J20 BUILDING SECTION

SCALE: 1/4" = 1'-0"



A20 BUILDING SECTION

SCALE: 1/4" = 1'-0"

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 Architecture  
 Landscape Architecture  
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 100 Barred Street  
 Yardley, PA 19087  
 Tel: (610) 893-9845  
 Fax: (610) 893-9845  
 www.clarkecattonhintz.com

**OWNER:**  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

**SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:**  
 Brooker & Jervis, Inc.  
 1656 Ferry Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengineers.com

**STRUCTURAL:**  
 Hamilton-Harrett, P.C.  
 40 Kivonias Street  
 Pennington, NJ 08634  
 (609) 815-1888 www.hjpcosa.com

**MEP / FF:**  
 Holsinger White, Inc.  
 210 E. Street Road, Suite 2d  
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 (215) 322-7711 www.holsingerwhite.com

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NO.	DATE	DESCRIPTION

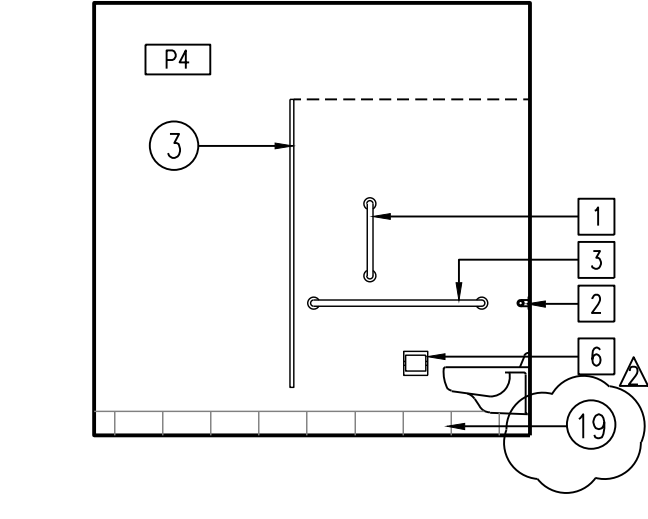
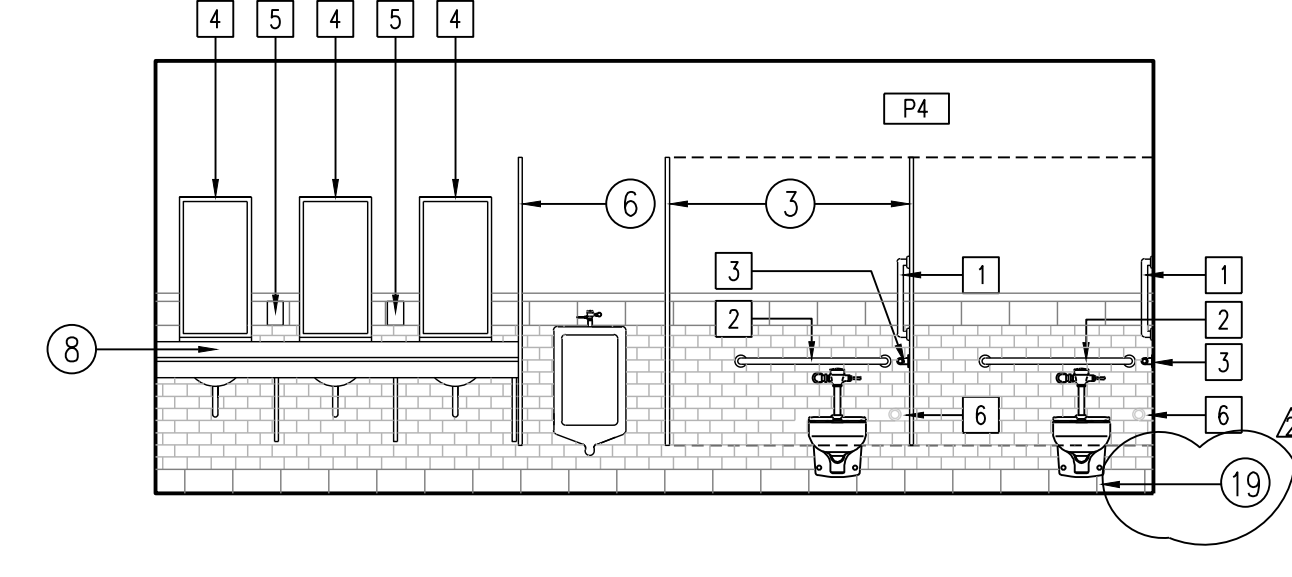
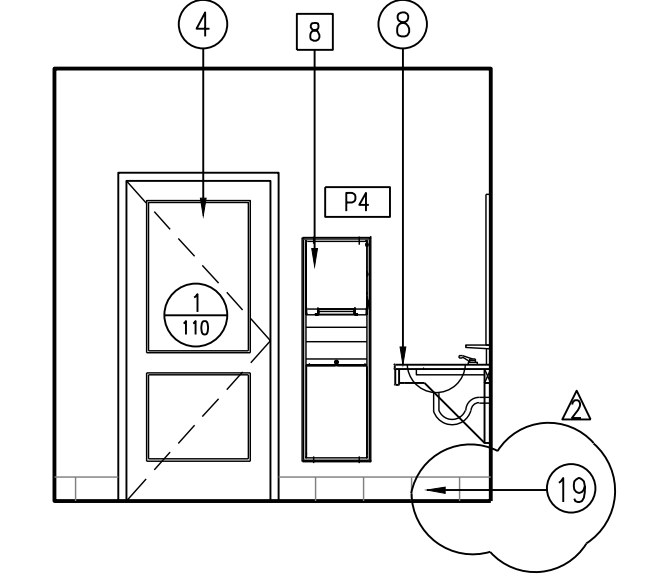
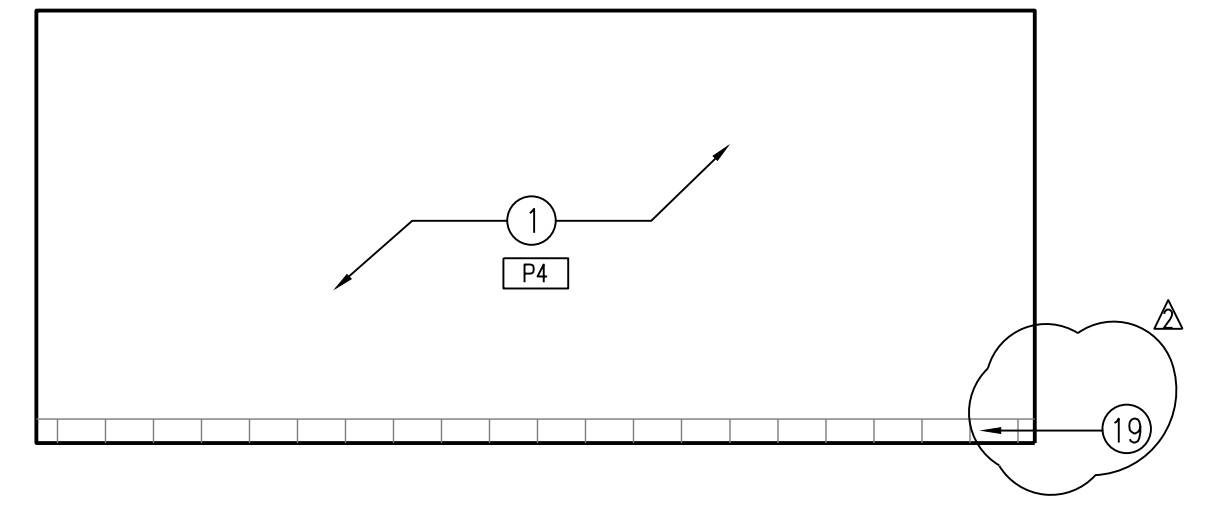
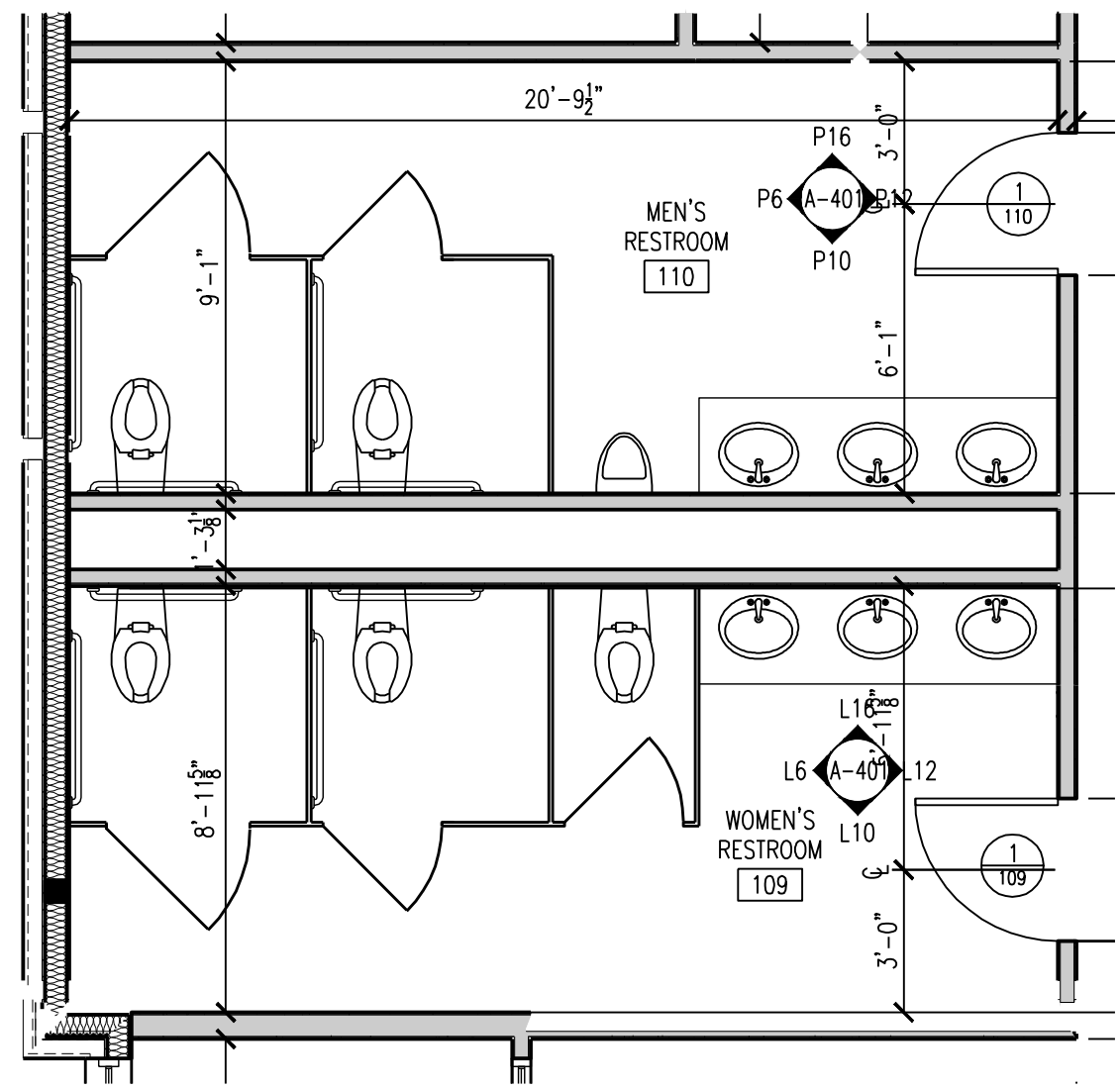
**ARCHITECT**  
 PA LICENSE NO. RA-014857-B  
 GEORGE M. HEBES, AIA  
 DATE

**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**BUILDING SECTIONS**

DRAWING NO.:  
**A-303**  
 CCH PROJECT NO: 1833

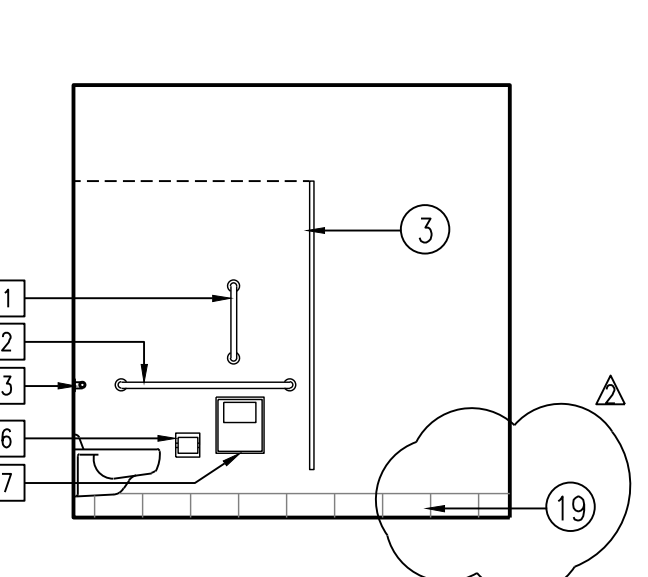
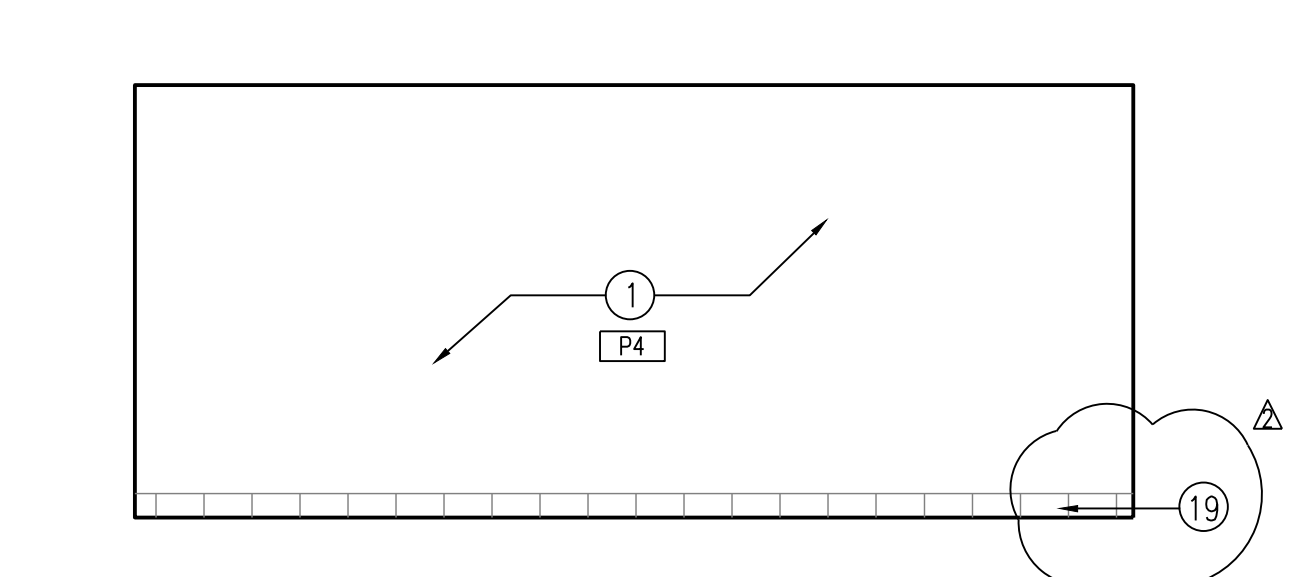
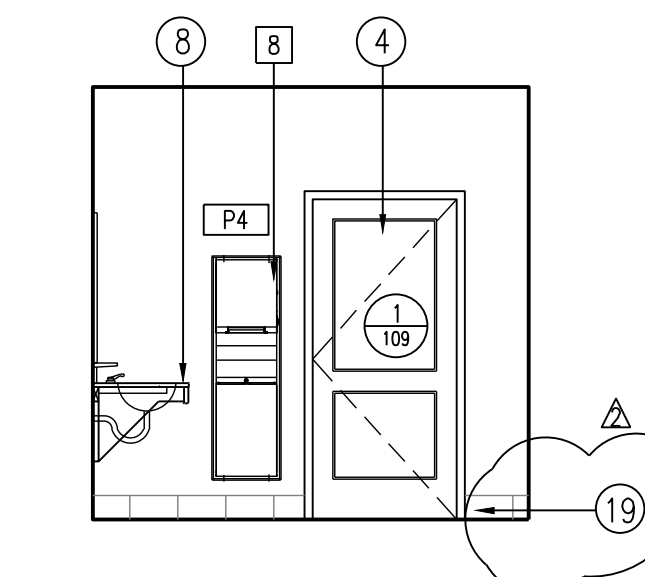
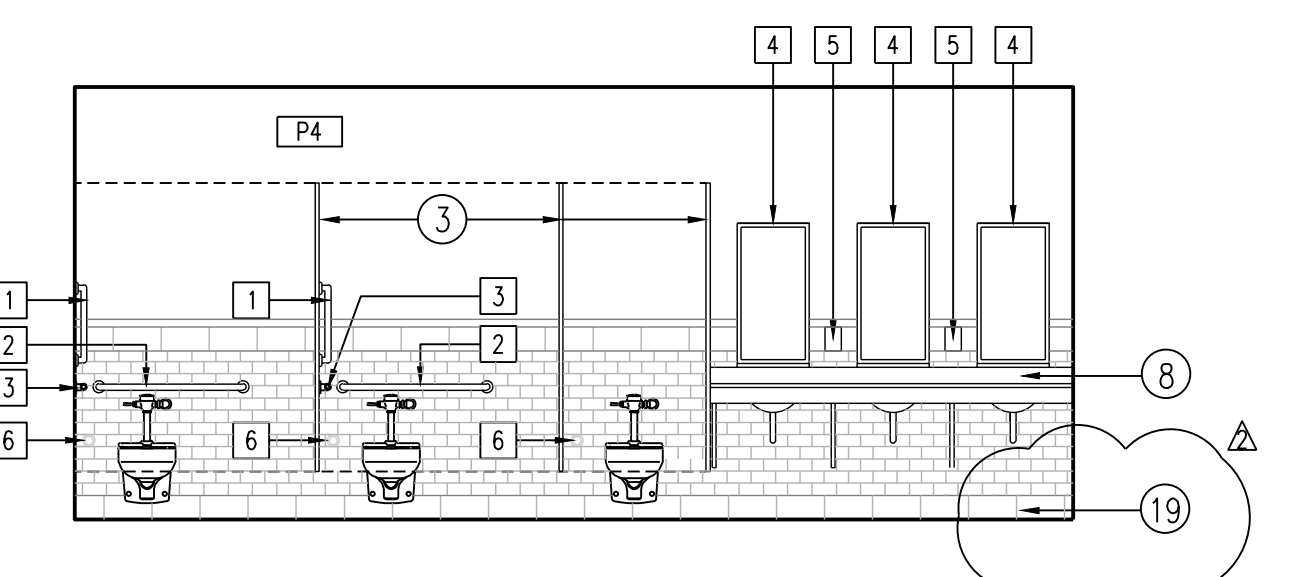


P16 INTERIOR ELEVATION @ MEN'S RESTROOM 110 SCALE: 1/4" = 1'-0"

P12 INTERIOR ELEVATION @ MEN'S RESTROOM 110 SCALE: 1/4" = 1'-0"

P10 INTERIOR ELEVATION @ MEN'S RESTROOM 110 SCALE: 1/4" = 1'-0"

P6 INTERIOR ELEVATION @ MEN'S RESTROOM 110 SCALE: 1/4" = 1'-0"



L16 INTERIOR ELEVATION @ WOMEN'S RESTROOM 109 SCALE: 1/4" = 1'-0"

L12 INTERIOR ELEVATION @ WOMEN'S RESTROOM 109 SCALE: 1/4" = 1'-0"

L10 INTERIOR ELEVATION @ WOMEN'S RESTROOM 109 SCALE: 1/4" = 1'-0"

L6 INTERIOR ELEVATION @ WOMEN'S RESTROOM 109 SCALE: 1/4" = 1'-0"

- 1 18" GRAB BAR (B.O.D. - BOBRICK B5806 X 18 W/SATIN FINISH & PEENED GRIPPING SURFACE)
- 2 36" GRAB BAR (B.O.D. - BOBRICK B5806 X 36 W/SATIN FINISH & PEENED GRIPPING SURFACE)
- 3 42" GRAB BAR (B.O.D. - BOBRICK B5806 X 42 W/SATIN FINISH & PEENED GRIPPING SURFACE)
- 4 18"W x 30"H MIRROR (B.O.D. - BOBRICK B165-1830)
- 5 SOAP DISPENSER (B.O.D. - BOBRICK B-2111)
- 6 TOILET TISSUE DISPENSER (B.O.D. - BOBRICK B-2888)
- 7 SANITARY NAPKIN DISPOSAL (B.O.D. - BOBRICK B-270)
- 8 COMBINATION PAPER TOWEL AND WASTE RECEPTACLE (B.O.D. - BOBRICK B-3961)

NOTES:  
 1. REFER TO SPECIFICATIONS FOR ALL TECHNICAL INFORMATION REGARDING TOILET ROOM ACCESSORIES  
 2. ALL TOILET ROOM ACCESSORIES IN CONTRACT SHALL BE SUPPLIED AND INSTALLED BY G.C.  
 3. REFER TO SHEET G-002-A FOR DIMENSIONED LOCATIONS AND MOUNTING HEIGHTS OF ALL ACCESSORIES.  
 4. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR ALL PLUMBING FIXTURES.  
 5. AT ALL TOILET ROOM PARTITIONS G.C. TO PROVIDE GARMENT HOOKS AT INTERIOR SIDE OF STALL DOORS AT ADA MOUNTING HEIGHTS.  
 6. ALL EXPOSED DRAIN PIPES BELOW LAVS ARE TO BE INSULATED, TYPICAL.  
 7. PROVIDE SOLID WOOD BLOCKING FOR ALL GRAB BAR AND WALL MOUNTED FIXTURES. SEE G-002 FOR EXACT LOCATION.

L20 PLAN DETAIL @ RESTROOMS SCALE: 1/4" = 1'-0"

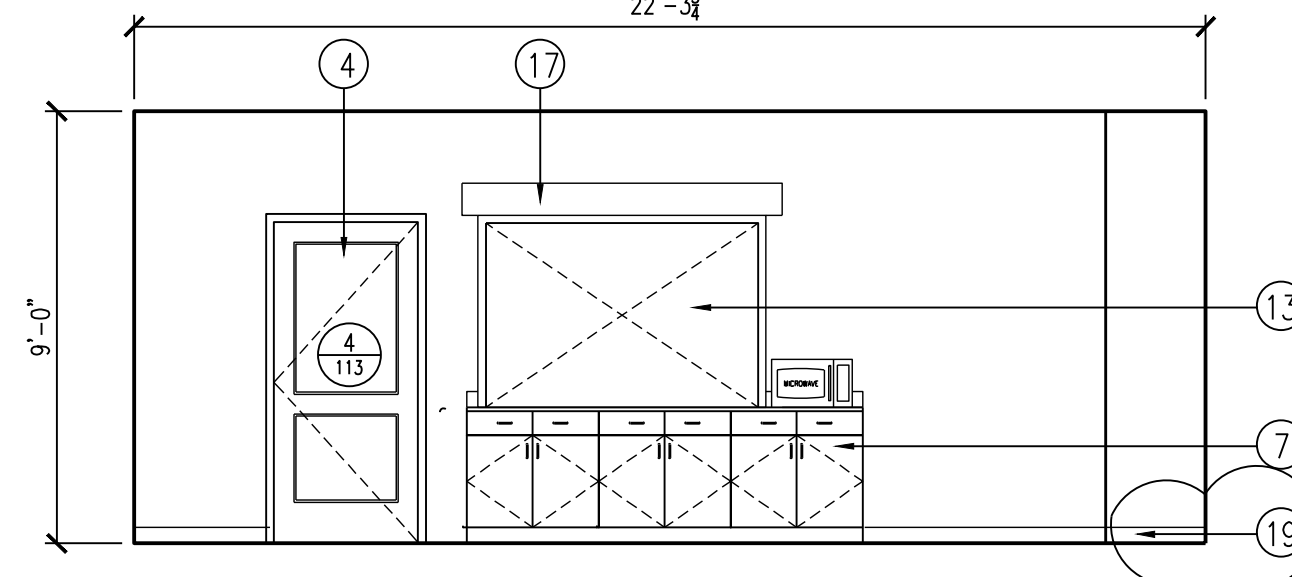
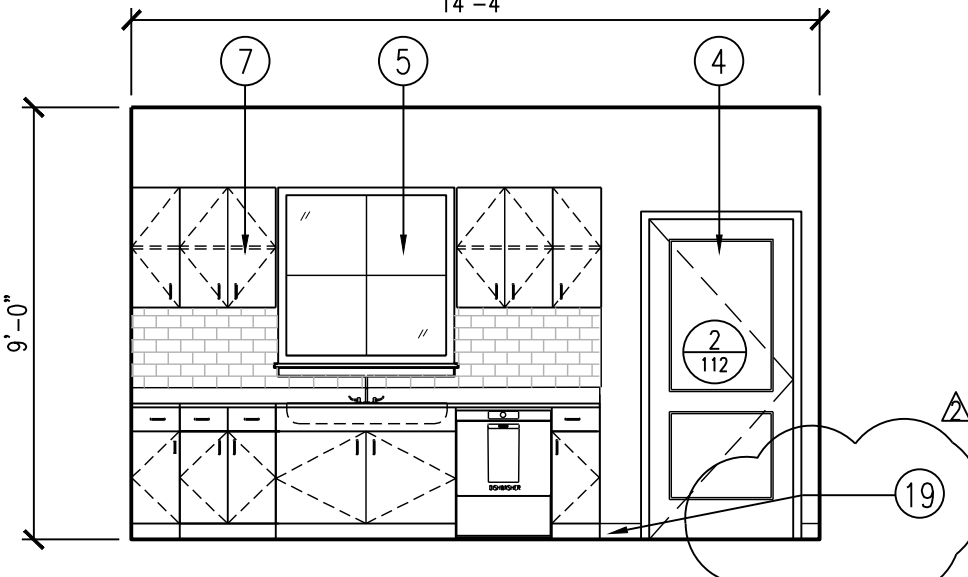
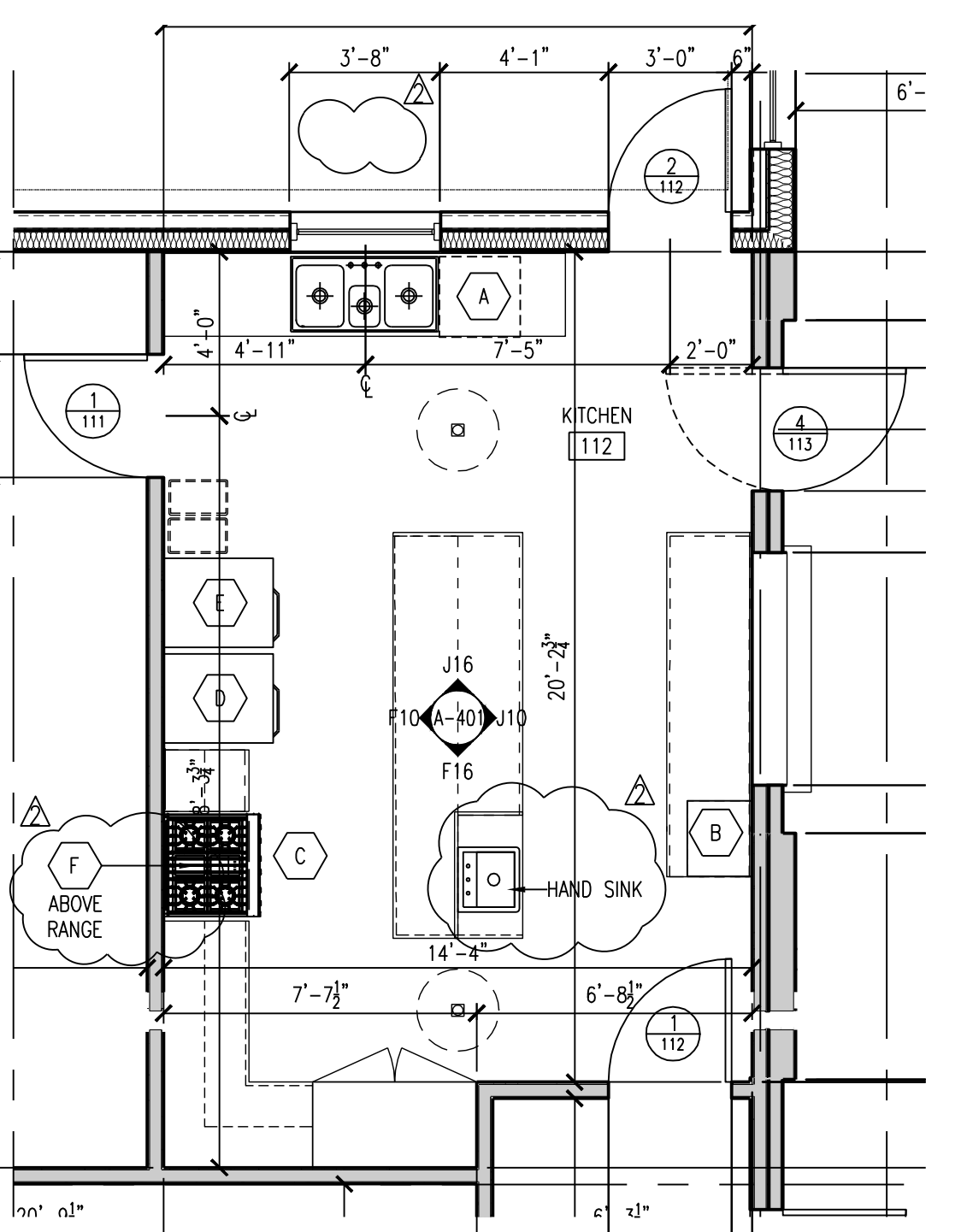
L16 INTERIOR ELEVATION @ WOMEN'S RESTROOM 109 SCALE: 1/4" = 1'-0"

L12 INTERIOR ELEVATION @ WOMEN'S RESTROOM 109 SCALE: 1/4" = 1'-0"

L10 INTERIOR ELEVATION @ WOMEN'S RESTROOM 109 SCALE: 1/4" = 1'-0"

L6 INTERIOR ELEVATION @ WOMEN'S RESTROOM 109 SCALE: 1/4" = 1'-0"

L4 TOILET ROOM FIXTURE LEGEND AND NOTES



J16 INTERIOR ELEVATION @ KITCHEN 112 SCALE: 1/4" = 1'-0"

J12 INTERIOR ELEVATION @ KITCHEN 112 SCALE: 1/4" = 1'-0"

J10 INTERIOR ELEVATION @ KITCHEN 112 SCALE: 1/4" = 1'-0"

J6 INTERIOR ELEVATION @ KITCHEN 112 SCALE: 1/4" = 1'-0"

- 1 PAINTED GYPSUM WALL BD. REFER TO FINISH DWGS, TYP FOR COLOR/SHEEN. UTILIZE WR GPDW AT ALL RESTROOMS.
- 2 LIGHT FIXTURE. REFER TO REFLECTED CEILING PLANS. SEE ALSO ELECT DWGS.
- 3 TOILET PARTITION. REFER TO SPEC.
- 4 DOOR ASSEMBLY. REFER TO DOOR SCHEDULE FOR MORE INFO, TYP.
- 5 WINDOW ASSEMBLY. REFER TO WINDOW SCHEDULE
- 6 WALL MOUNTED URINAL PARTITION. REFER TO SPEC.
- 7 CABINETS. SEE MILLWORK DWGS.
- 8 COUNTERTOPS. SEE MILLWORK DWGS.
- 9 4" HIGH RUBBER BASE. SEE FINISH PLANS AND SPEC.
- 10 8" HIGH WOOD BASE. SEE MILLWORK DETAIL A20/A-901
- 11 CHAIR RAIL. SEE MILLWORK DETAIL A20/A-901
- 12 WATER COOLER. SEE PLUMBING DWGS.
- 13 MEAL PASS THRU WINDOW
- 14 1/2" THICK MANUFACTURED STONE VENEER  
B.O.D. ELDRADO STONE  
STYLE: HILLSTONE  
COLOR: LUCEBA  
PRECAST CONCRETE COLUMN CAP. COLOR TO BE SELECTED BY ARCH.
- 15 1'-0" DIA. GFRC COLUMN COVER  
B.O.D.: FORMGLASS GFRC-L  
COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- 16 SURFACE MOUNTED ELECTRONIC OVERHEAD COILING SECURITY SHUTTER  
B.O.D.: QM SECURITY SOLUTIONS COUNTER SAFE AL7-E EXTRUDED ALUMINUM SINGLE  
WALL SHUTTER W/ STYLES S1 PUNCH PATTERN. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS.
- 17 CROWN MOLDING. SEE DETAIL A20/A-901
- 18 PORCELAIN WALL BASE. SEE FINISH PLANS AND SPEC.

F20 PLAN DETAIL @ KITCHEN 112 SCALE: 1/4" = 1'-0"

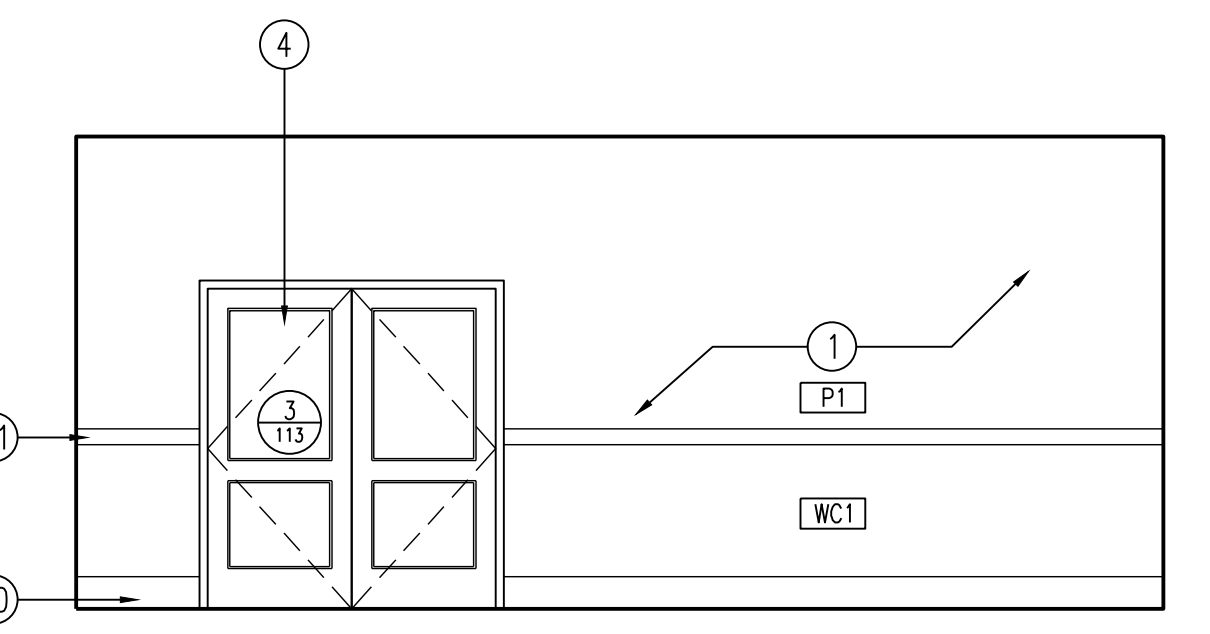
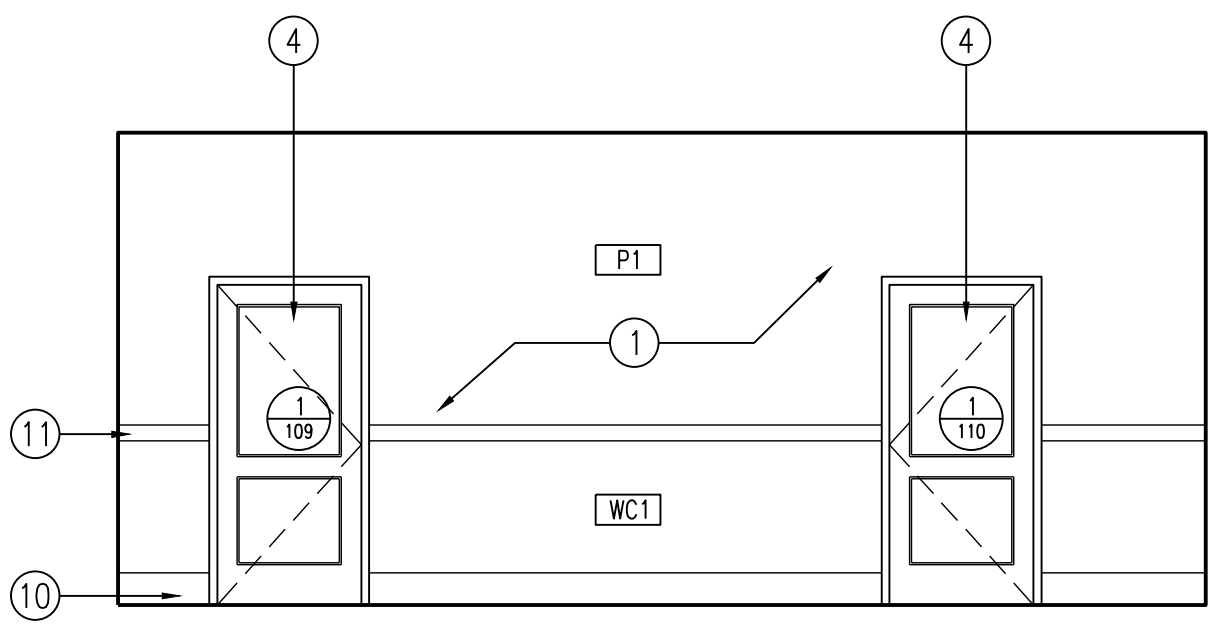
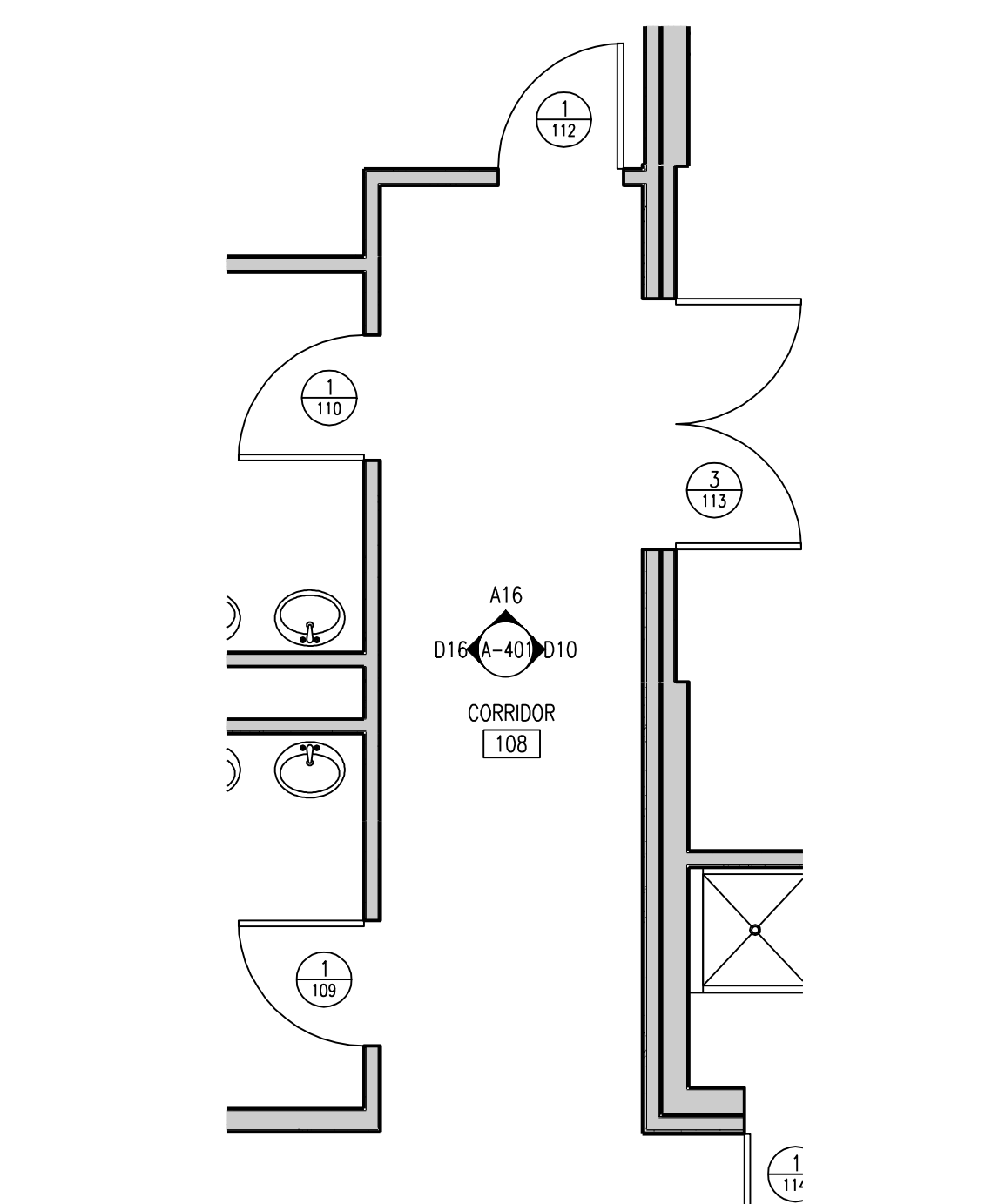
F16 INTERIOR ELEVATION @ KITCHEN 112 SCALE: 1/4" = 1'-0"

F12 INTERIOR ELEVATION @ KITCHEN 112 SCALE: 1/4" = 1'-0"

F10 INTERIOR ELEVATION @ KITCHEN 112 SCALE: 1/4" = 1'-0"

F6 INTERIOR ELEVATION @ KITCHEN 112 SCALE: 1/4" = 1'-0"

F4 INTERIOR ELEVATION NOTES



D16 INTERIOR ELEVATION @ CORRIDOR 108 SCALE: 1/4" = 1'-0"

D12 INTERIOR ELEVATION @ CORRIDOR 108 SCALE: 1/4" = 1'-0"

D10 INTERIOR ELEVATION @ CORRIDOR 108 SCALE: 1/4" = 1'-0"

D6 INTERIOR ELEVATION @ CORRIDOR 108 SCALE: 1/4" = 1'-0"

KITCHEN EQUIPMENT SCHEDULE		
DESCRIPTION	MAKE	MODEL NO.
A UNDERCOUNTER DISHWASHER	HOBART FP SERIES	FP-10A
B 1000 WATT COMMERCIAL MICROWAVE OVEN	PANASONIC	NE-1054F
C 30" 5 SERIES GAS RANGE	VIKING	VGCC30-4B
D REFRIGERATOR	BEVERAGE-AIR, HORIZON SERIES	HR1-1HS
E FREEZER	BEVERAGE-AIR, HORIZON SERIES	HF1-1HS
F RANGE HOOD	DENLAR FIRE PROTECTION	D100

A20 PLAN DETAIL @ CORRIDOR 108 SCALE: 1/4" = 1'-0"

A16 INTERIOR ELEVATION @ CORRIDOR 108 SCALE: 1/4" = 1'-0"

A12 INTERIOR ELEVATION @ CORRIDOR 108 SCALE: 1/4" = 1'-0"

A10 NOT USED

A6 KITCHEN EQUIPMENT SCHEDULE

**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
 Drawing Copyright ©2015, Clarke Catton Hintz, P.C.

OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
 Boudner & Jones, Inc.  
 1468 Ferry Road Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengr.com

STRUCTURAL:  
 Harrison-Hartnett, P.C.  
 40 Knowles Street  
 Pennington, NJ 08834  
 (609) 818-1888 www.hjpc.com

MEP / FP:  
 Holstein-White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7111 www.holsteinwhite.com

SUBMISSIONS

NO.	DATE	DESCRIPTION
1	3/4/2015	ISSUED FOR CONSTRUCTION

REVISIONS

NO.	DATE	COMMENTS
1	4/22/2015	DOH COMMENTS

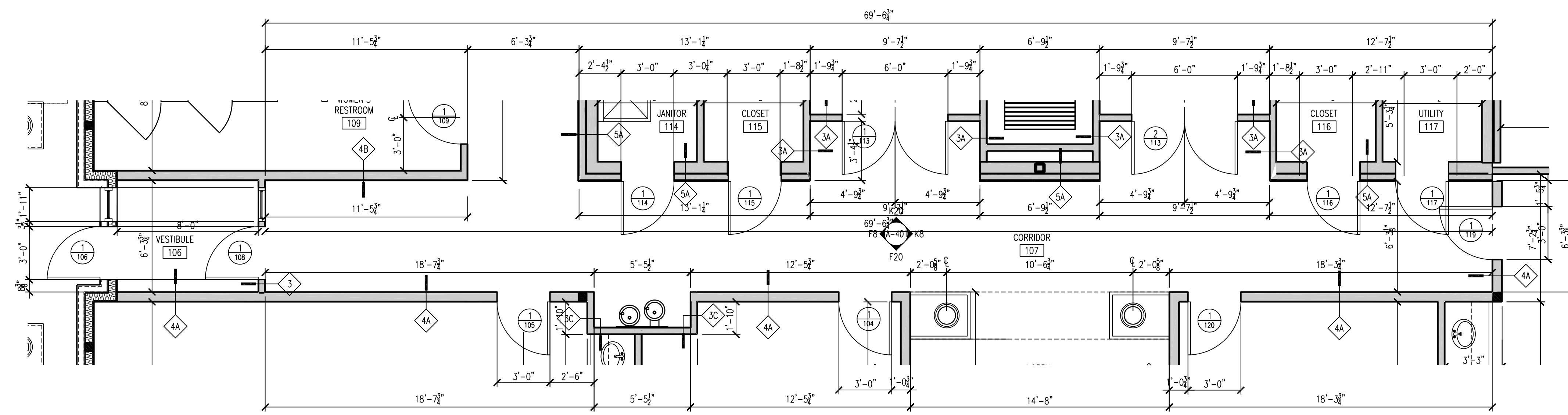
ARCHITECT  
 PA LICENSE NO. PA-014857-B  
 GEORGE M. WEBER, AIA  
 DATE

**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
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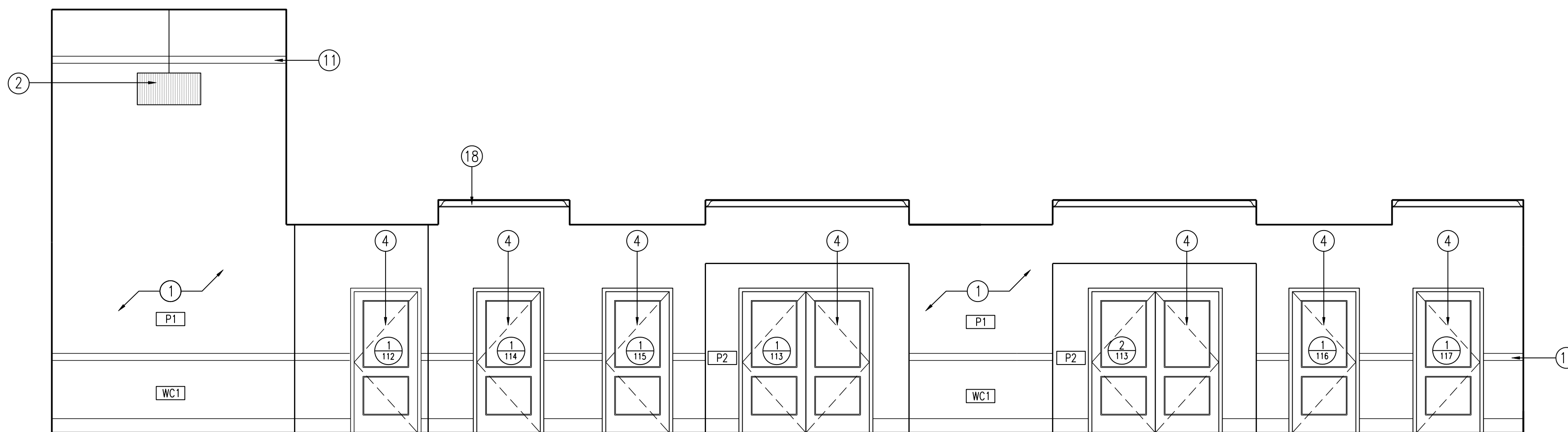
SHEET TITLE:  
**INTERIOR ELEVATIONS**

DRAWING NO.:  
**A-401**  
 CCH PROJECT NO: 1833



N20 PLAN DETAIL @ CORRIDOR 107

SCALE: 1/4" = 1'-0"

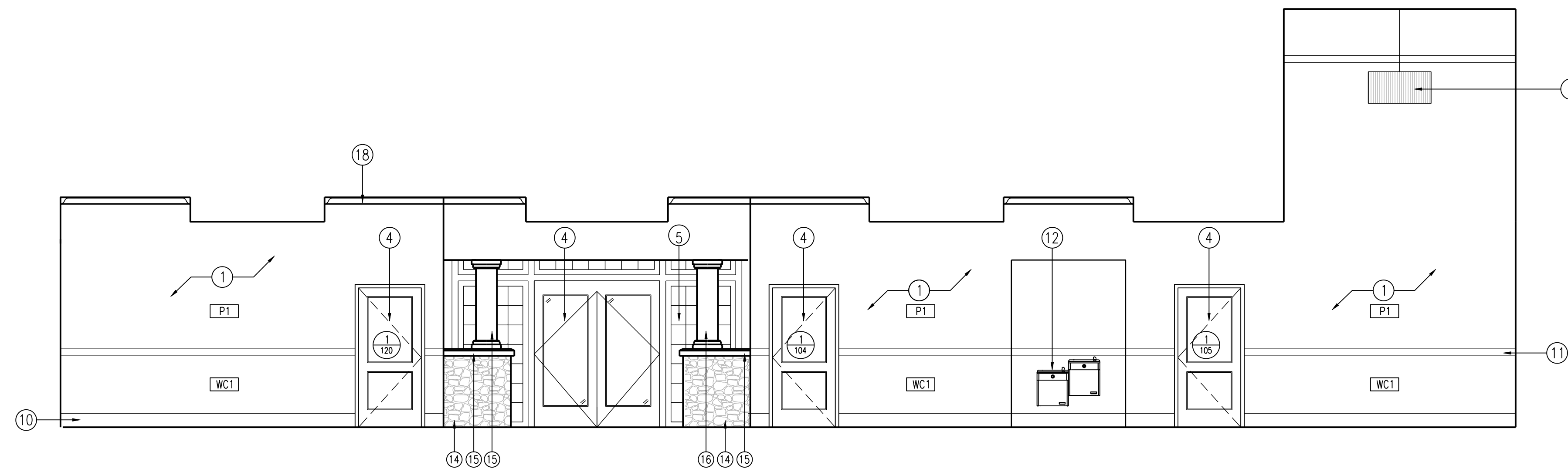


K20 INTERIOR ELEVATION @ CORRIDOR 107

SCALE: 1/4" = 1'-0"

K8 INTERIOR ELEVATION @ CORRIDOR 107

SCALE: 1/4" = 1'-0"

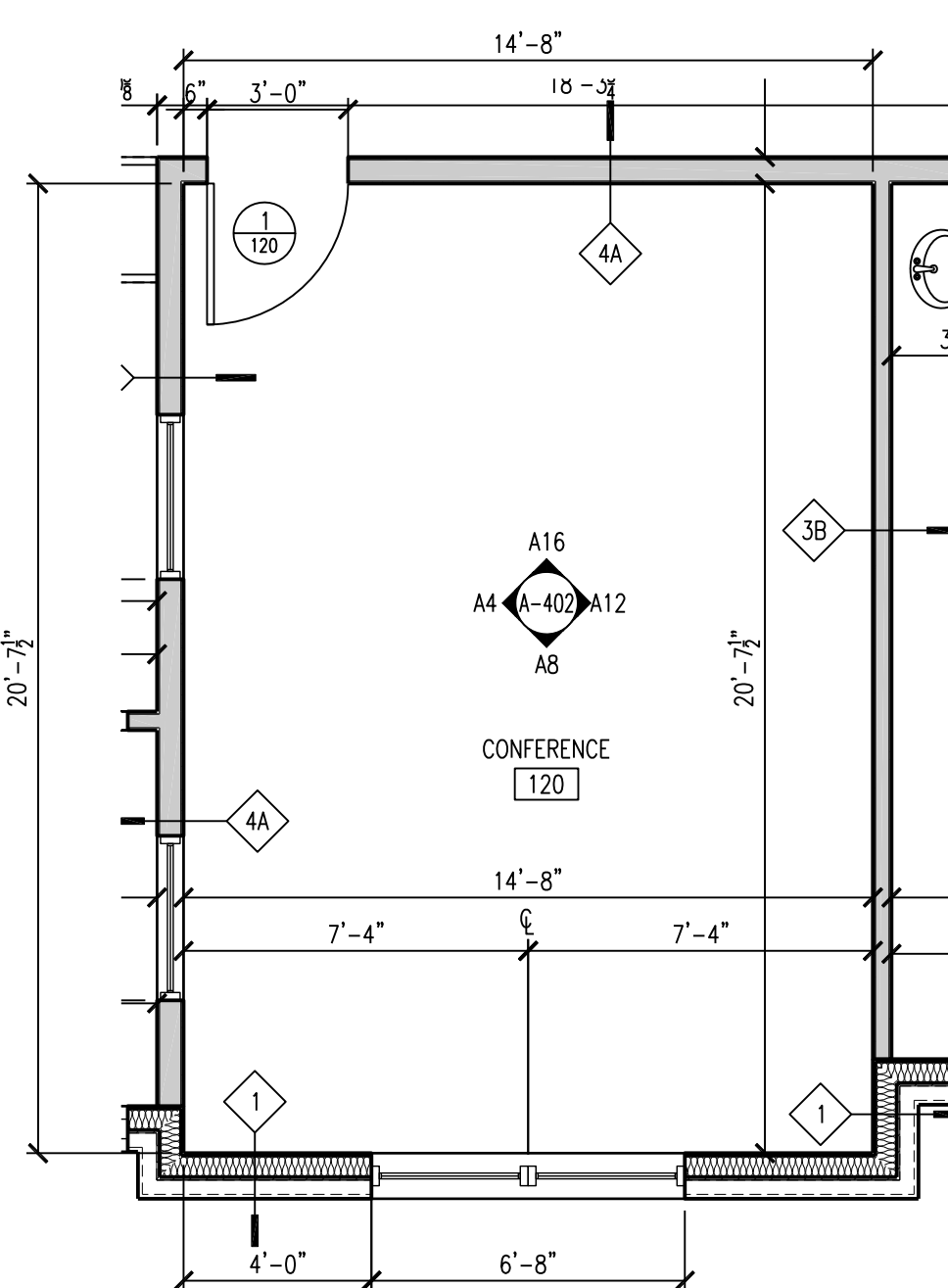


F20 INTERIOR ELEVATION @ CORRIDOR 107

SCALE: 1/4" = 1'-0"

F8 INTERIOR ELEVATION @ CORRIDOR 107

SCALE: 1/4" = 1'-0"



A20 PLAN DETAIL @ CONFERENCE 120

SCALE: 1/4" = 1'-0"

A16 INTERIOR ELEVATION @ CONFERENCE 120

SCALE: 1/4" = 1'-0"

A12 INTERIOR ELEVATION @ CONFERENCE 120

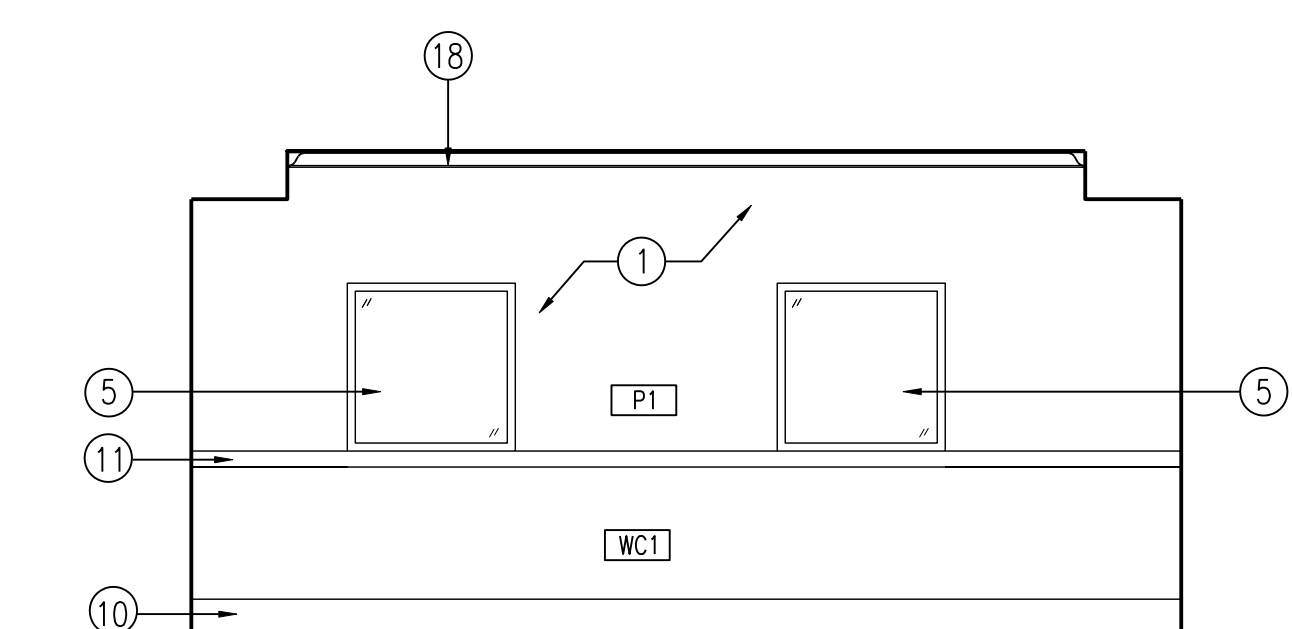
SCALE: 1/4" = 1'-0"

A8 INTERIOR ELEVATION @ CONFERENCE 120

SCALE: 1/4" = 1'-0"

A4 INTERIOR ELEVATION @ CONFERENCE 120

SCALE: 1/4" = 1'-0"



A4 INTERIOR ELEVATION @ CONFERENCE 120

SCALE: 1/4" = 1'-0"

- 1 PAINTED GYPSUM WALL BD. REFER TO FINISH DWGS, TYP FOR COLOR/SHEEN. UTILIZE WR GPW AT ALL RESTROOMS.
- 2 LIGHT FIXTURE. REFER TO REFLECTED CEILING PLANS. SEE ALSO ELECT DWGS.
- 3 TOILET PARTITION. REFER TO SPEC.
- 4 DOOR ASSEMBLY. REFER TO DOOR SCHEDULE FOR MORE INFO, TYP.
- 5 WINDOW ASSEMBLY. REFER TO WINDOW SCHEDULE
- 6 WALL MOUNTED URINAL PARTITION. REFER TO SPEC
- 7 CABINETS. SEE MILLWORK DWGS.
- 8 COUNTERTOPS. SEE MILLWORK DWGS.
- 9 4" HIGH RUBBER BASE. SEE SPEC.
- 10 8" HIGH WOOD BASE. SEE MILLWORK DETAIL A20/A-901
- 11 CHAIR RAIL. SEE MILLWORK DETAIL A20/A-901
- 12 WATER COOLER. SEE PLUMBING DWGS.
- 13 MEAL PASS THRU WINDOW
- 14 1/2" THICK MANUFACTURED STONE VENEER  
S.T.Y.L.E: HILLSTONE  
C.O.L.O.R: LUCERA
- 15 PRECAST CONCRETE COLUMN CAP. COLOR TO BE SELECTED BY ARCH.
- 16 1'-0" DIA. GFCR COLUMN COVER  
B.O.D.: FORMGLASS GFCR-L  
C.O.L.O.R TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS
- 17 SURFACE MOUNTED ELECTRONIC OVERHEAD COILING SECURITY SHUTTER  
W.A.L.L SHUTTER W/ STRIKE S-1 PUNCH PATTERN. COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS.
- 18 CROWN MOLDING. SEE DETAIL A20/A-901

SUBMISSIONS

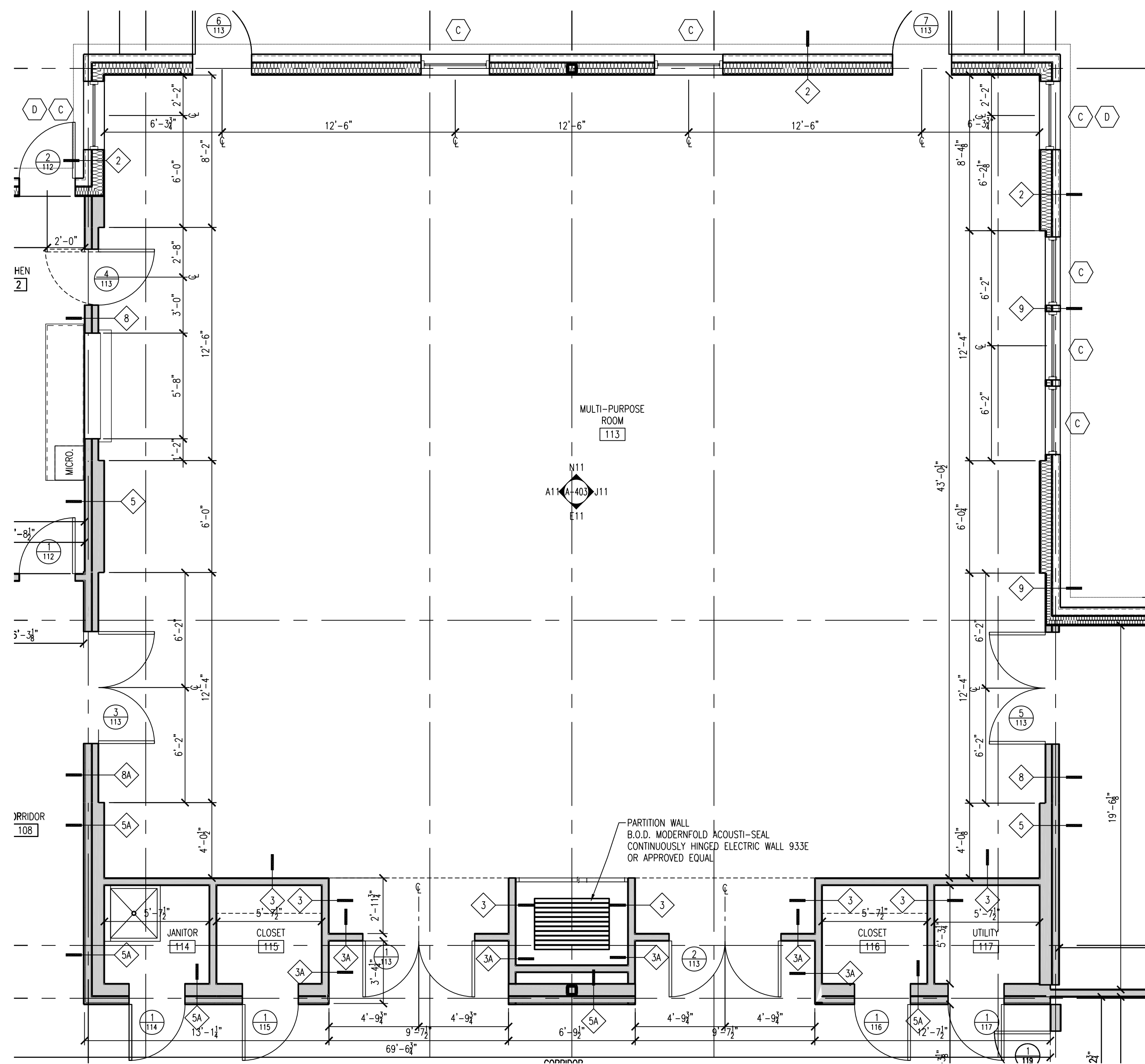
NO.	DATE	DESCRIPTION
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REVISIONS

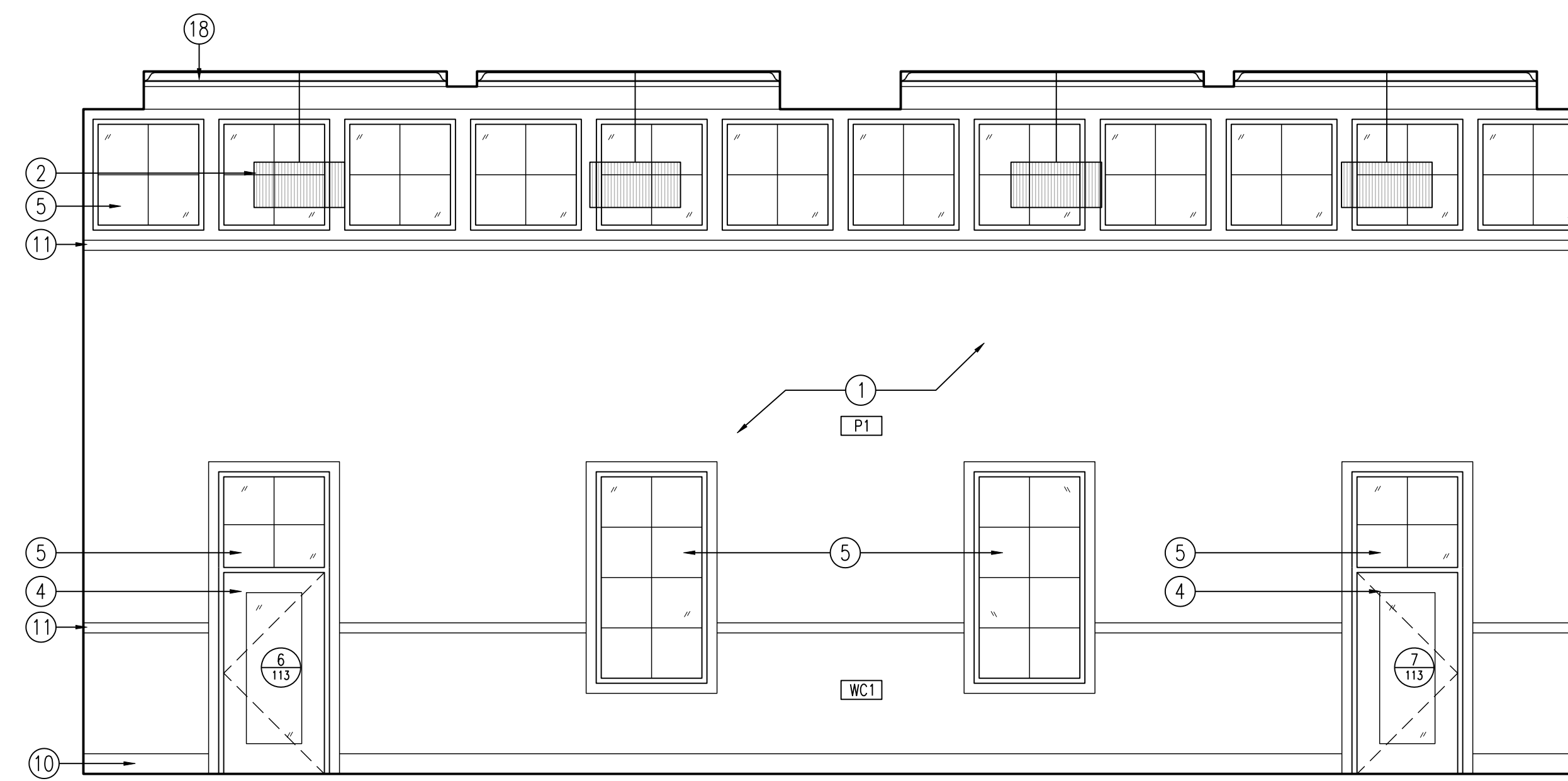
NO.	DATE	DESCRIPTION
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- 1 PAINTED GYPSUM WALL BD. REFER TO FINISH DWGS. TYP FOR COLOR/SHEEN. UTILIZE WIR GPDM AT ALL RESTROOMS.
- 2 LIGHT FIXTURE. REFER TO REFLECTED CEILING PLANS. SEE ALSO ELEC DWGS.
- 3 TOILET PARTITION. REFER TO SPEC.
- 4 DOOR ASSEMBLY. REFER TO DOOR SCHEDULE FOR MORE INFO. TYP.
- 5 WINDOW ASSEMBLY. REFER TO WINDOW SCHEDULE
- 6 WALL MOUNTED URINAL PARTITION. REFER TO SPEC
- 7 CABINETS. SEE MILLWORK DWGS.
- 8 COUNTERTOPS. SEE MILLWORK DWGS.
- 9 4" HIGH RUBBER BASE. SEE SPEC.
- 10 6" HIGH WOOD BASE. SEE MILLWORK DETAIL A20/A-901
- 11 CHAIR RAIL. SEE MILLWORK DETAIL A20/A-901
- 12 WATER COOLER. SEE PLUMBING DWGS.
- 13 MEAL PASS THRU WINDOW
- 14 1/2" THICK MANUFACTURED STONE VENEER  
B.O.D. ELDORADO STONE  
STYLE: HILLSTONE  
COLOR: LUCIFER
- 15 PRECAST CONCRETE COLUMN CAP, COLOR TO BE SELECTED BY ARCH.
- 16 1'-0" DIA. GFRG COLUMN COVER  
B.O.D.: FORMGLASS GFRG-L  
COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE OF COLORS
- 17 SURFACE MOUNTED ELECTRONIC OVERHEAD COILING SECURITY SHUTTER™  
B.O.D.: DM SECURITY SOLUTIONS' COMPACT SAFE ALU-F EXTRUDED ALUMINUM SINGLE WALL SHUTTER W/ STYLE 51 PUNCH PATTERN. COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE OF COLORS.
- 18 CROWN MOLDING. SEE DETAIL A20/A-901

N20 INTERIOR ELEVATION NOTES

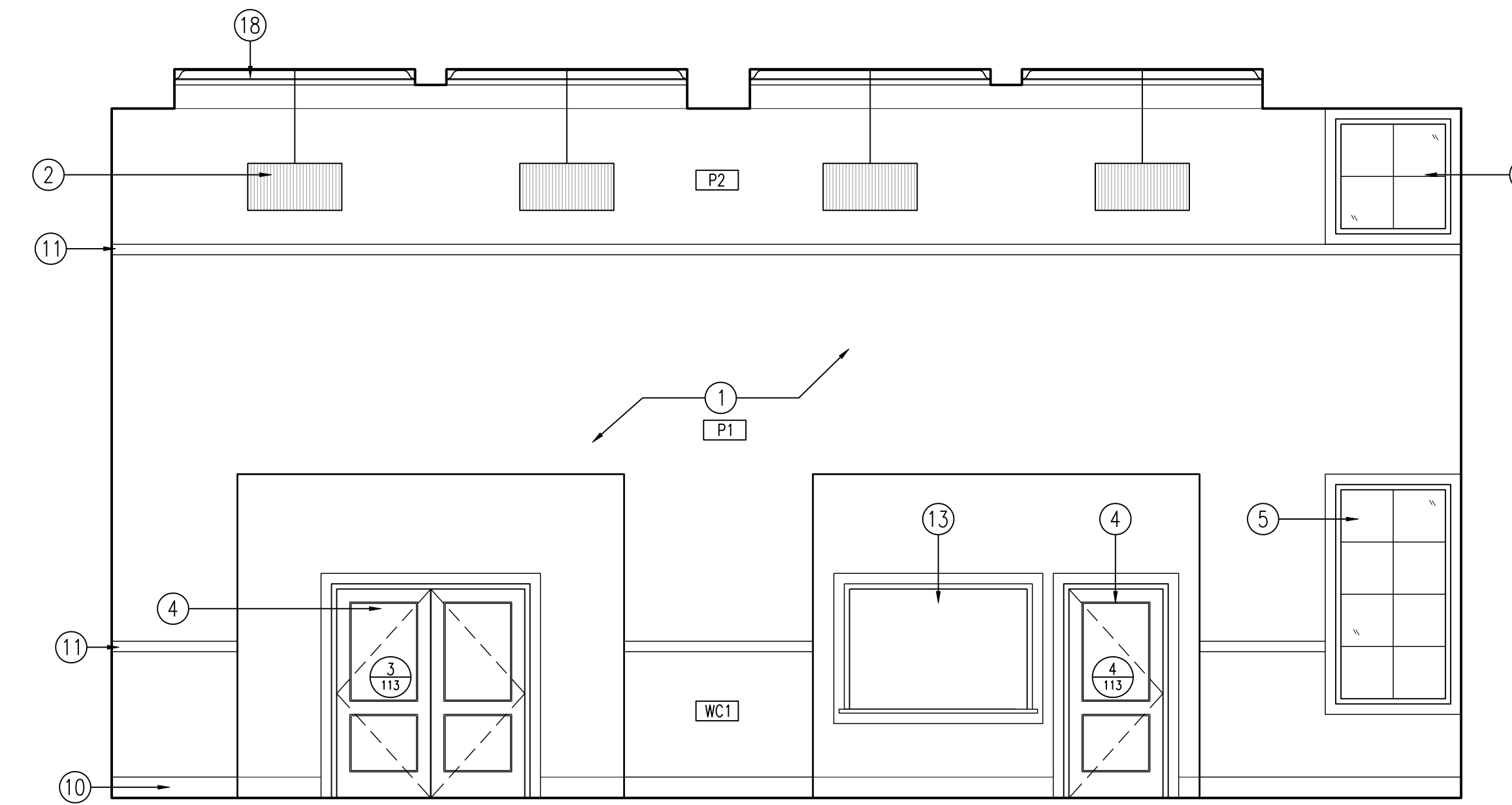


A20 PLAN DETAIL AT MULTI-PURPOSE ROOM 113



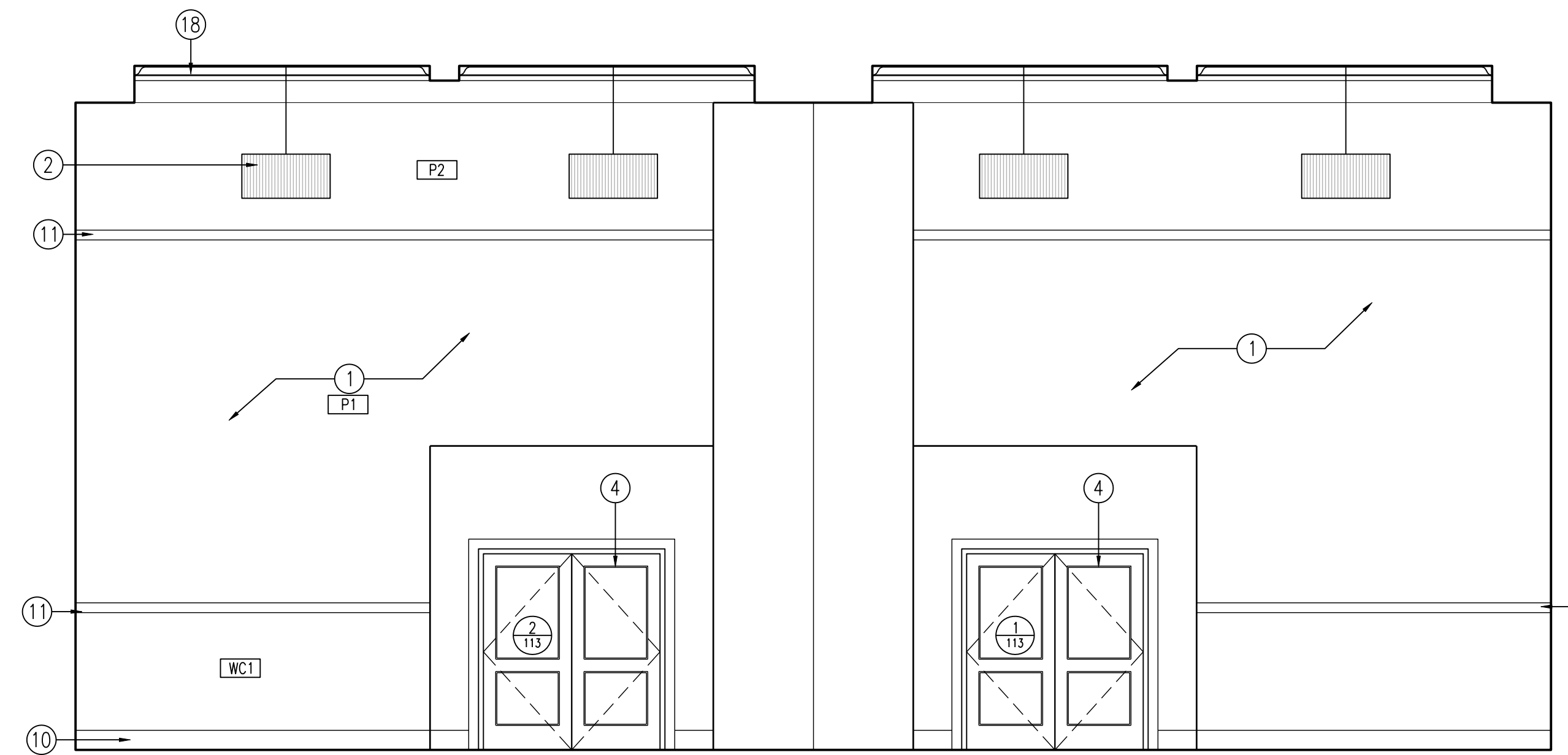
N11 INTERIOR ELEVATION @ MULTI-PURPOSE ROOM 113

SCALE: 1/4" = 1'-0"



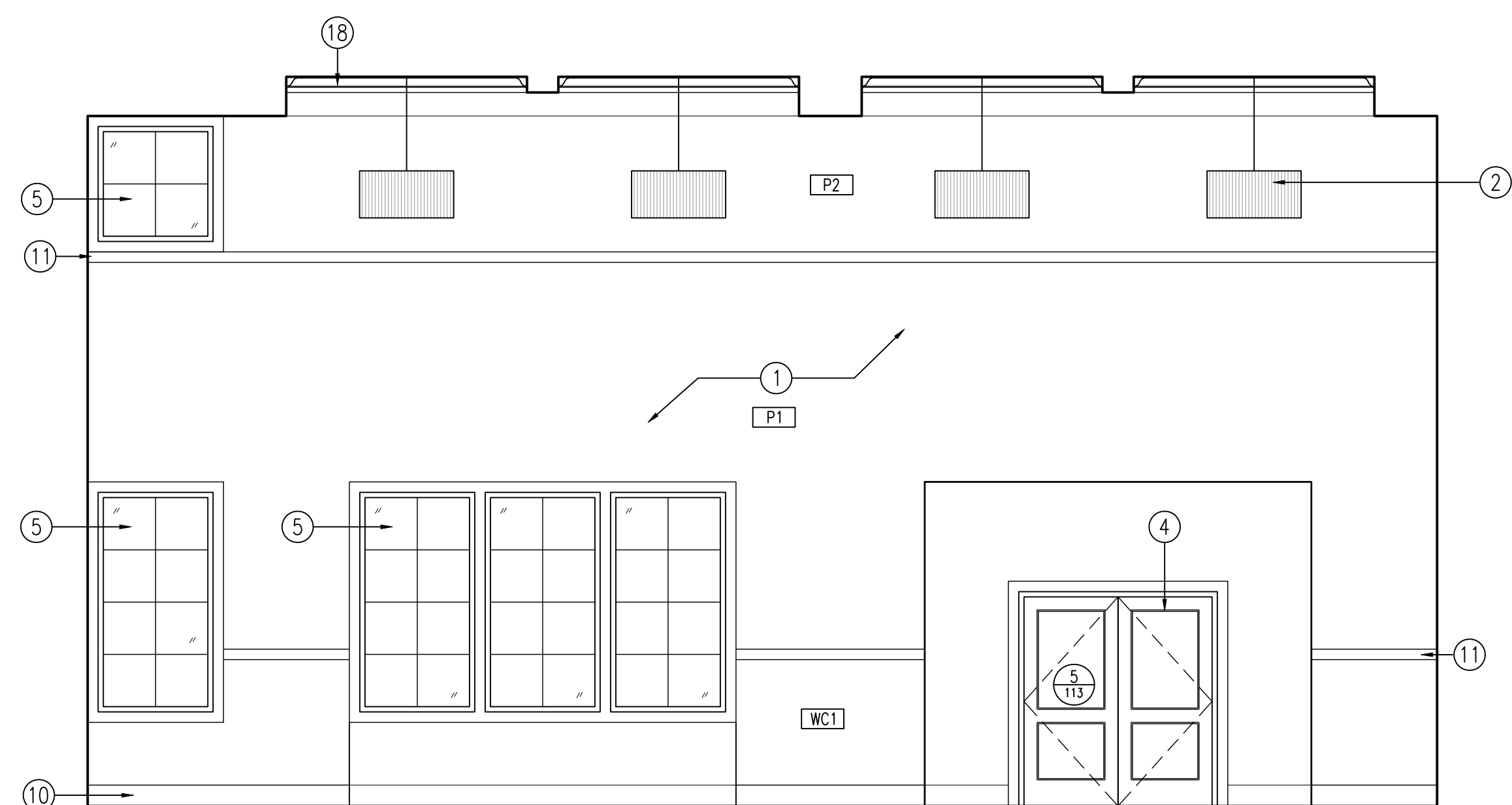
J11 INTERIOR ELEVATION @ MULTI-PURPOSE ROOM 113

SCALE: 1/4" = 1'-0"



E11 INTERIOR ELEVATION @ MULTI-PURPOSE ROOM 113

SCALE: 1/4" = 1'-0"



A11 INTERIOR ELEVATION @ MULTI-PURPOSE ROOM 113

SCALE: 1/4" = 1'-0"

**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
 Drawing Copyright ©2015, Clarke Catton Hintz, P.C.  
 100 Barred Street  
 York, PA 17403  
 Tel: (717) 837-8345  
 www.clarkecattonhintz.com

OWNER:  
 Township of Lower Merion  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
 Broecker & Jermol, Inc.  
 1656 Ferry Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengineering.com

STRUCTURAL:  
 Hamilton-Harrett, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 815-1888 www.hhpcsa.com

MEP / FF:  
 Holman White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19053  
 (215) 322-1711 www.holmanwhite.com

SUBMISSIONS

NO.	DATE	DESCRIPTION
1	3/4/2015	ISSUED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
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ARCHITECT  
 PA LICENSE NO. RA-014857-B  
 GEORGE M. HEBBS, AIA  
 DATE

**Lower Merion  
 Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**INTERIOR  
 ELEVATIONS**

DRAWING NO.:

**A-403**

CCH PROJECT NO: 1833



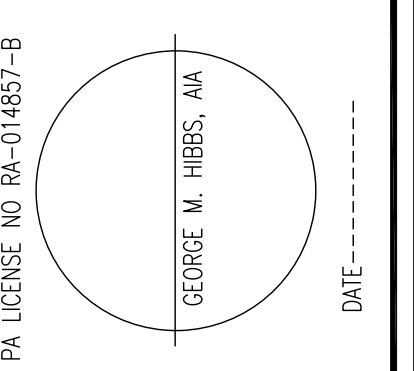
- 1 PAINTED GYPSUM WALL BD. REFER TO FINISH DWGS. TYP FOR COLOR/SHEEN. UTILIZE WR GPW AT ALL RESTROOMS.
- 2 LIGHT FIXTURE. REFER TO REFLECTED CEILING PLANS. SEE ALSO ELECT DWGS.
- 3 TOILET PARTITION. REFER TO SPEC.
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- 6 WALL MOUNTED URINAL PARTITION. REFER TO SPEC.
- 7 CABINETS. SEE MILLWORK DWGS.
- 8 COUNTERTOPS. SEE MILLWORK DWGS.
- 9 4" HIGH RUBBER BASE. SEE SPEC.
- 10 8" HIGH WOOD BASE. SEE MILLWORK DETAIL A20/A-901
- 11 CHAIR RAIL. SEE MILLWORK DETAIL A20/A-901
- 12 WATER COOLER. SEE PLUMBING DWGS.
- 13 MEAL PASS THRU WINDOW
- 14 1/2" THICK MANUFACTURED STONE VENEER  
 B.O.D.: ELBORADO STONE  
 STYLE: HILLSTONE  
 COLOR: LUCERA
- 15 PRECAST CONCRETE COLUMN CAP, COLOR TO BE SELECTED BY ARCH.  
 B.O.D.: FORMGLASS GFRG-L  
 COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE OF COLORS
- 16 SURFACE MOUNTED ELECTRONIC OVERHEAD COLING SECURITY SHUTTER  
 B.O.D.: DM SECURITY SOLUTIONS COUNTER SAFE ALZ-E EXTRUDED ALUMINUM SINGLE WALL SHUTTER W/ STYLE 51 PUNCH PATTERN, COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE OF COLORS.
- 17 CROWN MOLDING, SEE DETAIL A20/A-901

**SUBMISSIONS**

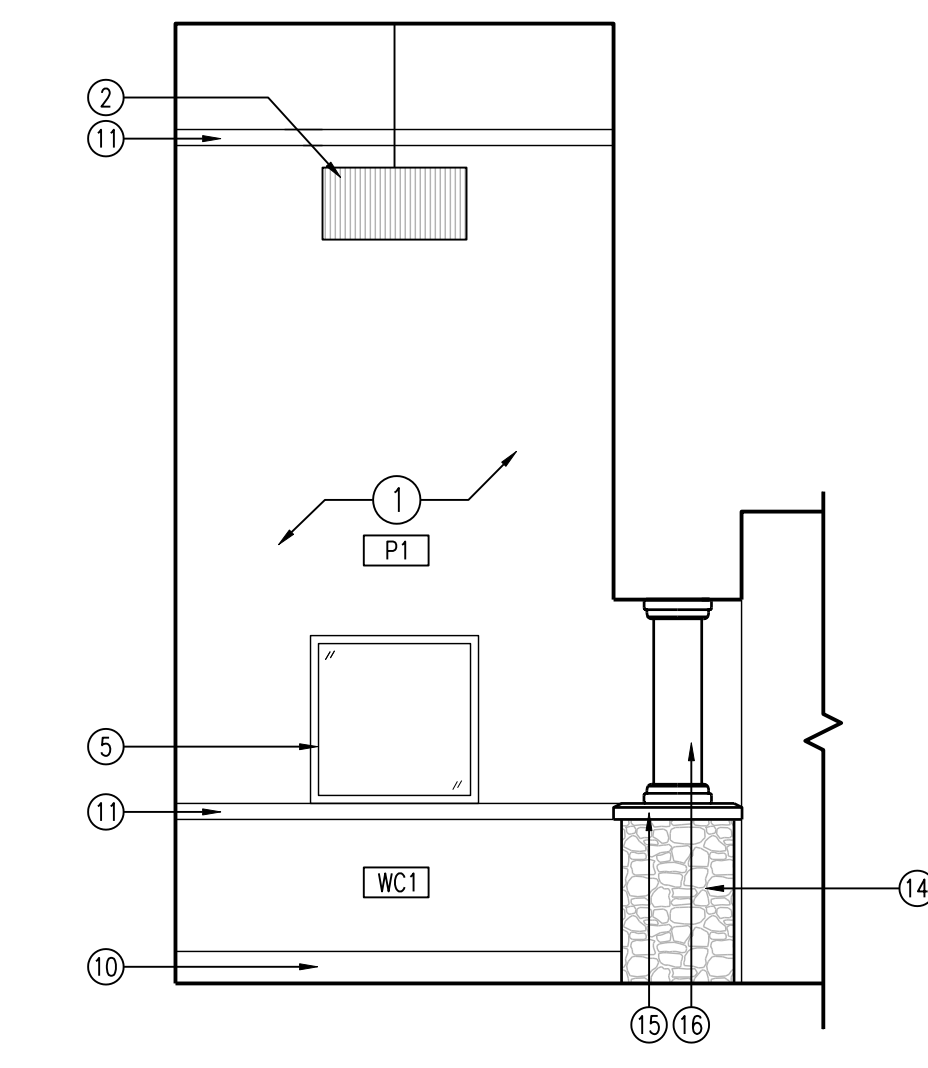
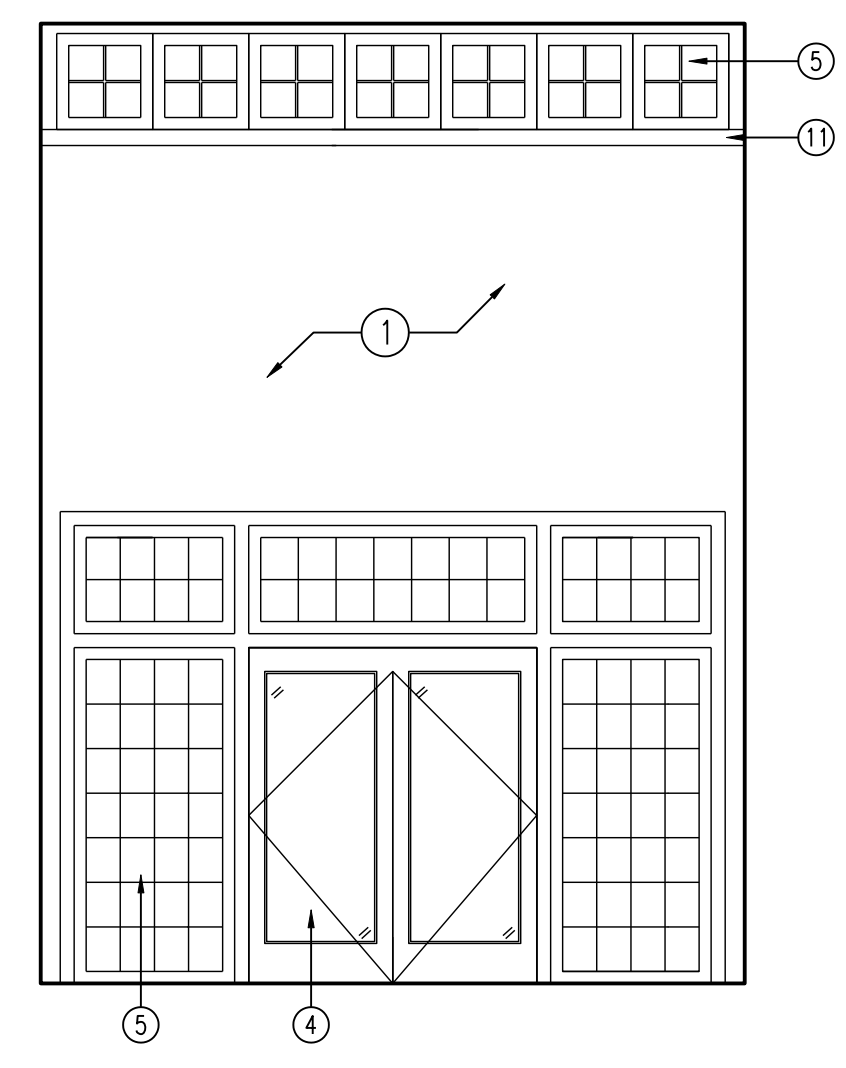
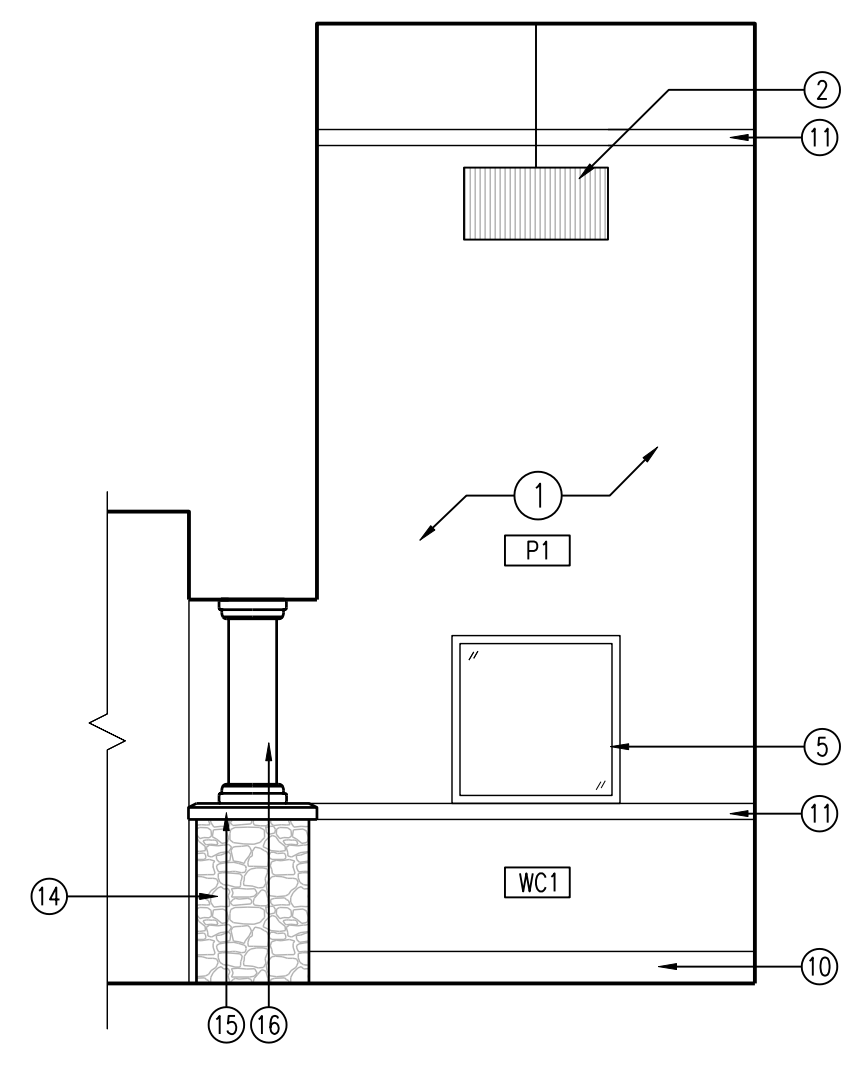
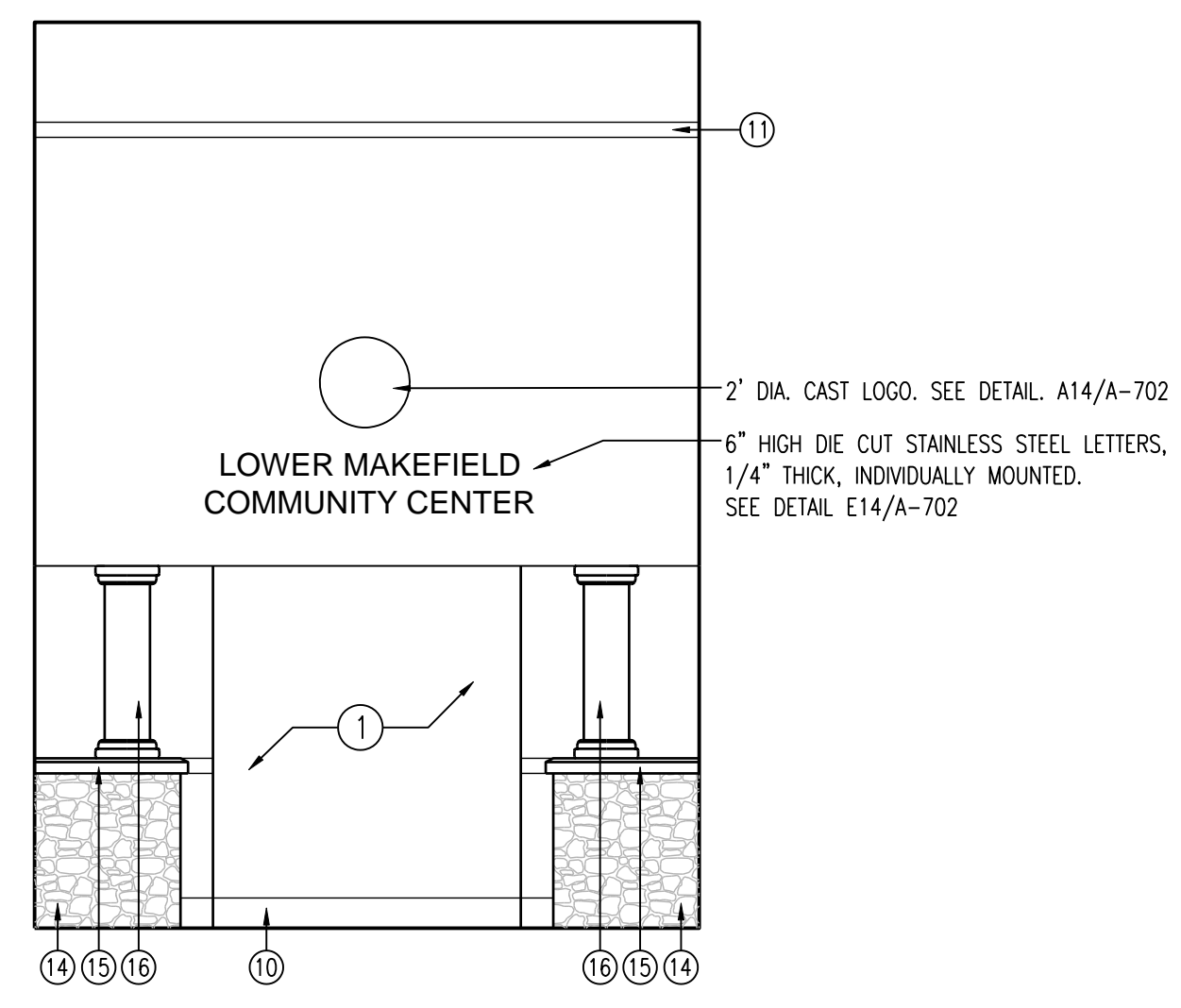
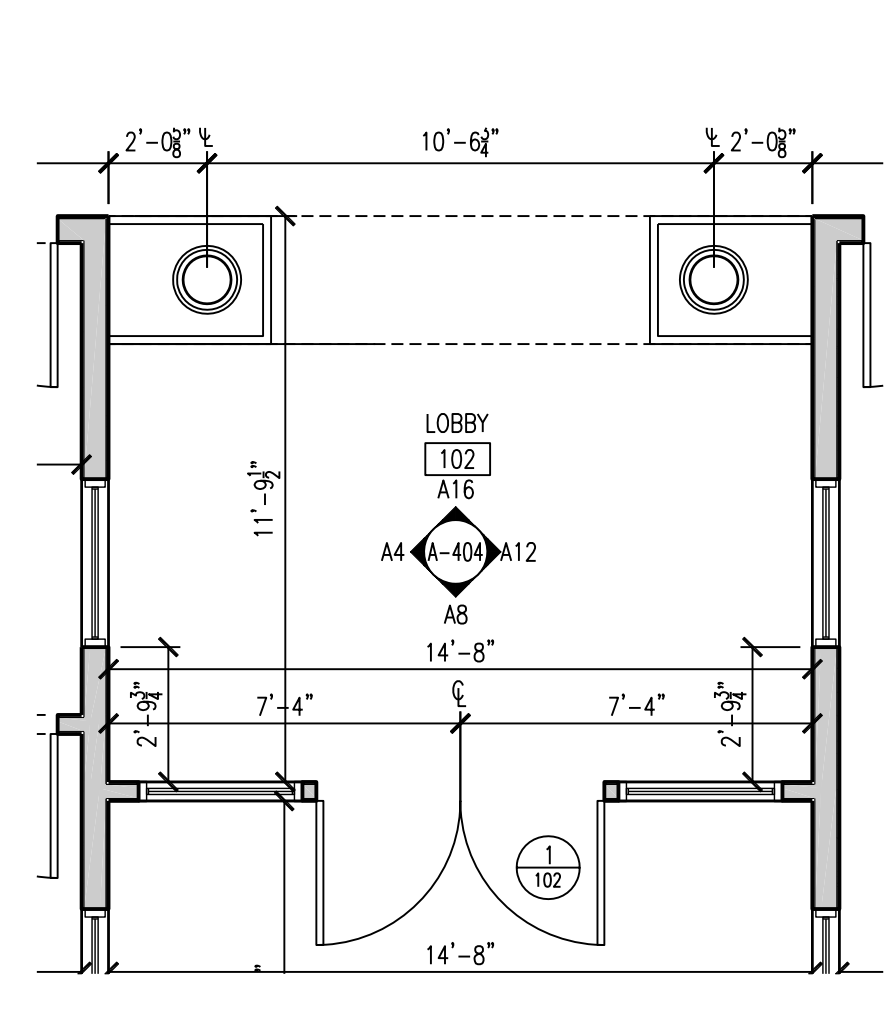
NO.	DATE	DESCRIPTION
1	3/4/2015	ISSUED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE	DESCRIPTION



**A4 INTERIOR ELEVATION NOTES**



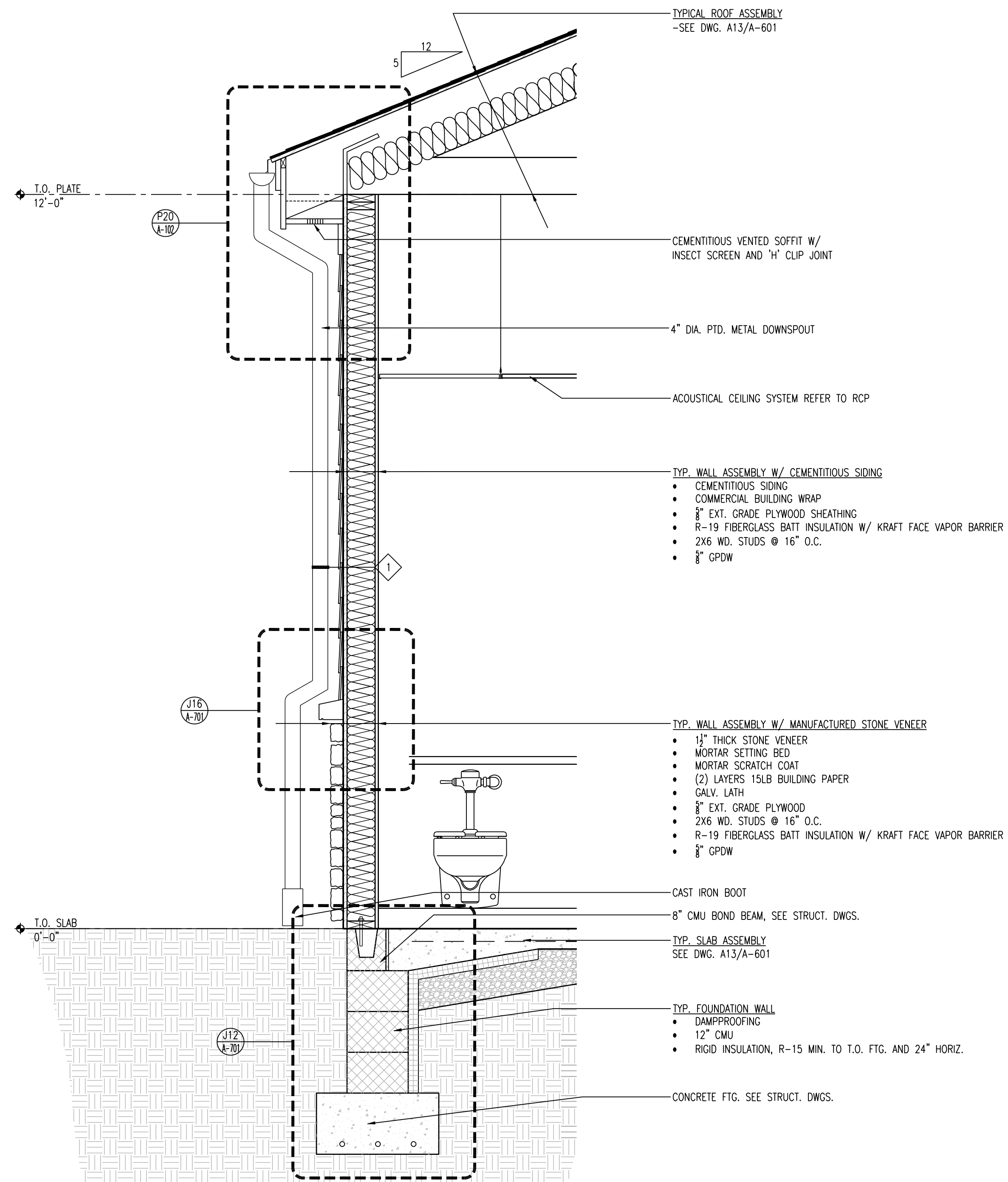
**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**INTERIOR ELEVATIONS**

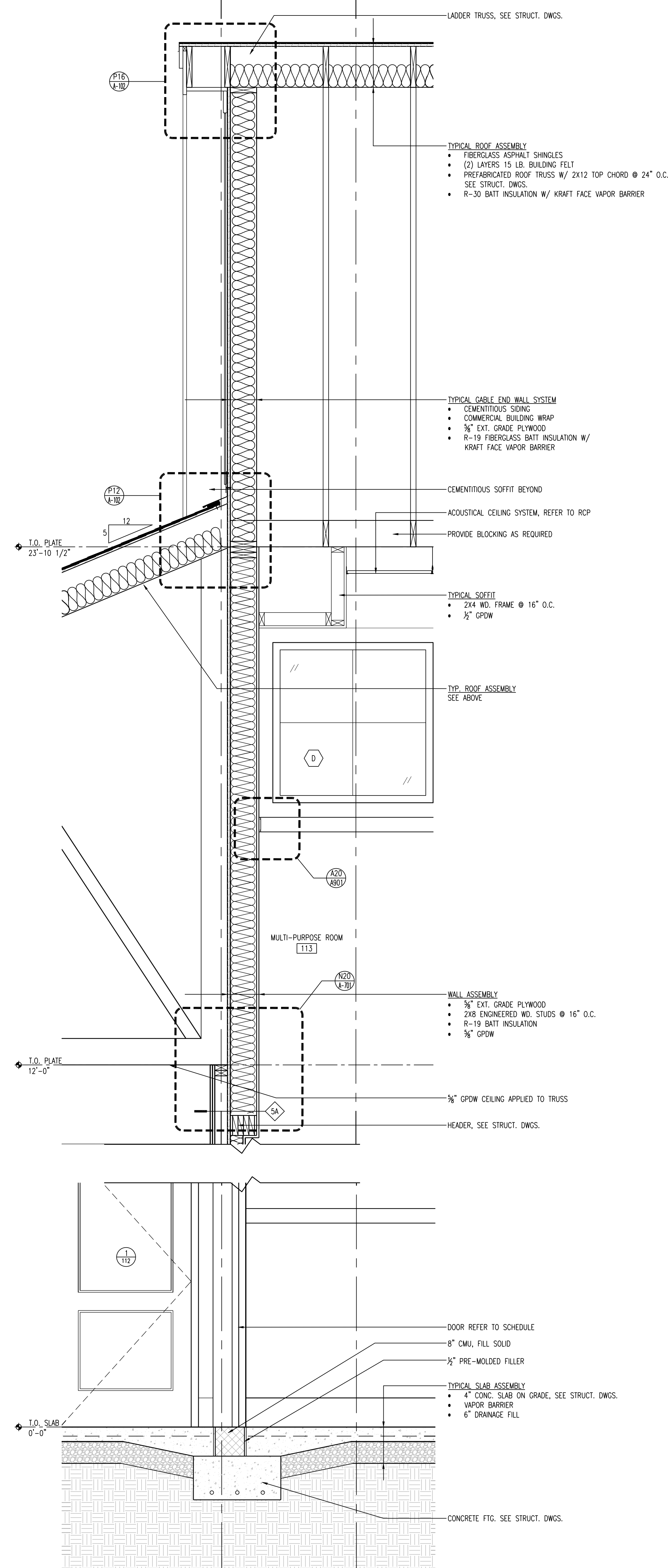
DRAWING NO.:  
**A-404**

CCH PROJECT NO.: 1833



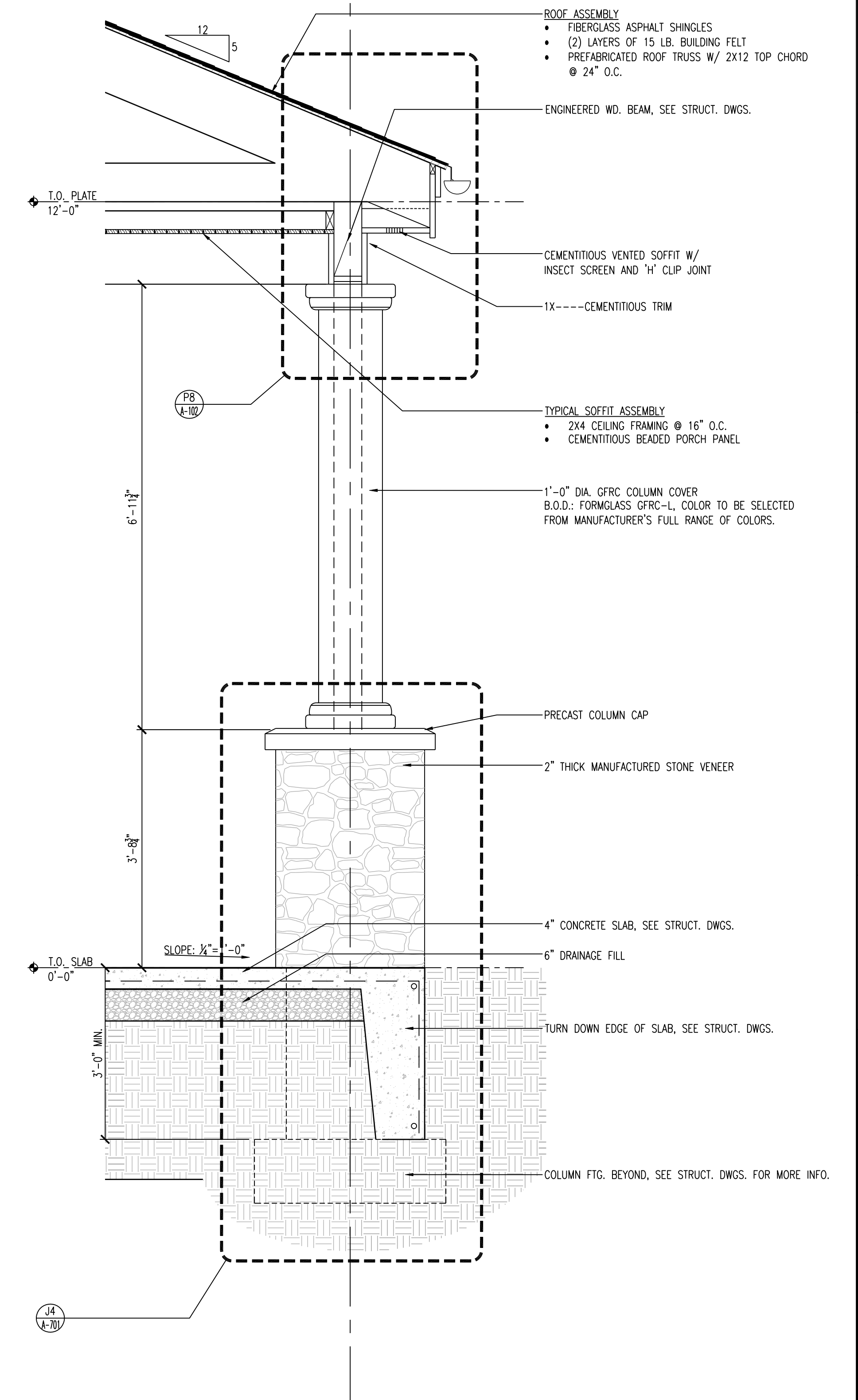
A20 DETAIL WALL SECTION

SCALE: 3/4" = 1'-0"



A13 DETAIL WALL SECTION

SCALE: 3/4" = 1'-0"



A6 DETAIL WALL SECTION

SCALE: 3/4" = 1'-0"

**Clarke Catton Hintz**  
Architecture  
Landscape Architecture  
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**OWNER:**  
Township of Lower Merion  
1100 Edgewood Road  
Yardley, PA 19067  
(267) 274-1100

**SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:**  
Brooker & Jarama, Inc.  
1456 Ferry Road, Building 500  
Doylesboro, PA 18001  
(215) 345-9400 www.bjengineers.com

**STRUCTURAL:**  
Holtzman-Hartnett, P.C.  
40 Knowles Street  
Pennington, NJ 08834  
(609) 815-1888 www.hjpcsa.com

**MEP / FF:**  
Holtzman-Hartnett, Inc.  
210 E. Street Road, Suite 2d  
Fleetville, PA 19033  
(215) 322-7711 www.holtzmanwhite.com

**SUBMISSIONS**

NO.	DATE	DESCRIPTION
1	3/4/2015	ISSUED FOR CONSTRUCTION

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NO.	DATE	DESCRIPTION
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**ARCHITECT**  
PA LICENSE NO. PA-014857-B  
GEORGE M. HEBBS, AIA  
DATE

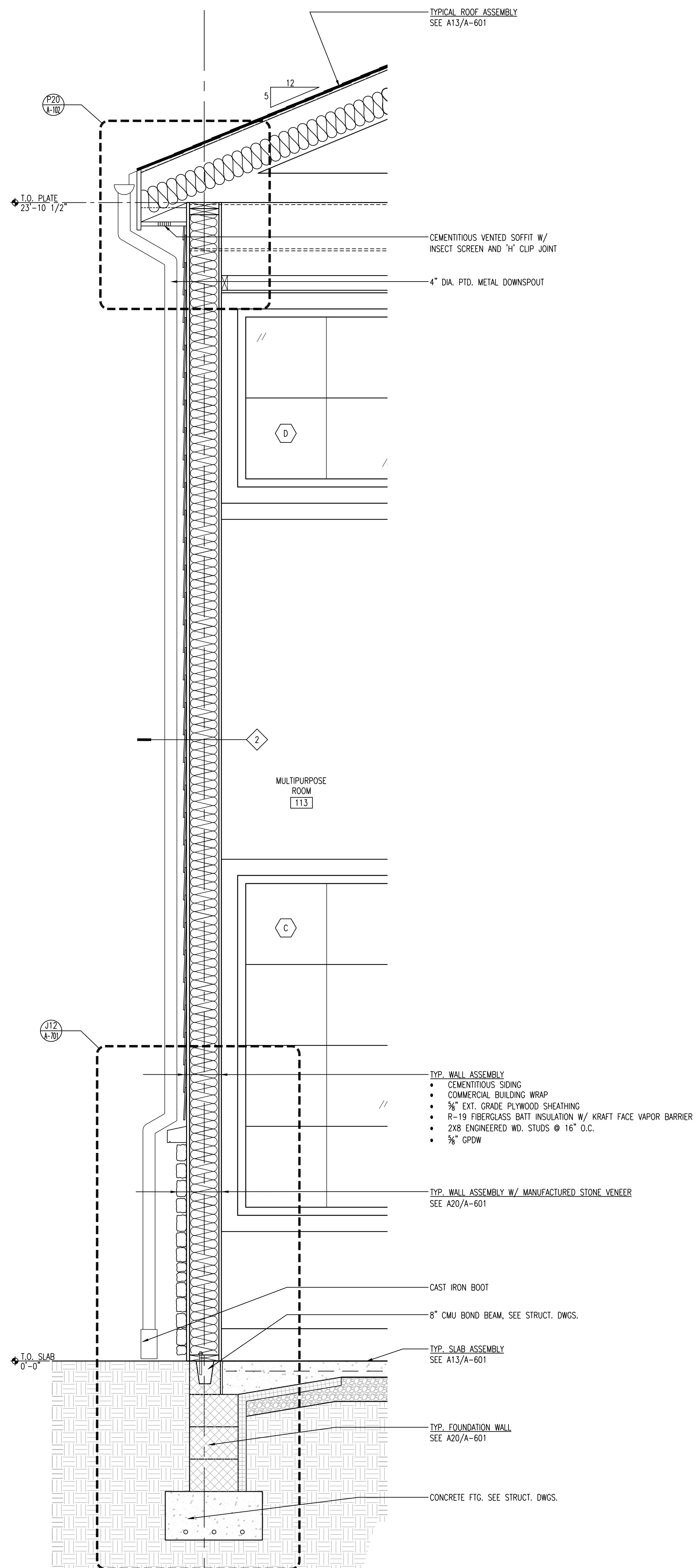
**Lower Merion Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

**DATE:** 3/4/2015  
**SCALE:** AS NOTED  
**DRAWN BY:** TR, ER  
**CHECKED BY:** MJH, GH

**SHEET TITLE:**  
WALL SECTIONS

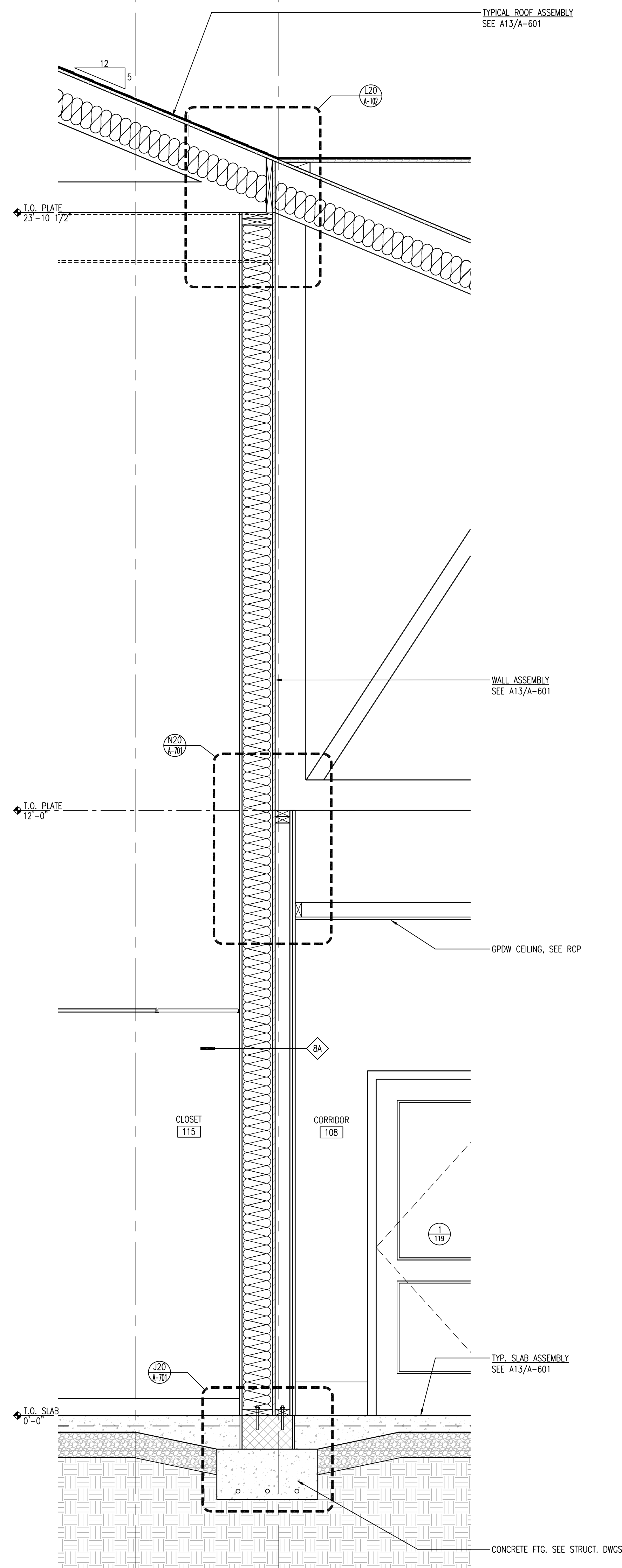
**DRAWING NO.:**  
A-601

**CCH PROJECT NO.:** 1833



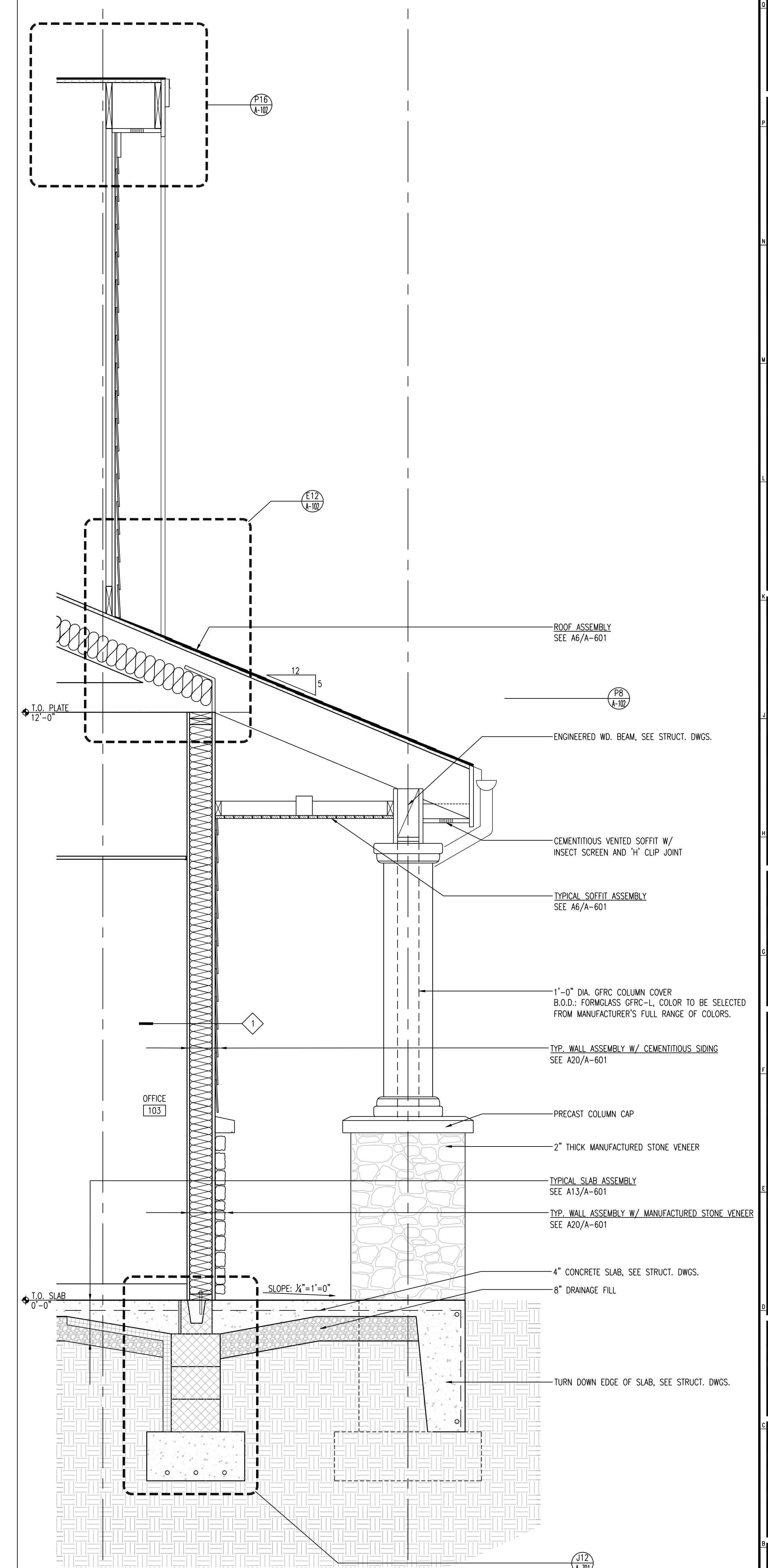
A20 DETAIL WALL SECTION

SCALE: 3/4" = 1'-0"



A13 DETAIL WALL SECTION

SCALE: 3/4" = 1'-0"



A6 DETAIL WALL SECTION

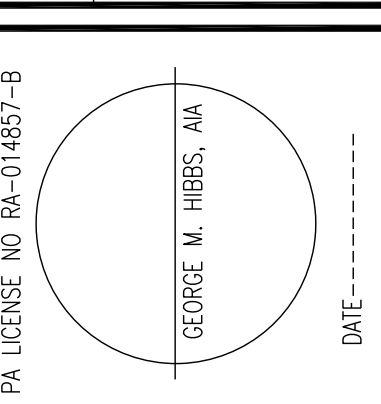
SCALE: 3/4" = 1'-0"

SUBMISSIONS

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REVISIONS

NO.	DATE	DESCRIPTION
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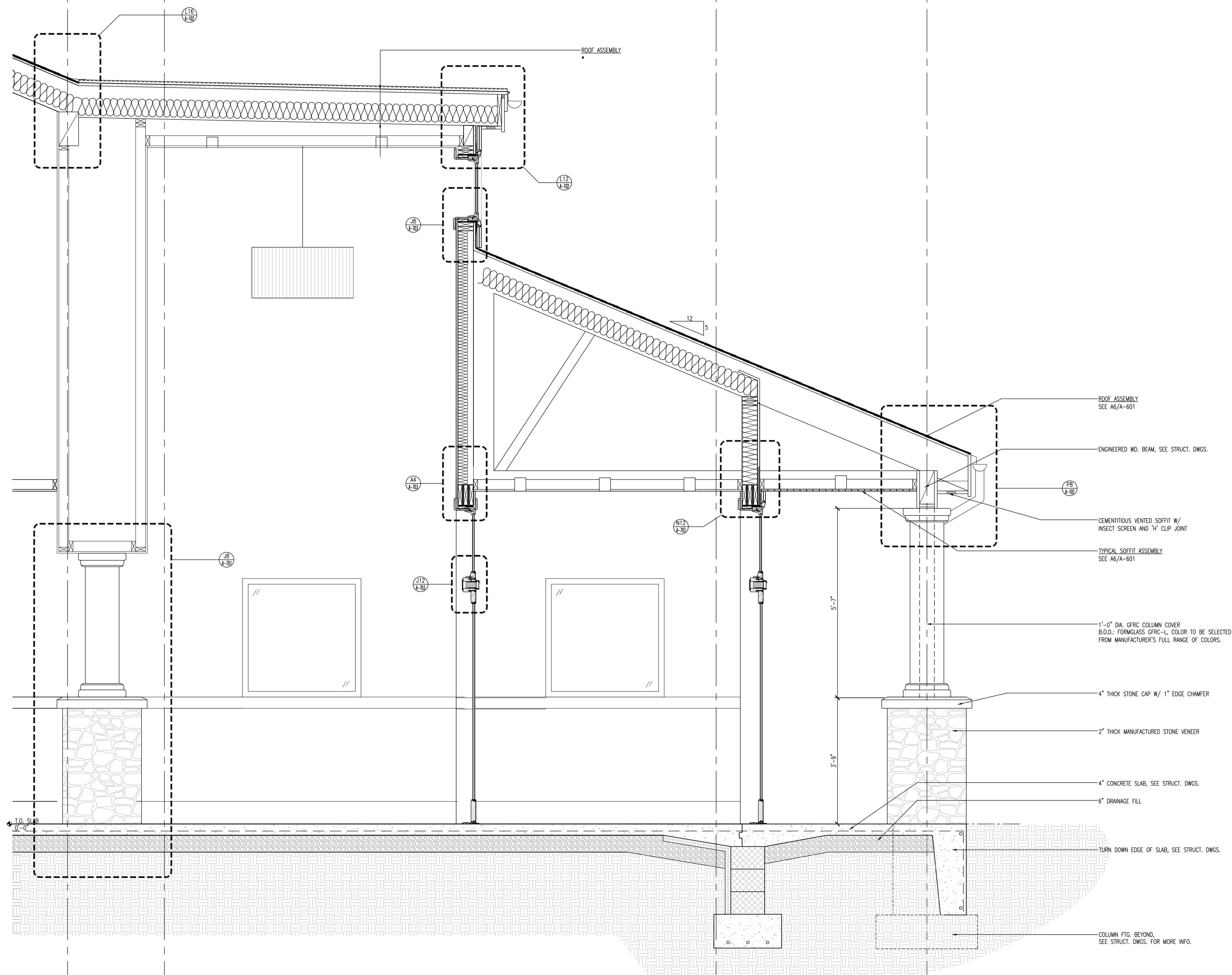
**Lower Merion  
Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/4/2015  
SCALE: AS NOTED  
DRAWN BY: TR, ER  
CHECKED BY: MJH, GH

SHEET TITLE:  
**WALL SECTIONS**

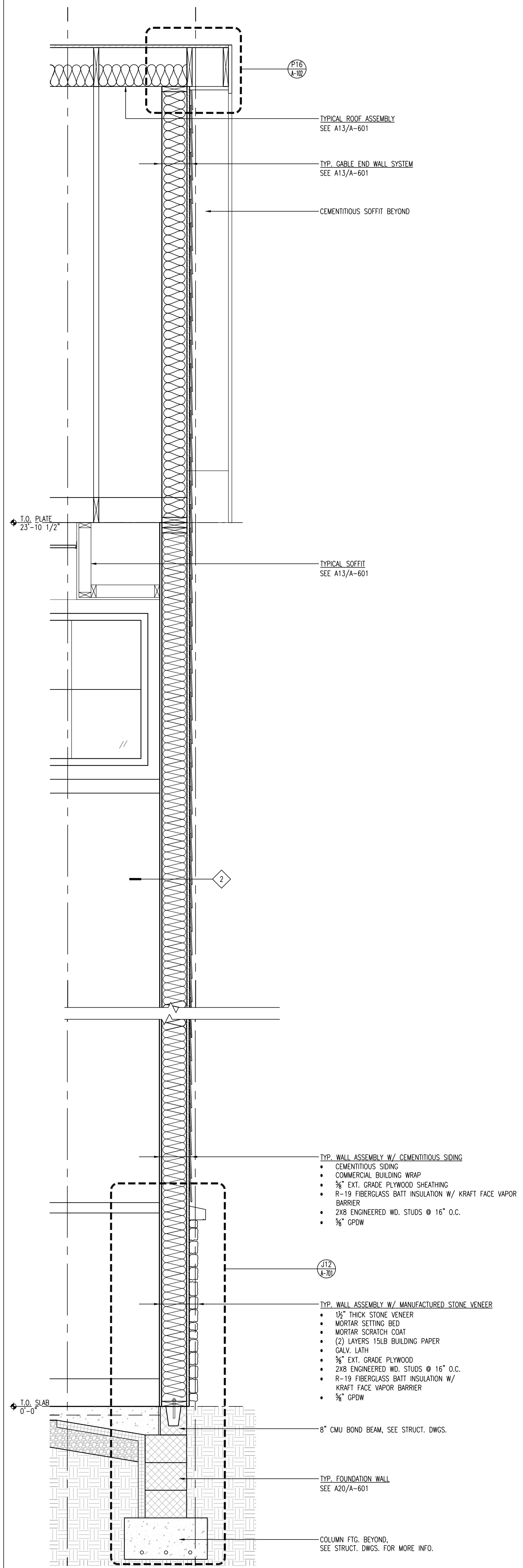
DRAWING NO.:  
**A-602**

CCH PROJECT NO: 1833



A20 DETAIL WALL SECTION

SCALE: 3/4" = 1'-0"



A4 DETAIL WALL SECTION

SCALE: 3/4" = 1'-0"

**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
 Drawing Copyright © 2015, Clarke Catton Hintz, P.C.  
 100 Barred Street  
 York, PA 17403  
 Tel: (717) 833-8345  
 www.clarkecattonhintz.com

**OWNER:**  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

**SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:**  
 Brooker & Jarama, Inc.  
 1656 Fairy Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengineers.com

**STRUCTURAL:**  
 Hamilton-Harrett, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 815-1888 www.hjpcosa.com

**MEP / FF:**  
 Holsman White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7711 www.holsmanwhite.com

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**REVISIONS**

NO.	DATE	DESCRIPTION
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**ARCHITECT:**  
 PA LICENSE NO. PA-014857-B  
 GEORGE M. HEBBS, AIA  
 DATE: \_\_\_\_\_

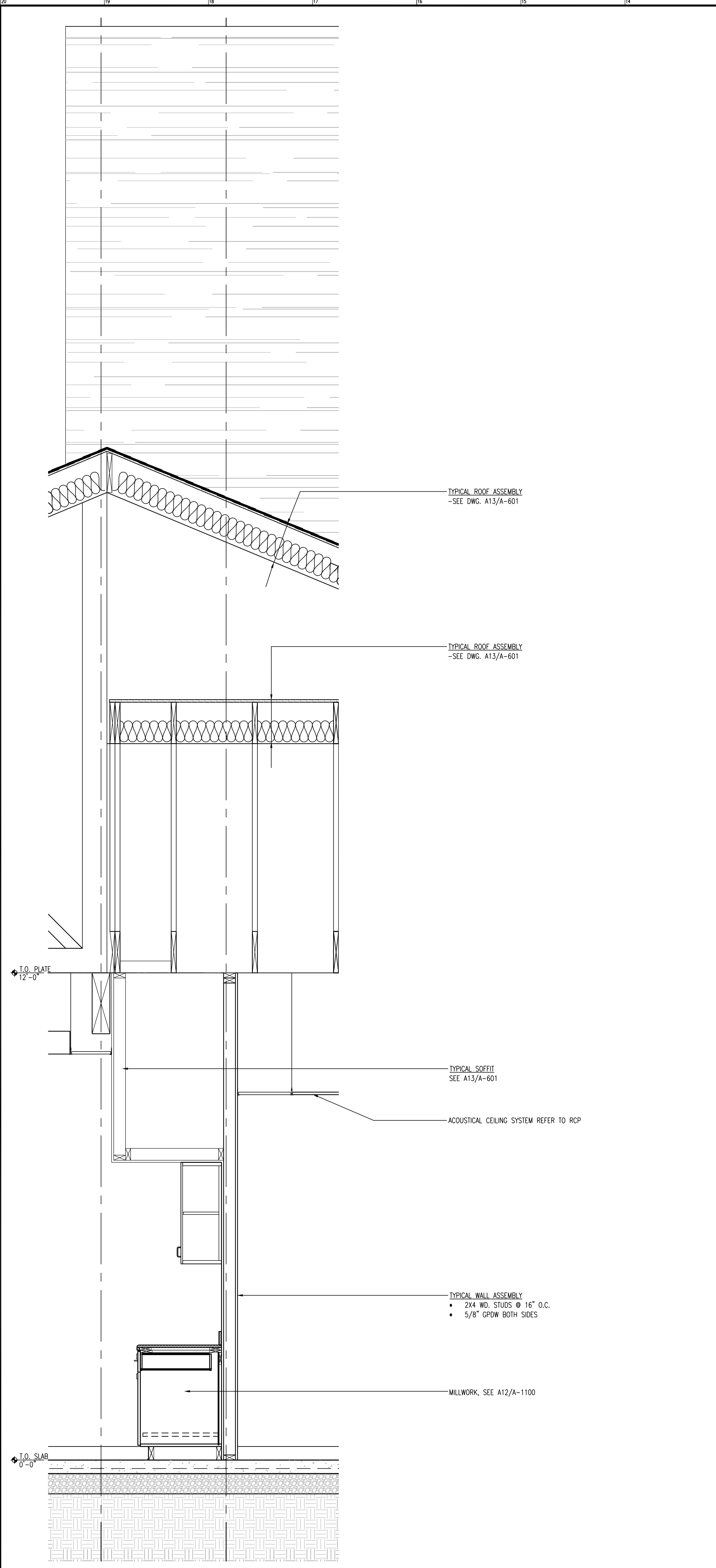
**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

**DATE:** 3/4/2015  
**SCALE:** AS NOTED  
**DRAWN BY:** TR, ER  
**CHECKED BY:** MJH, GH

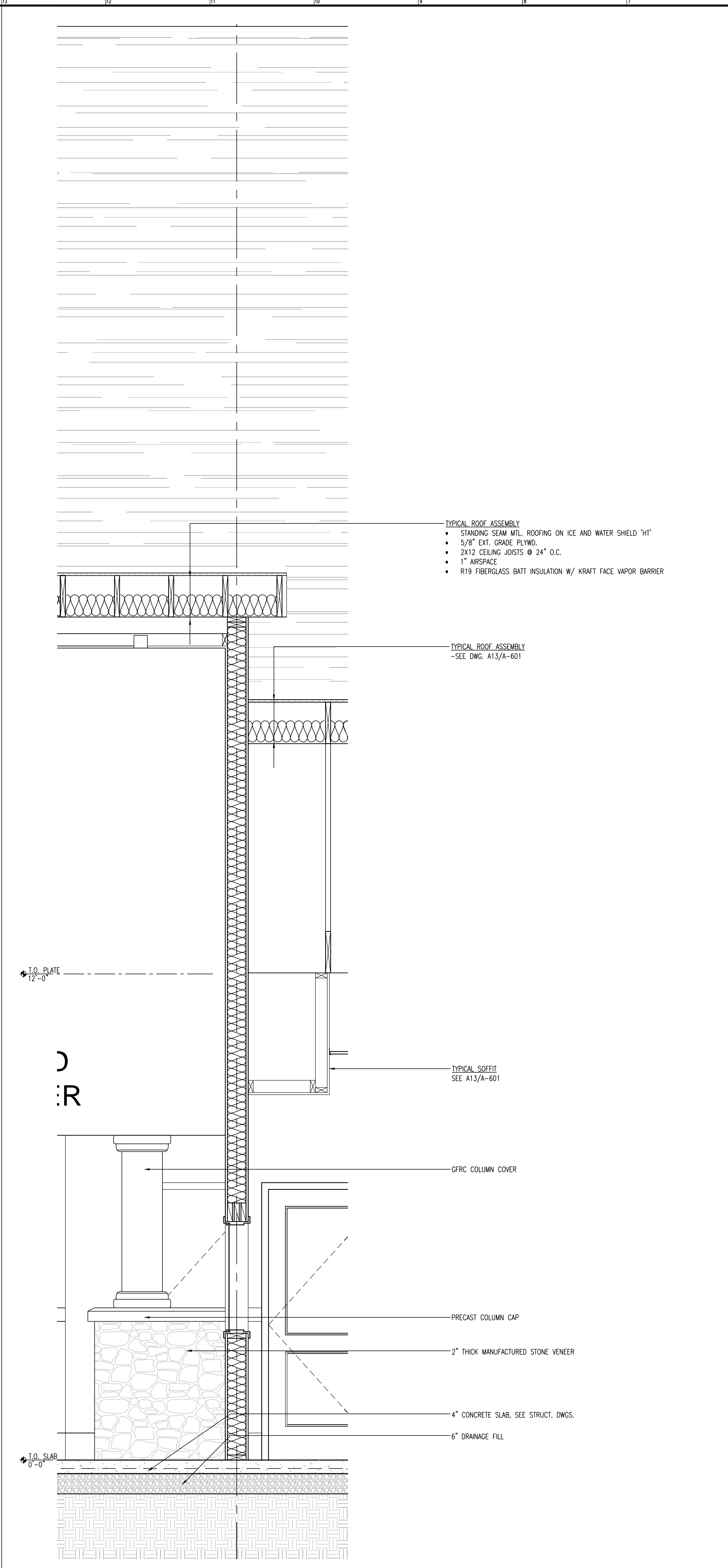
**SHEET TITLE:**  
 WALL SECTIONS

**DRAWING NO.:**  
 A-603

CCH PROJECT NO: 1833



**A20 DETAIL WALL SECTION**  
SCALE: 3/4" = 1'-0"



**A13 DETAIL WALL SECTION**  
SCALE: 3/4" = 1'-0"

**Clarke Caton Hintz**  
Architecture  
Landscape Architecture  
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100 Barred Street  
Yardley, PA 19087  
Tel: (215) 837-9395  
www.clarkecatonhintz.com

**OWNER:**  
Township of Lower Makefield  
1100 Edgewood Road  
Yardley, PA 19087  
(215) 274-1100

**SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:**  
Boucher & Jervis, Inc.  
1456 Ferry Road, Building 500  
Doylesboro, PA 18001  
(215) 345-9400 www.bjengr.com

**STRUCTURAL:**  
Harrison-Hammett, P.C.  
40 Knoxville Street  
Perkasie, NJ 08854  
(609) 815-1888 www.hjpcsa.com

**MEP / FF:**  
Hickstein White, Inc.  
210 E. Street Road, Suite 2d  
Fleetville, PA 19033  
(215) 522-7711 www.hicksteinwhite.com

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**REVISIONS**

NO.	DATE	DESCRIPTION

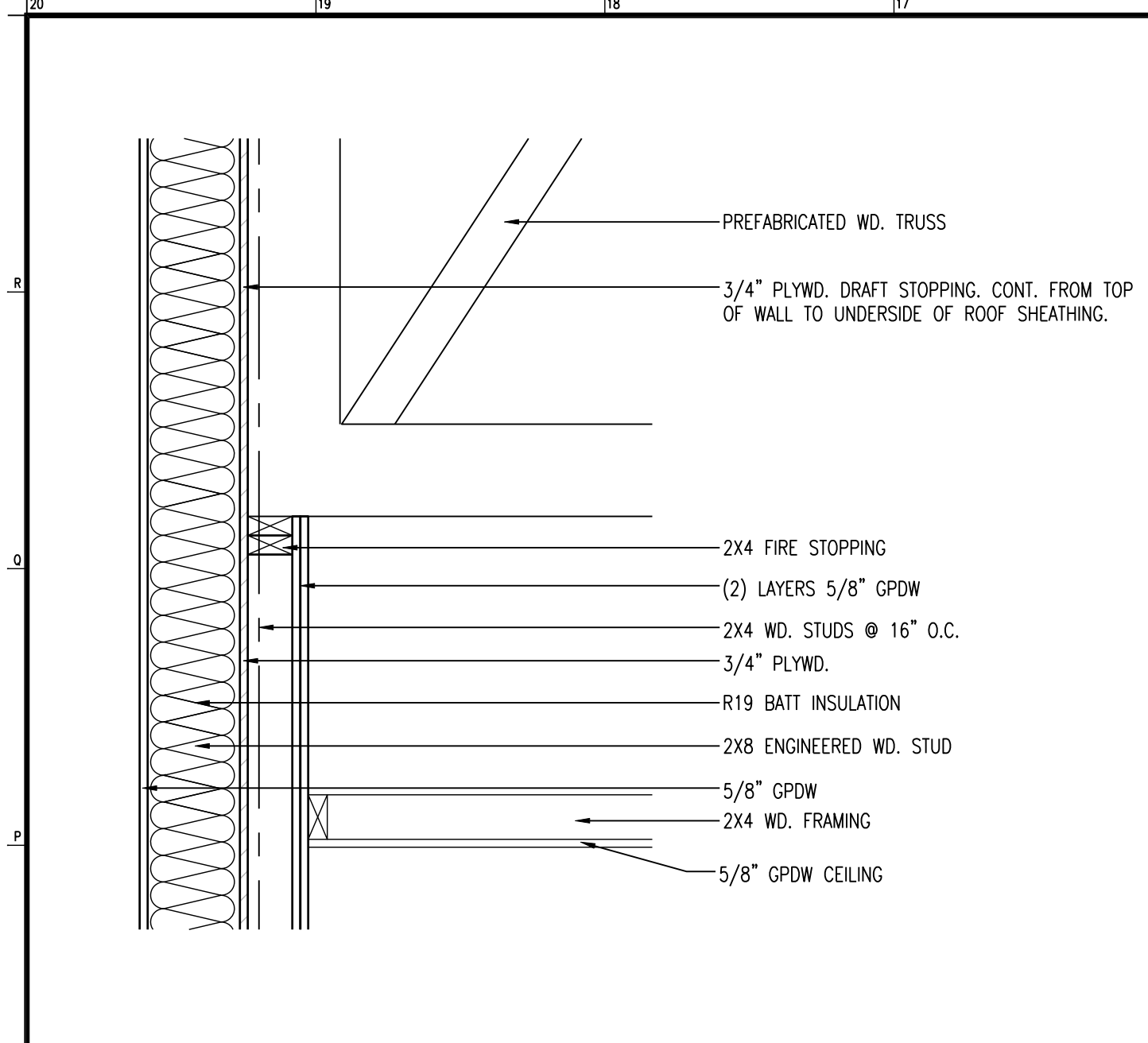
ARCHITECT  
PA LICENSE NO. RA-014857-B  
GEORGE M. HEBBS, AIA  
DATE

**Lower Makefield  
Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

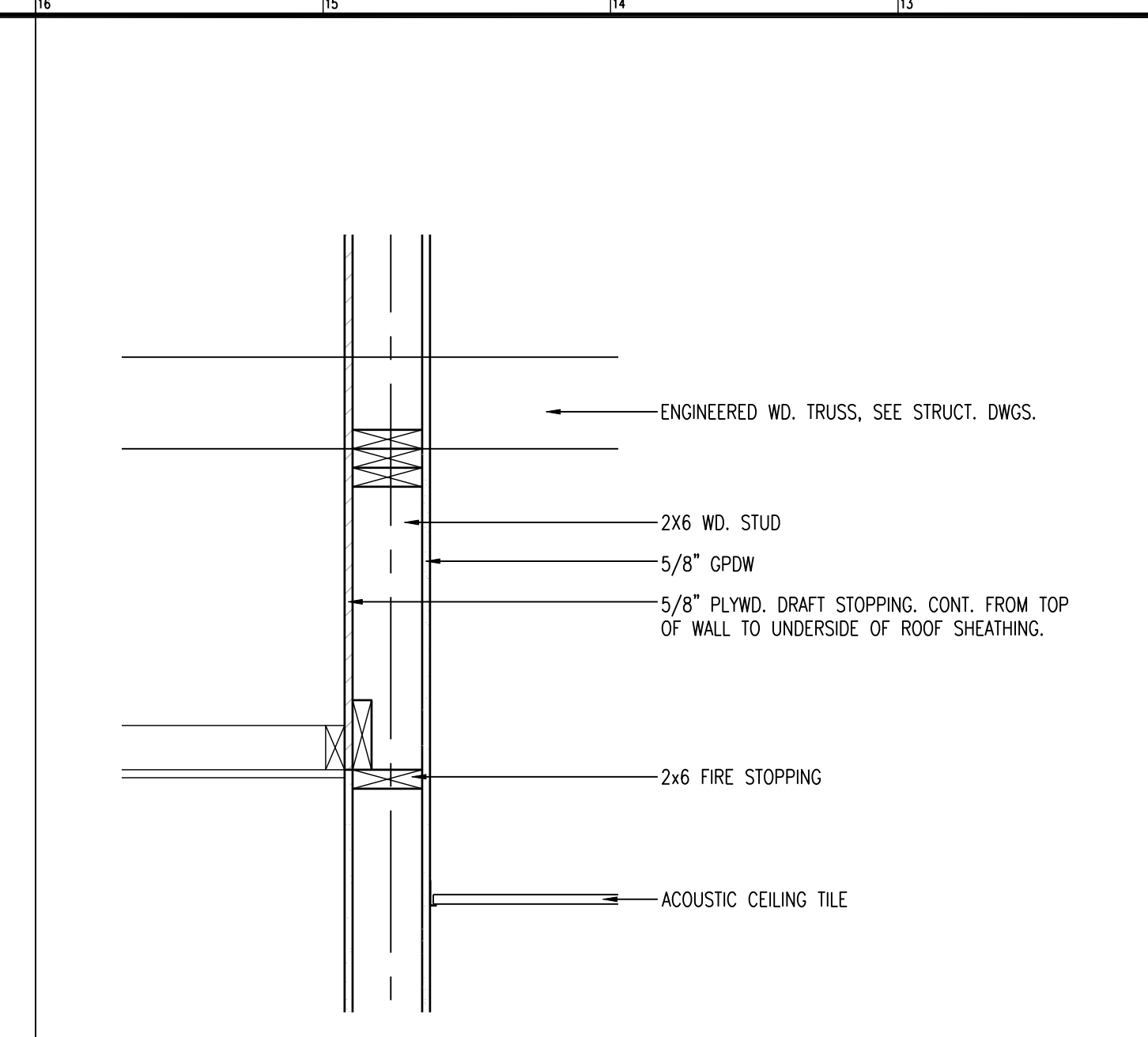
DATE: 3/4/2015  
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DRAWN BY: TR, ER  
CHECKED BY: MJH, GH

SHEET TITLE:  
**WALL SECTIONS**

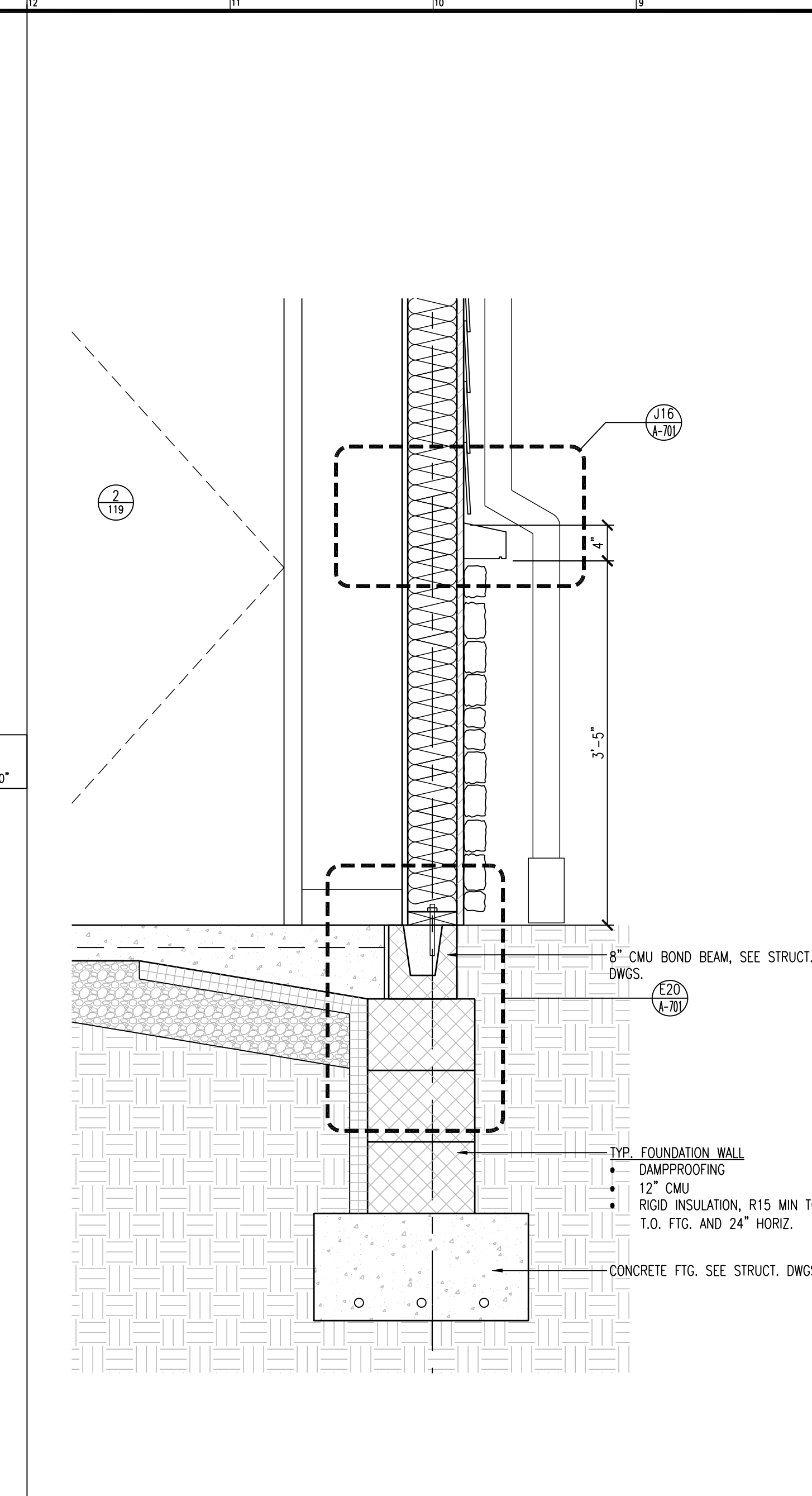
DRAWING NO.:  
**A-604**  
CCH PROJECT NO.: 1833



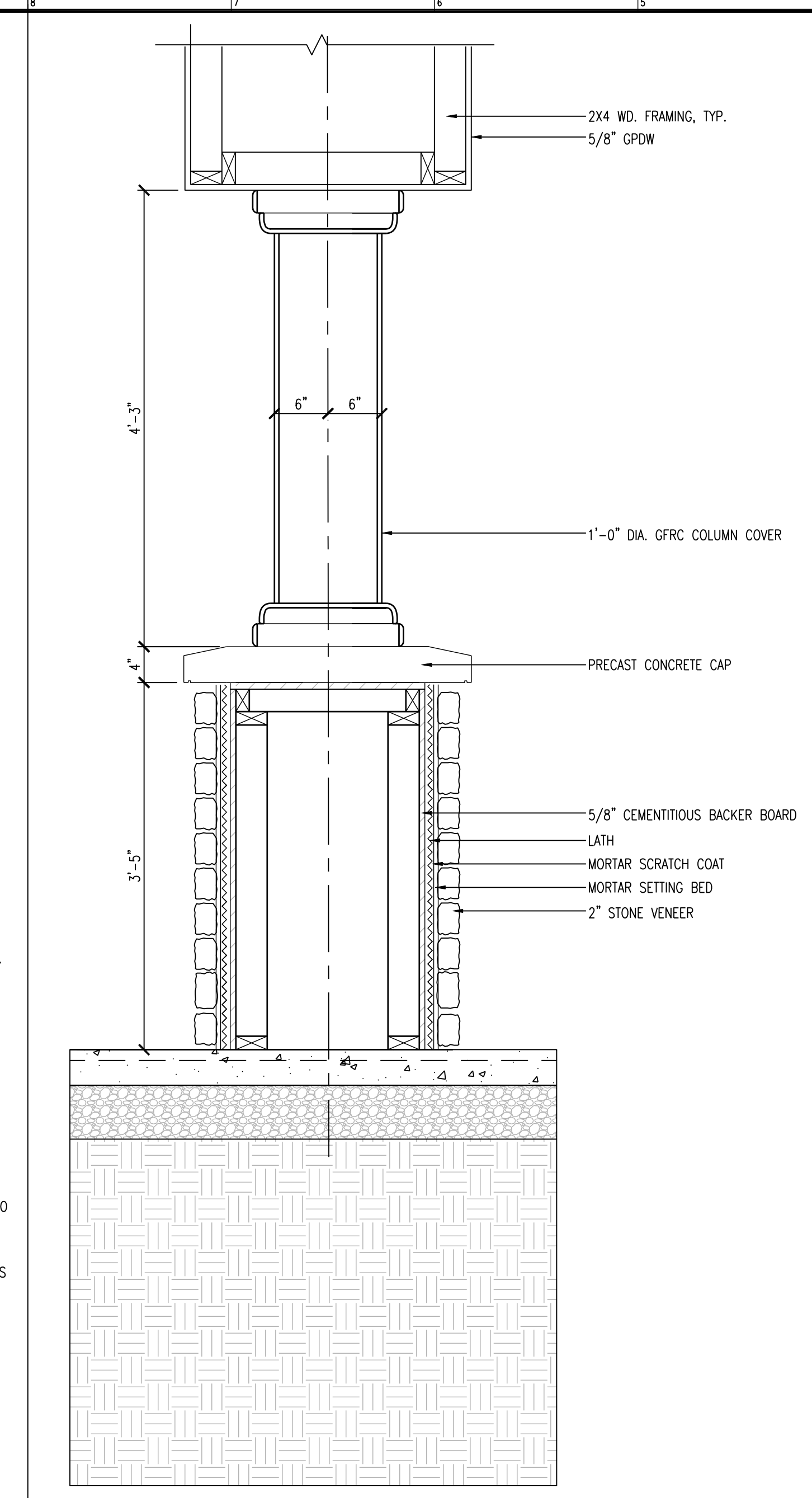
N20 CORRIDOR CEILING DETAIL SCALE: 1" = 1'-0"



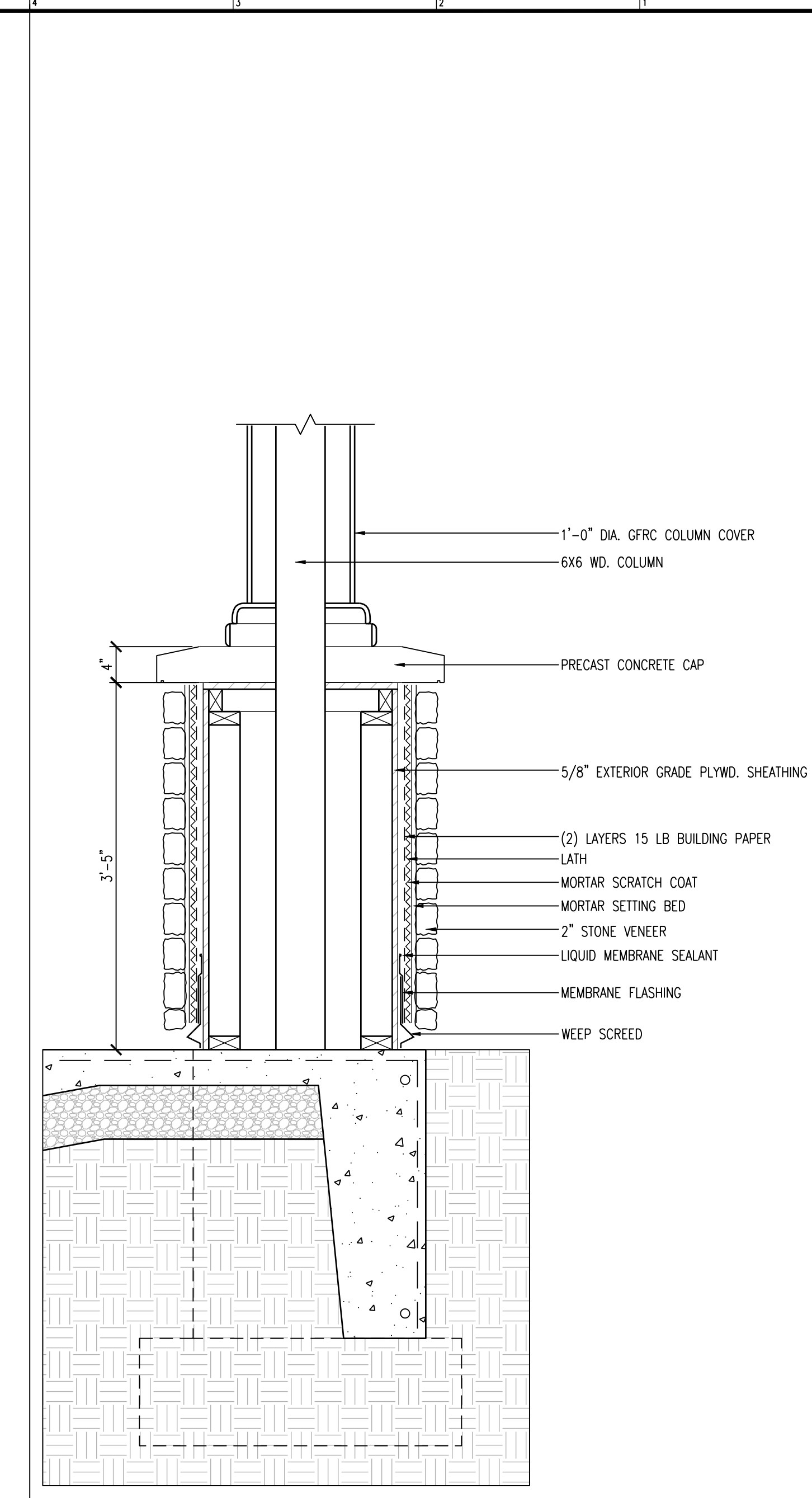
N16 CORRIDOR CEILING DETAIL SCALE: 1" = 1'-0"



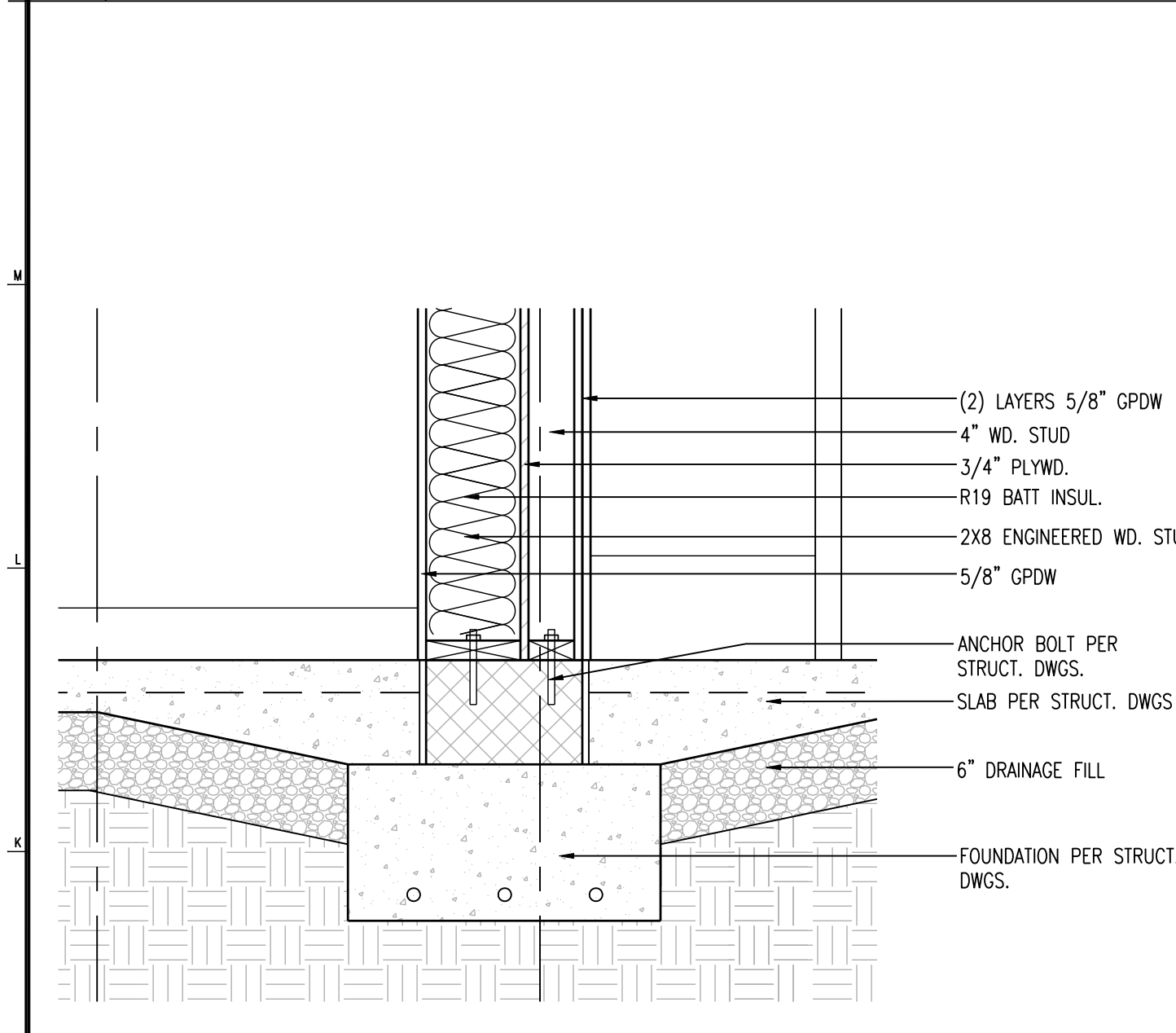
J12 TYPICAL FOUNDATION DETAIL SCALE: 1" = 1'-0"



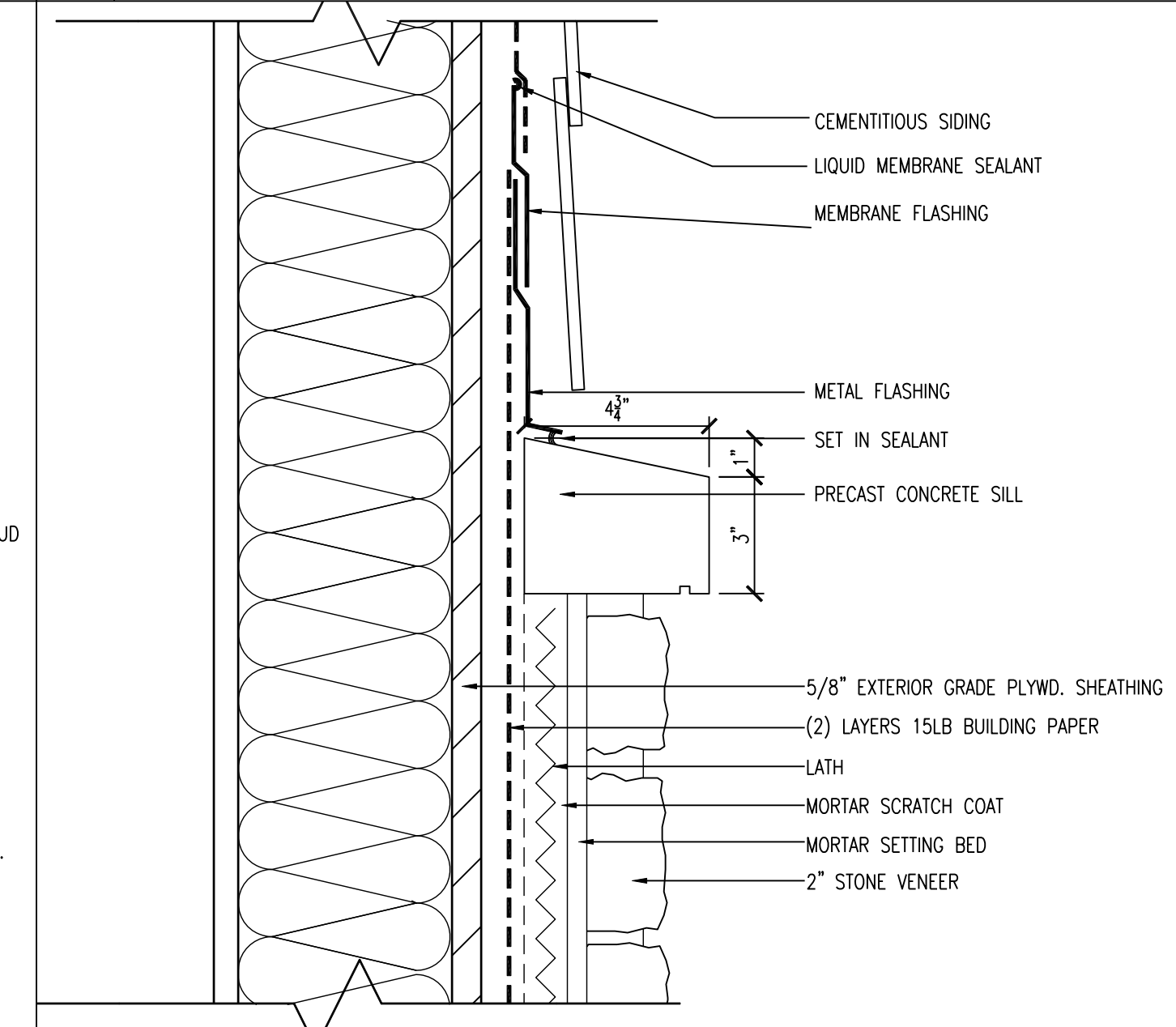
J8 DETAIL @ INTERIOR COLUMN SCALE: 1" = 1'-0"



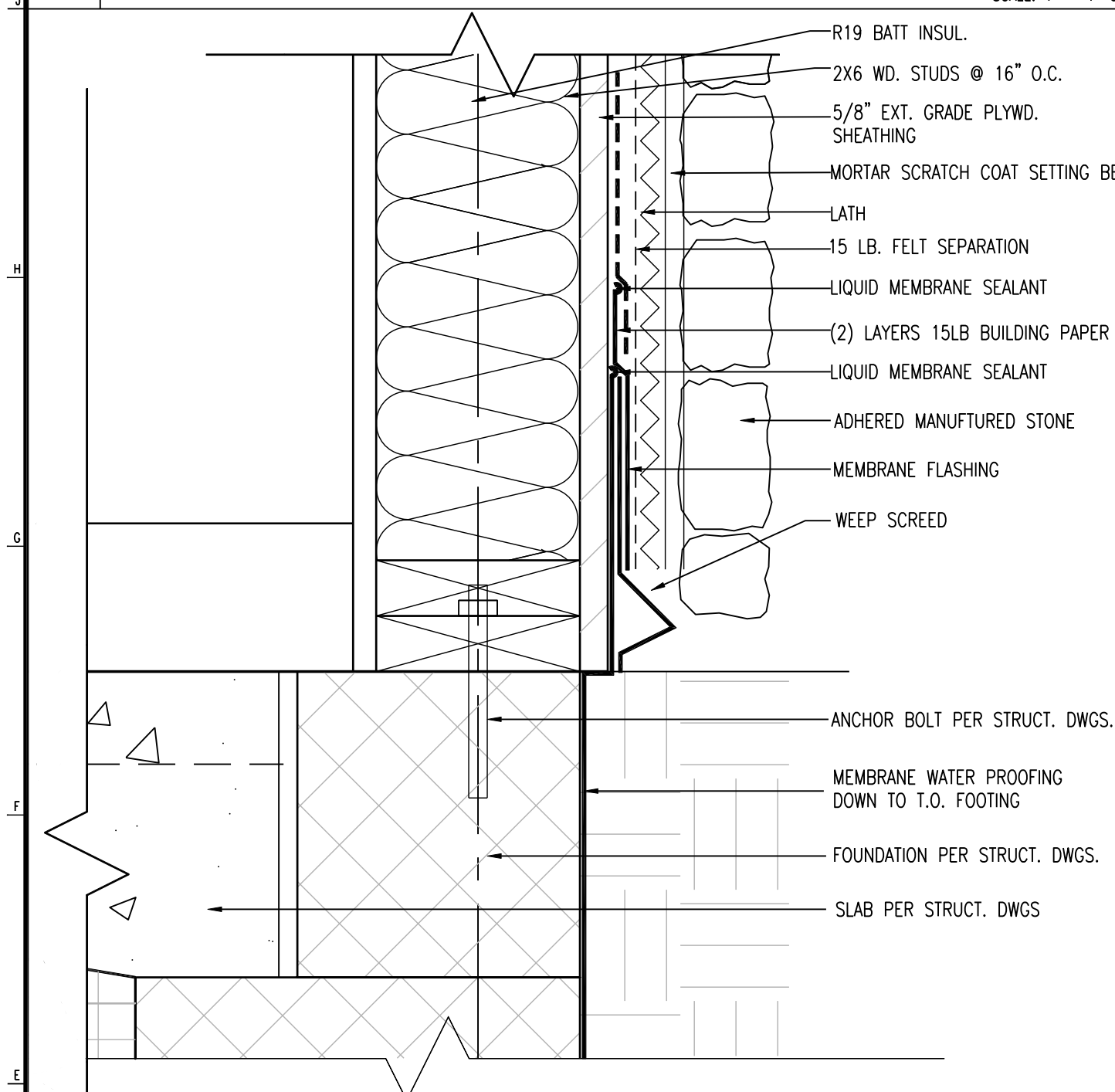
J4 DETAIL @ EXTERIOR COLUMN SCALE: 1" = 1'-0"



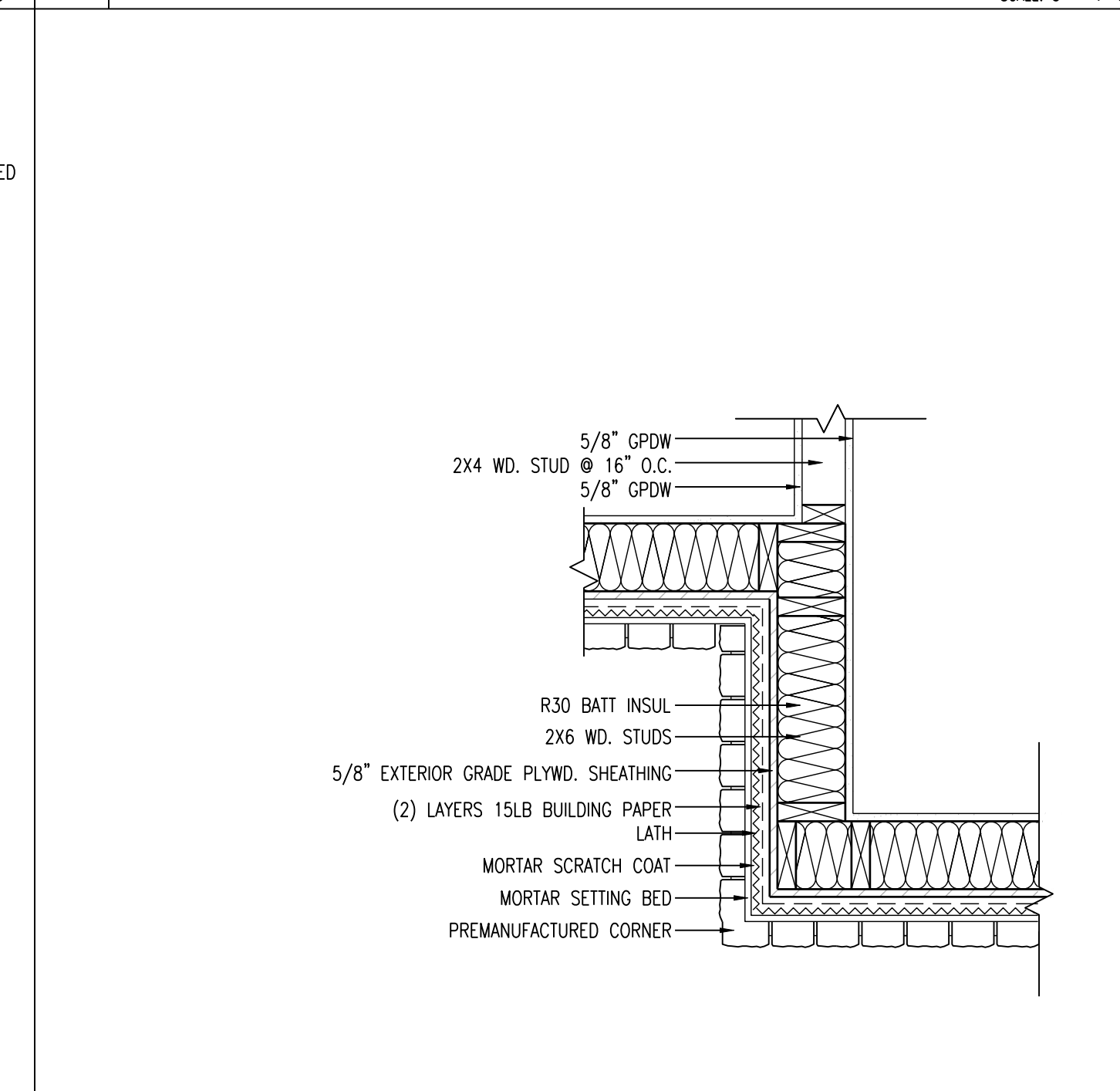
J20 FOUNDATION DETAIL SCALE: 1" = 1'-0"



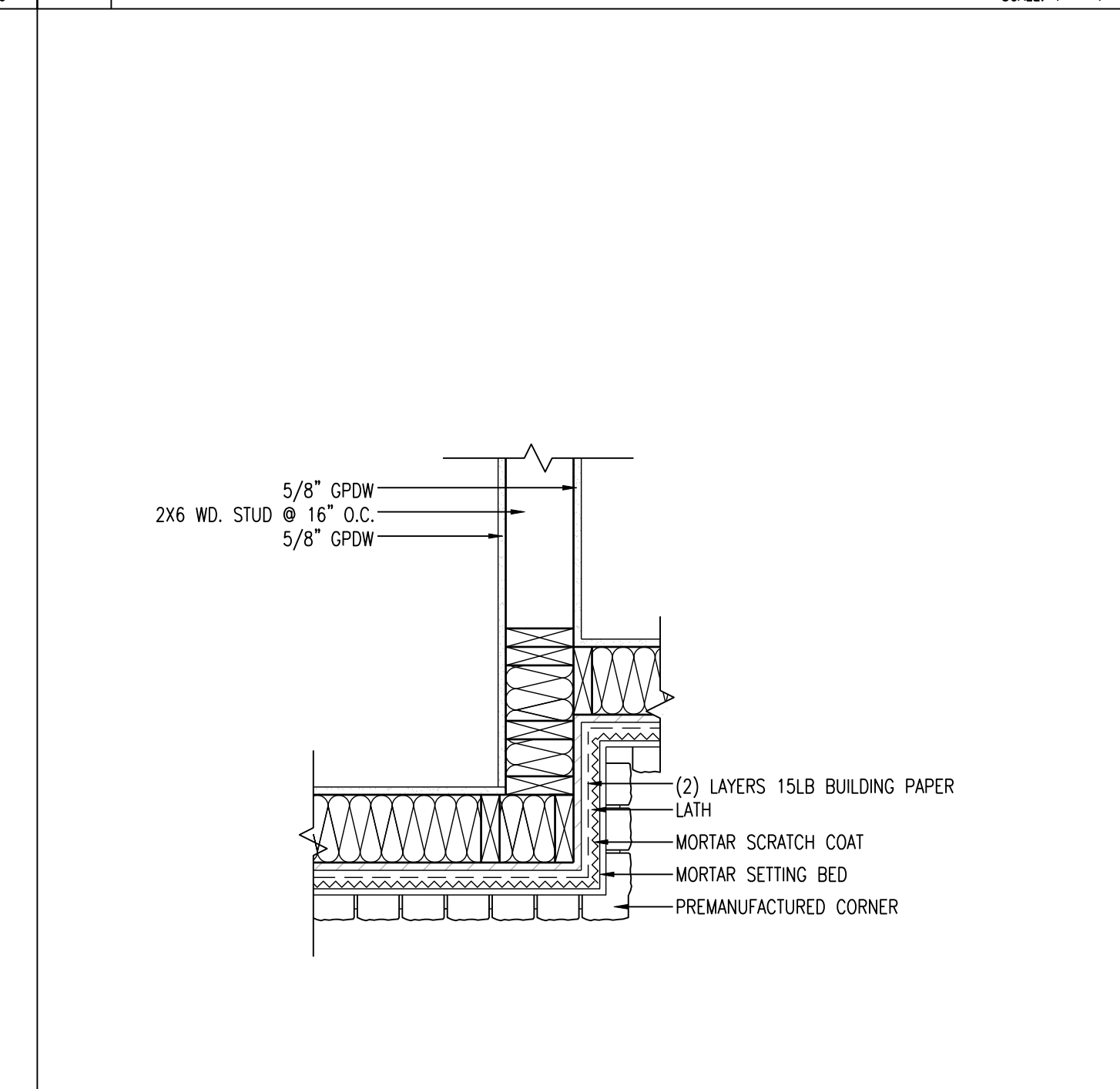
J16 CAST STONE SILL DETAIL SCALE: 3" = 1'-0"



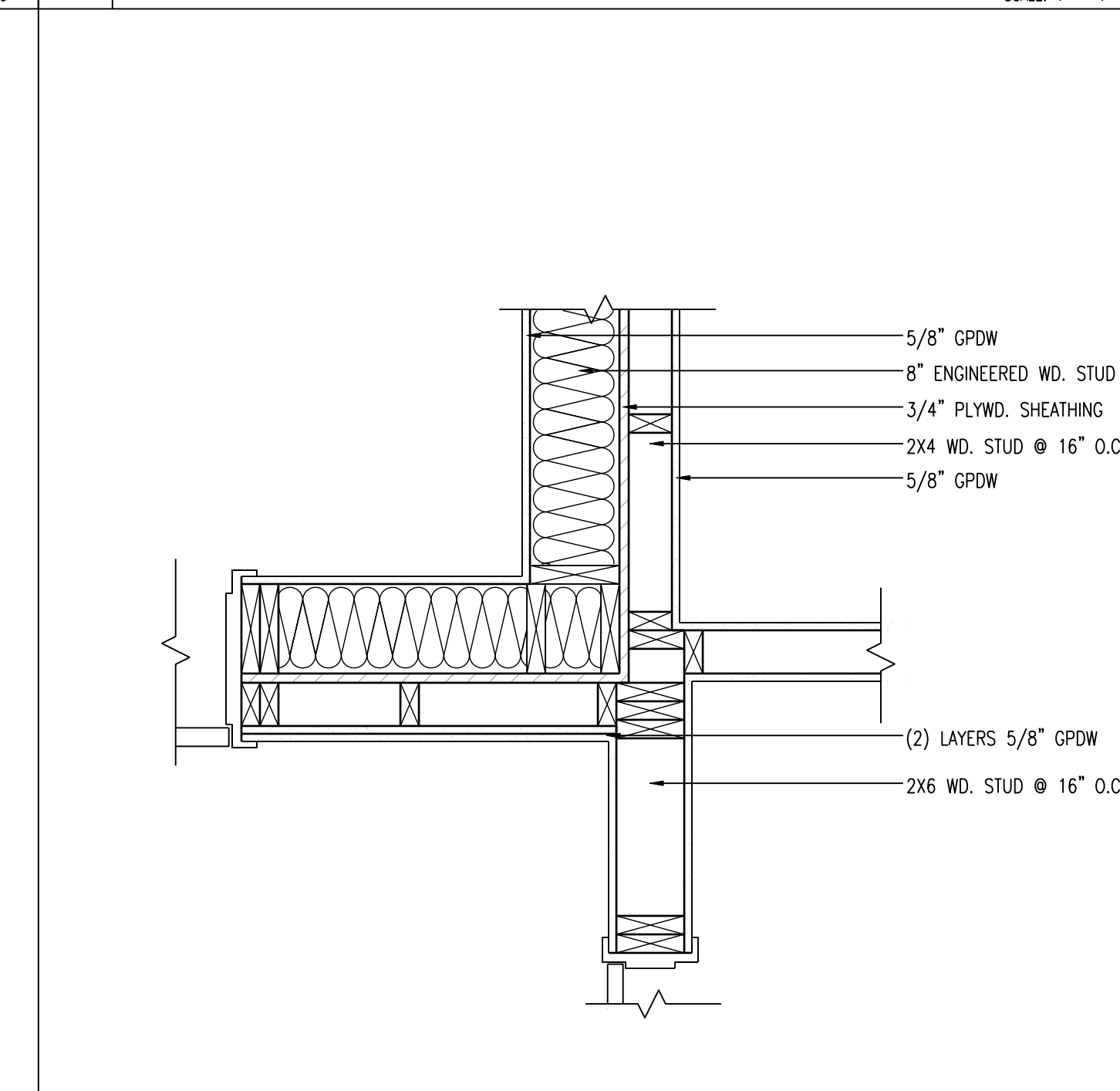
E20 STONE VENEER WEEP DETAIL SCALE: 3" = 1'-0"



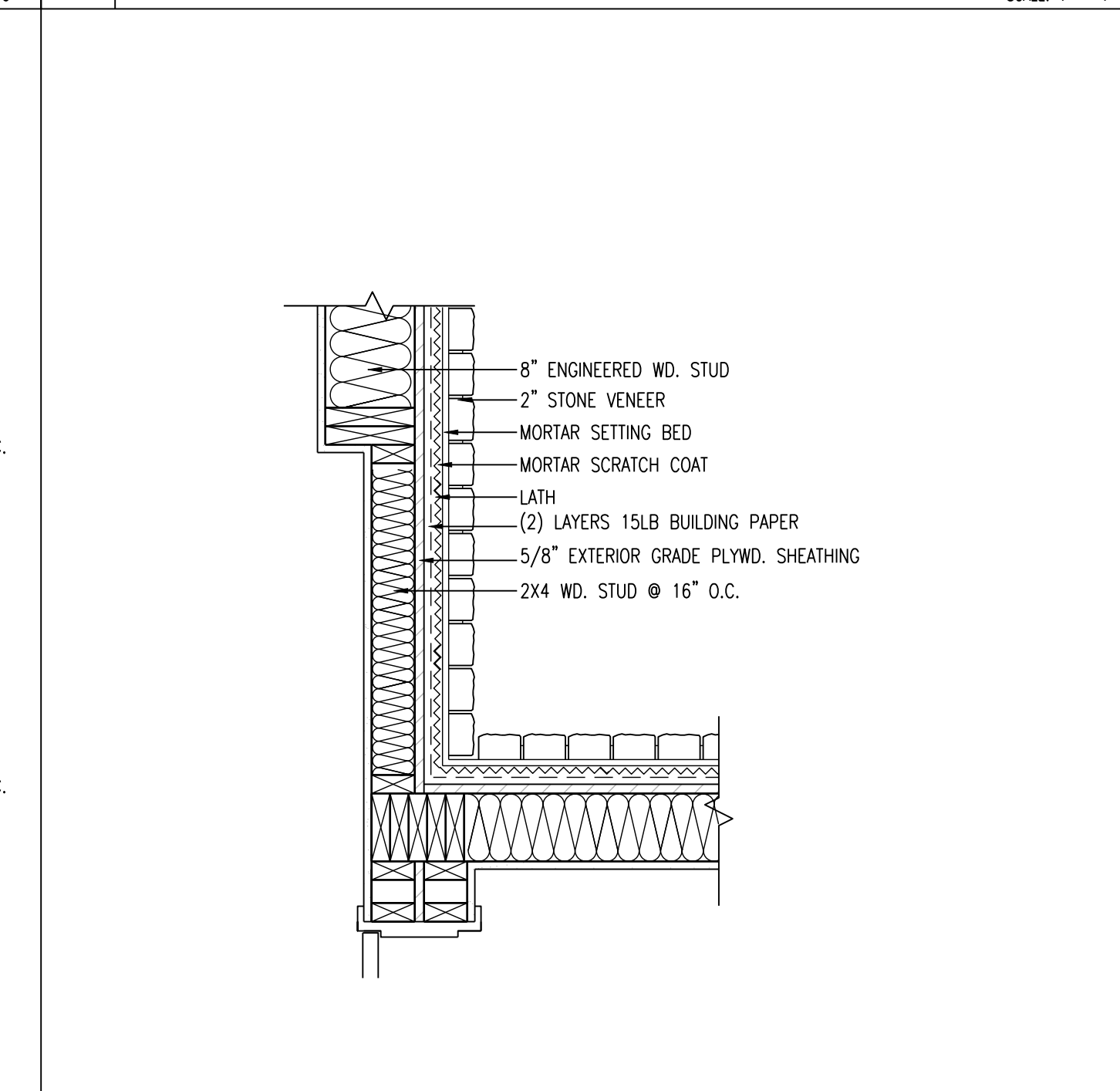
E16 OUTSIDE / INSIDE CORNER DETAIL SCALE: 1" = 1'-0"



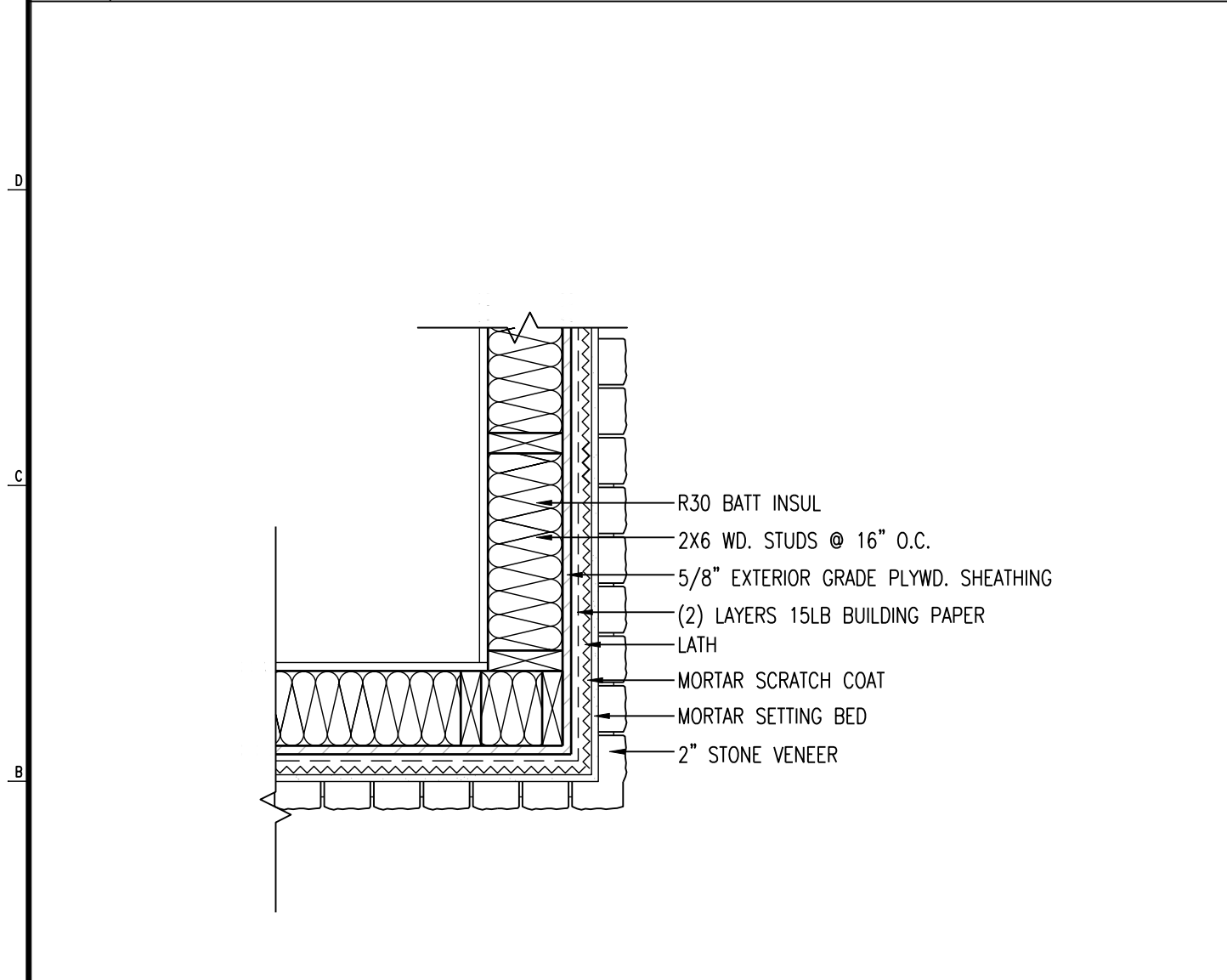
E12 OUTSIDE / INSIDE CORNER DETAIL SCALE: 1" = 1'-0"



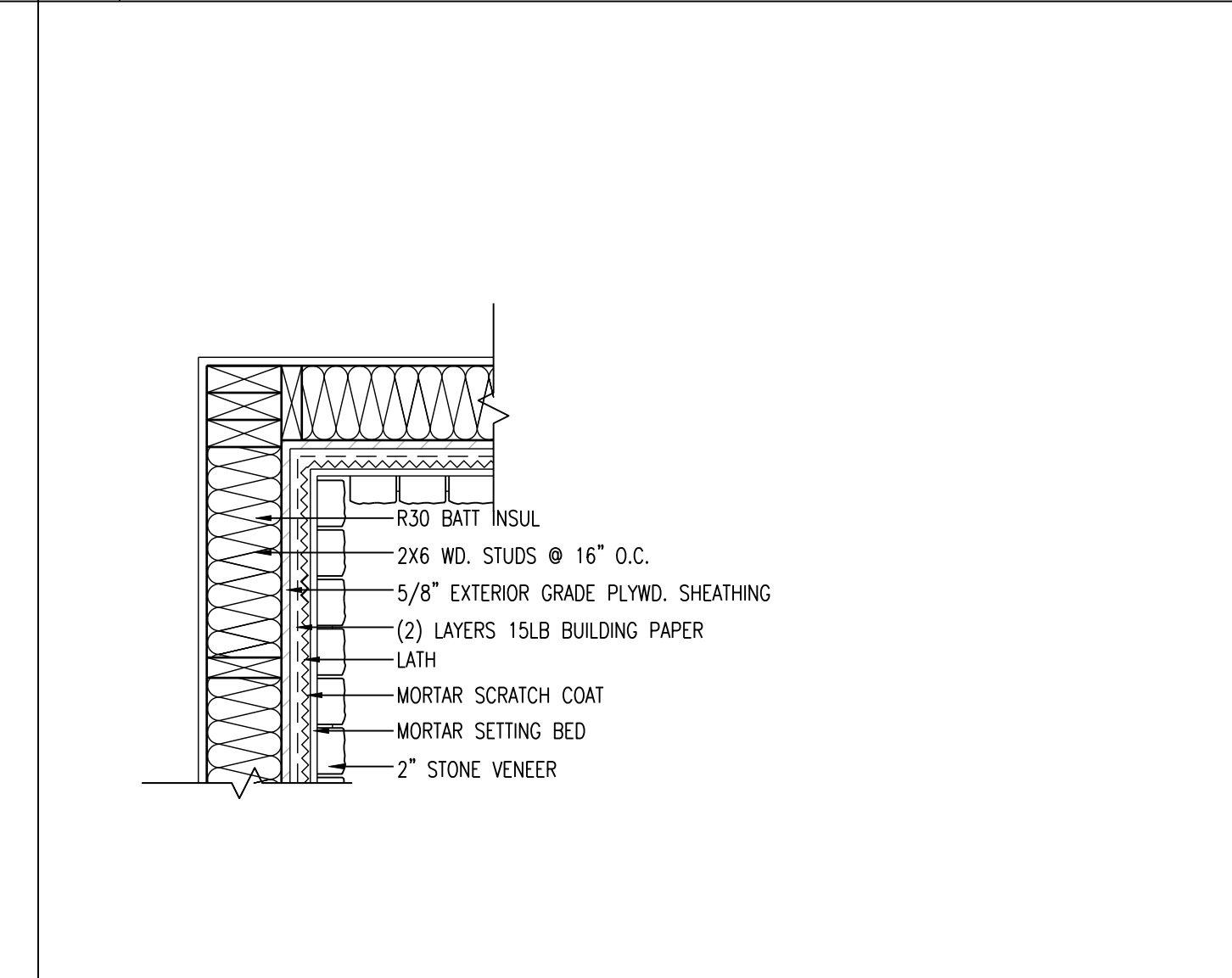
E8 INSIDE CORNER DETAIL @ MULTI-PURPOSE RM SCALE: 1" = 1'-0"



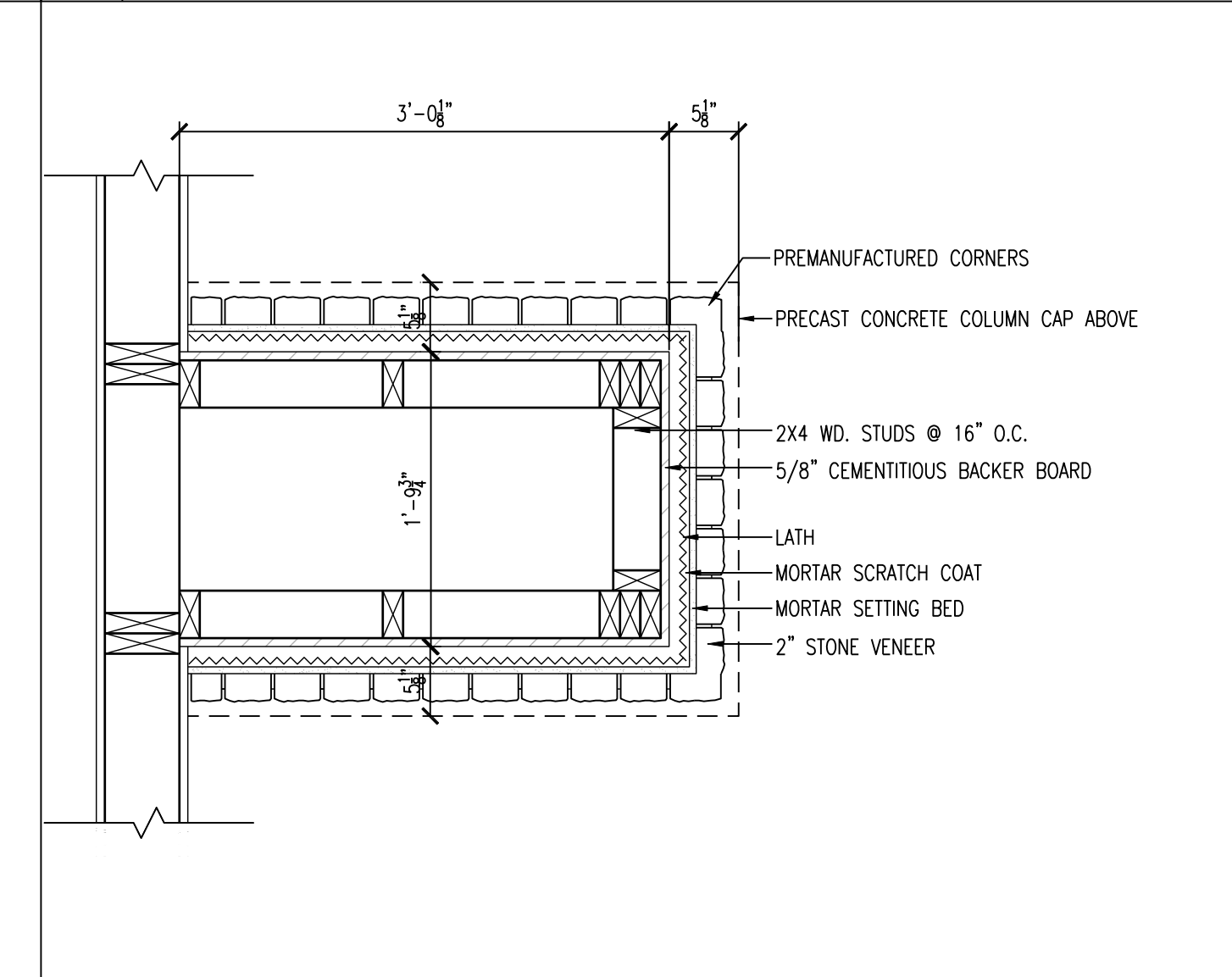
E4 INSIDE CORNER DETAIL SCALE: 1" = 1'-0"



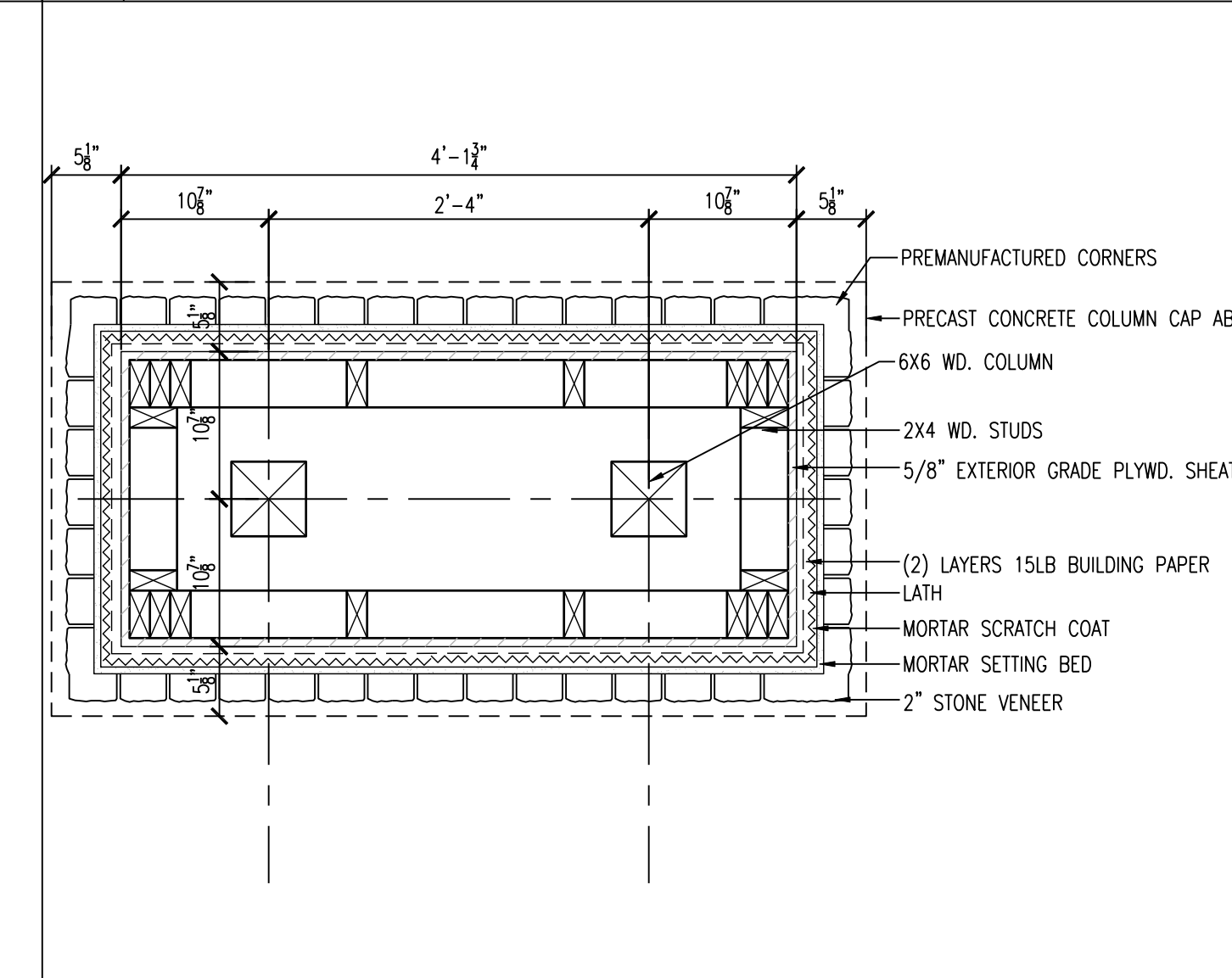
A20 TYPICAL INSIDE CORNER SCALE: 1" = 1'-0"



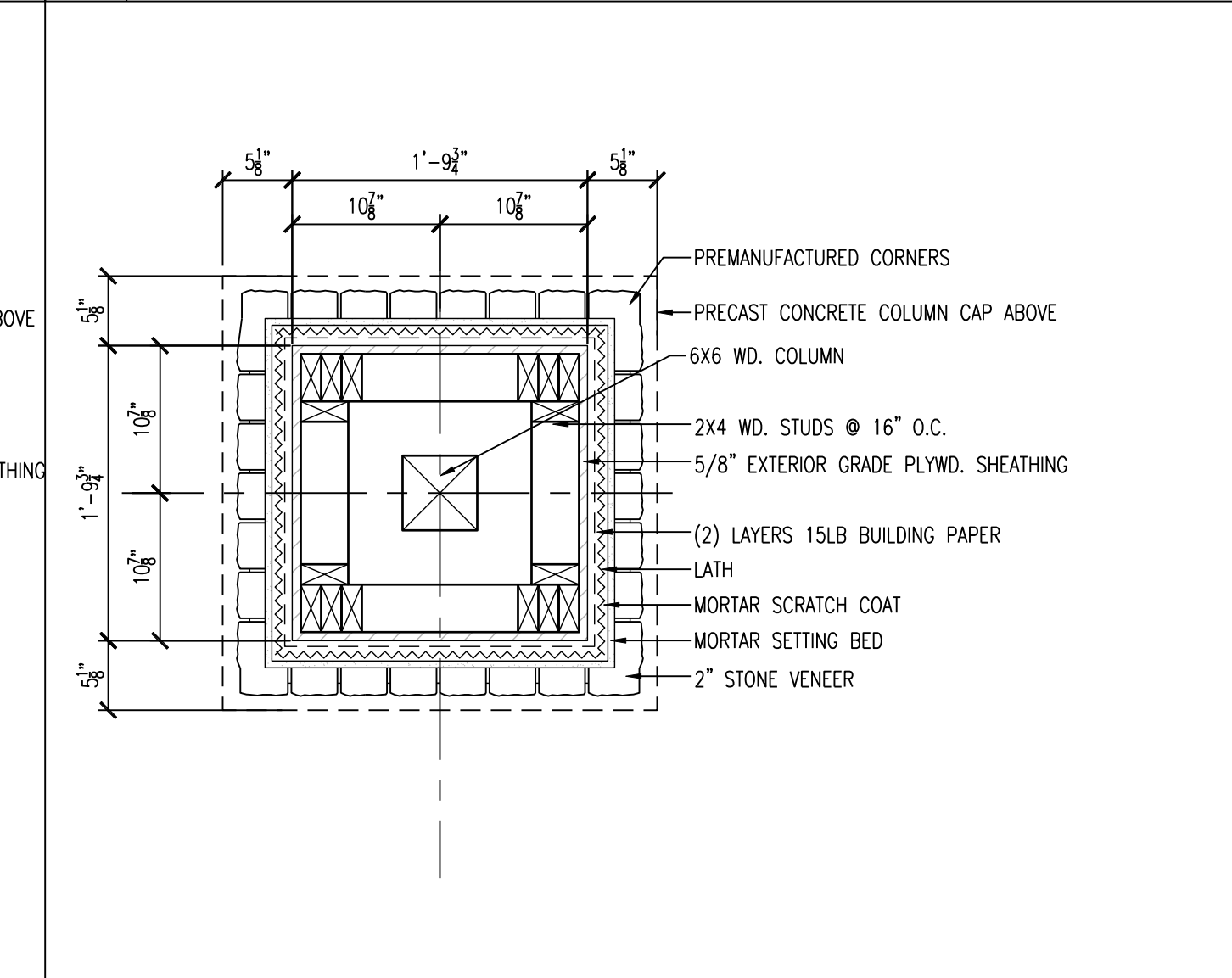
A16 TYPICAL OUTSIDE CORNER SCALE: 1" = 1'-0"



A12 PLAN DETAIL @ STONE VENEER SCALE: 1" = 1'-0"



A8 PLAN DETAIL @ STONE VENEER SCALE: 1" = 1'-0"



A4 PLAN DETAIL @ STONE VENEER SCALE: 1" = 1'-0"

**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
 100 Barred Street  
 York, PA 17403  
 Tel: (717) 833-8345  
 Fax: (717) 833-8345  
 www.clarkecattonhintz.com

OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL  
 BRUCKER & JAMES, INC.  
 1656 Ferry Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengr.com

STRUCTURAL  
 HANCOCK-HAMMILL, P.C.  
 40 Knowles Street  
 Pennington, NJ 08654  
 (609) 815-1855 www.hjpcsa.com

MEP / FF /  
 HUBBARD WHITE, INC.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7711 www.hwhwhite.com

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REVISIONS

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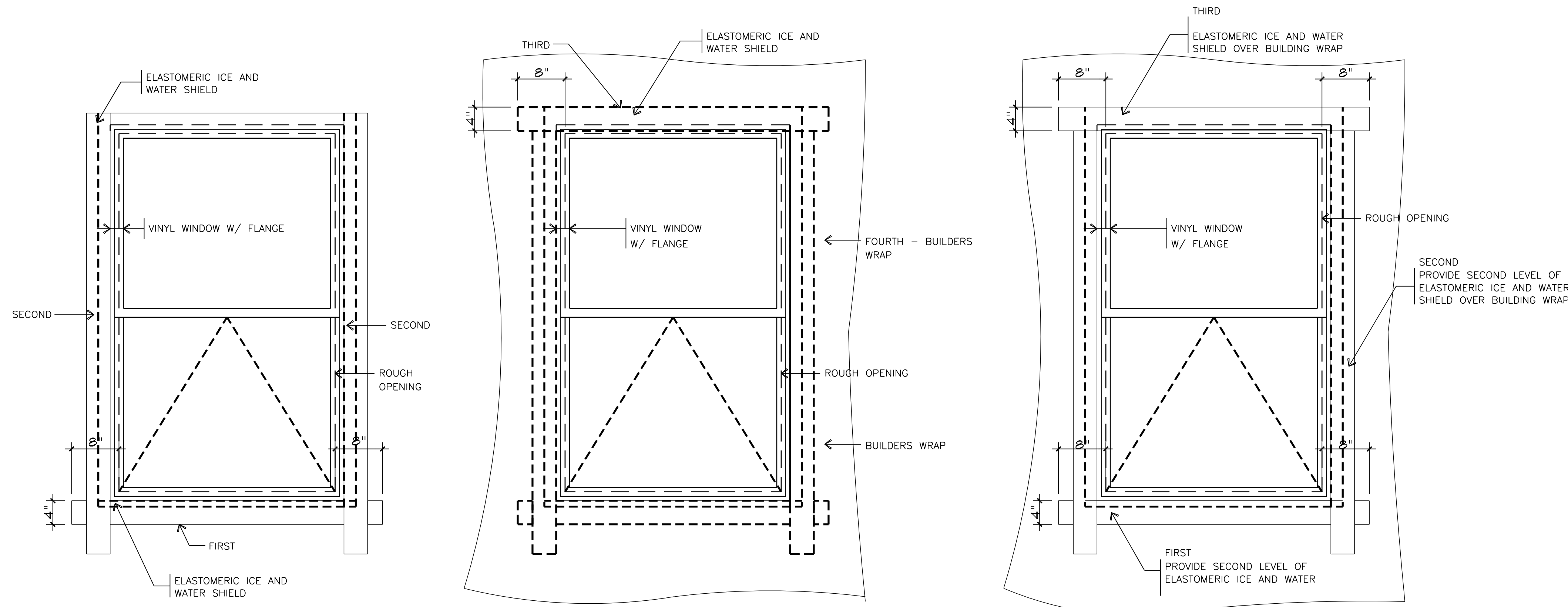
ARCHITECT  
 PA LICENSE NO. 0A-014857-B  
 GEORGE M. HEBBS, AIA  
 DATE

**Lower Makefield  
 Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

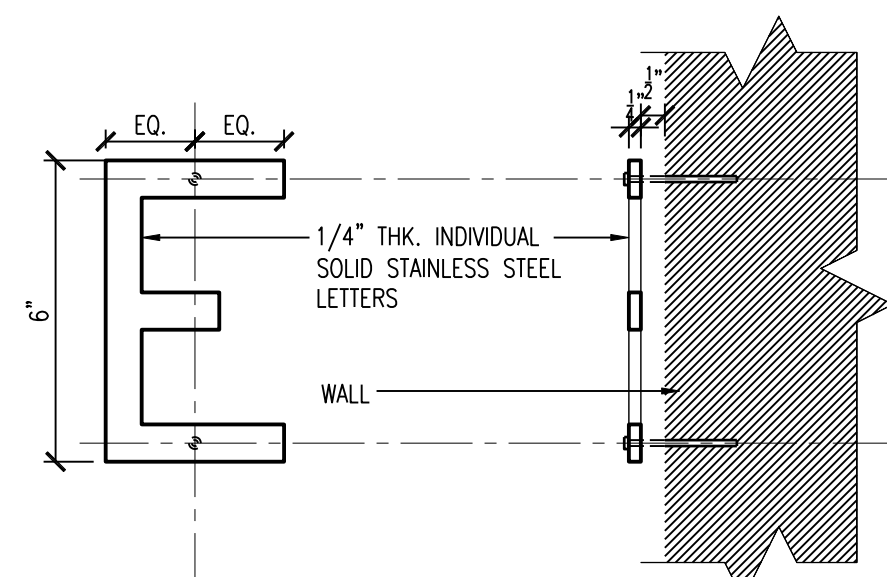
SHEET TITLE:  
**DETAILS**

DRAWING NO.:  
**A-701**  
 CCH PROJECT NO.: 1833



H20 TYPICAL WINDOW FLASHING

SCALE: 1" = 1'-0"



NOTE: OWNER TO FURNISH EXACT WORDING AND FONT IN FIELD. PROVIDE SHOP DRAWINGS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

E14 INTERIOR SIGNAGE DETAIL

SCALE: 1" = 1'-0"



24" DIA. CAST ALUMINUM CIRCULAR PLAQUE

RAISED LOGO  
NOTE: CAST ALUMINUM SEAL TO BE MANUF. BY YORK BRONZE CO. OR APPROVED EQUAL. "BLIND" MOUNT TO WALL. PROVIDE SHOP DWG. PRIOR TO FABRICATION AND INSTALLATION.

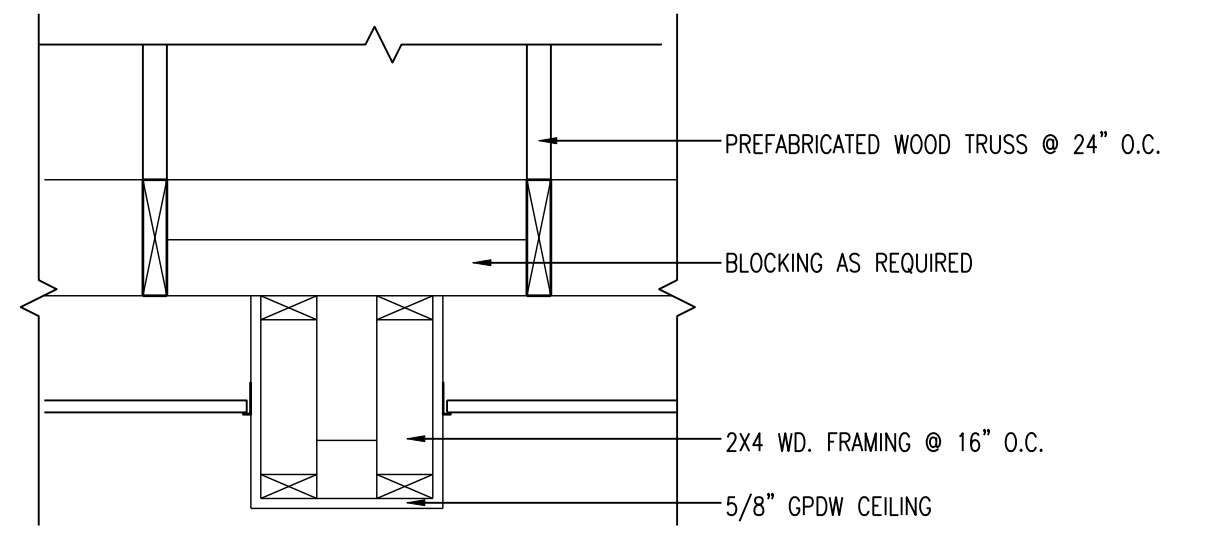
RAISED BORDER AND LETTERING

BACKGROUND TO RECEIVE "FINE PEBBLE" FINISH

NOTE: OWNER TO FURNISH LOGO PRIOR TO FABRICATION

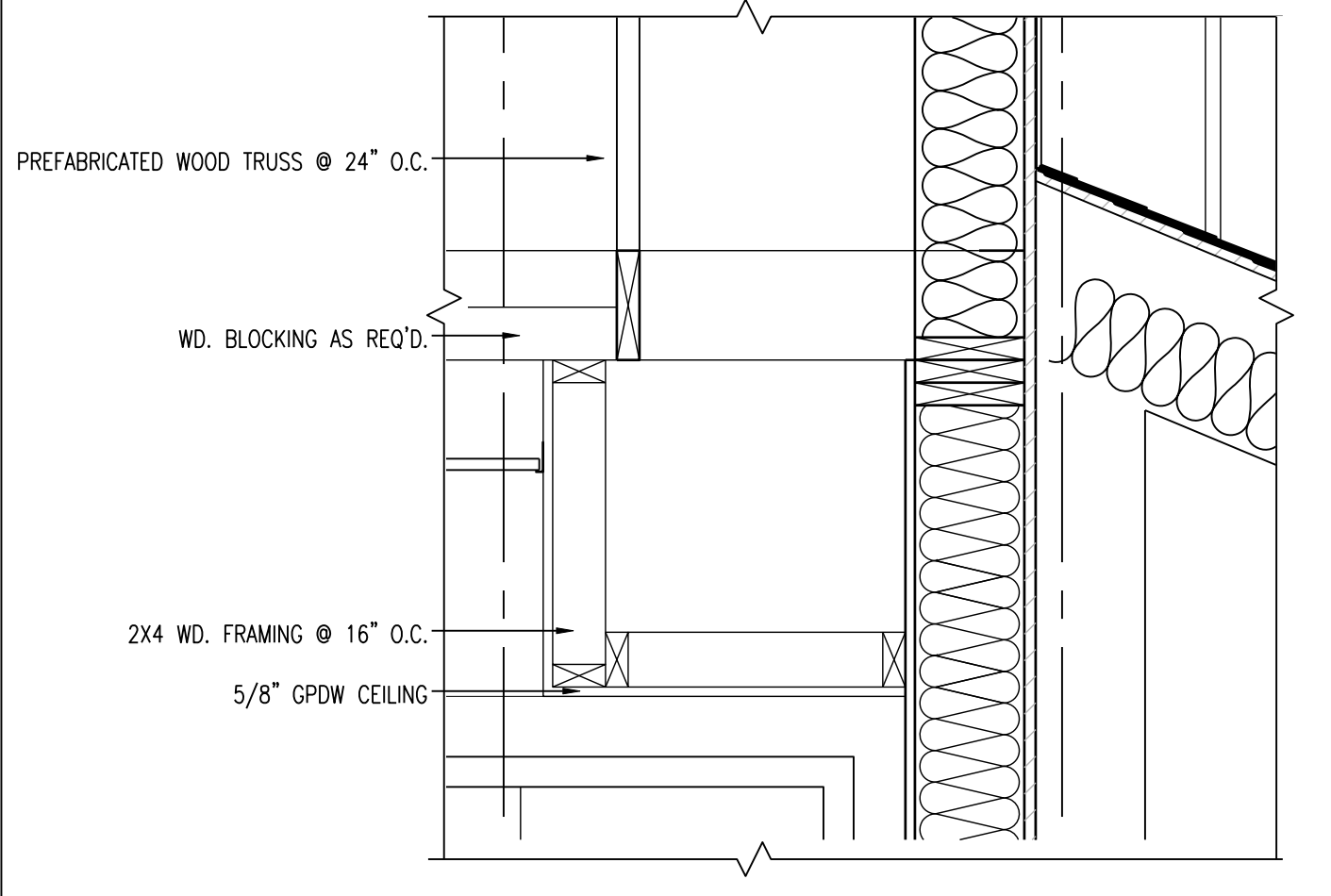
A14 INTERIOR LOGO DETAIL

SCALE: 1" = 1'-0"



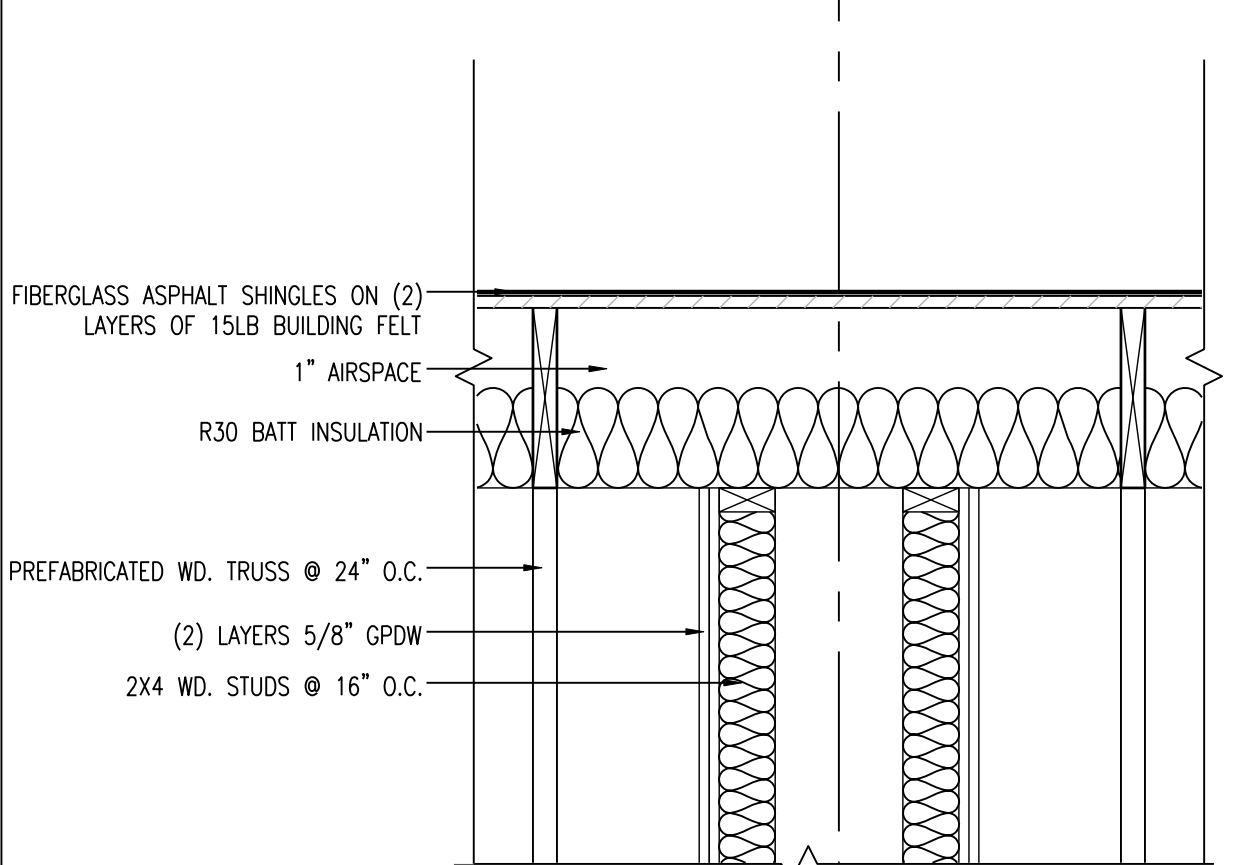
N8 TYPICAL SOFFIT DETAIL

SCALE: 1" = 1'-0"



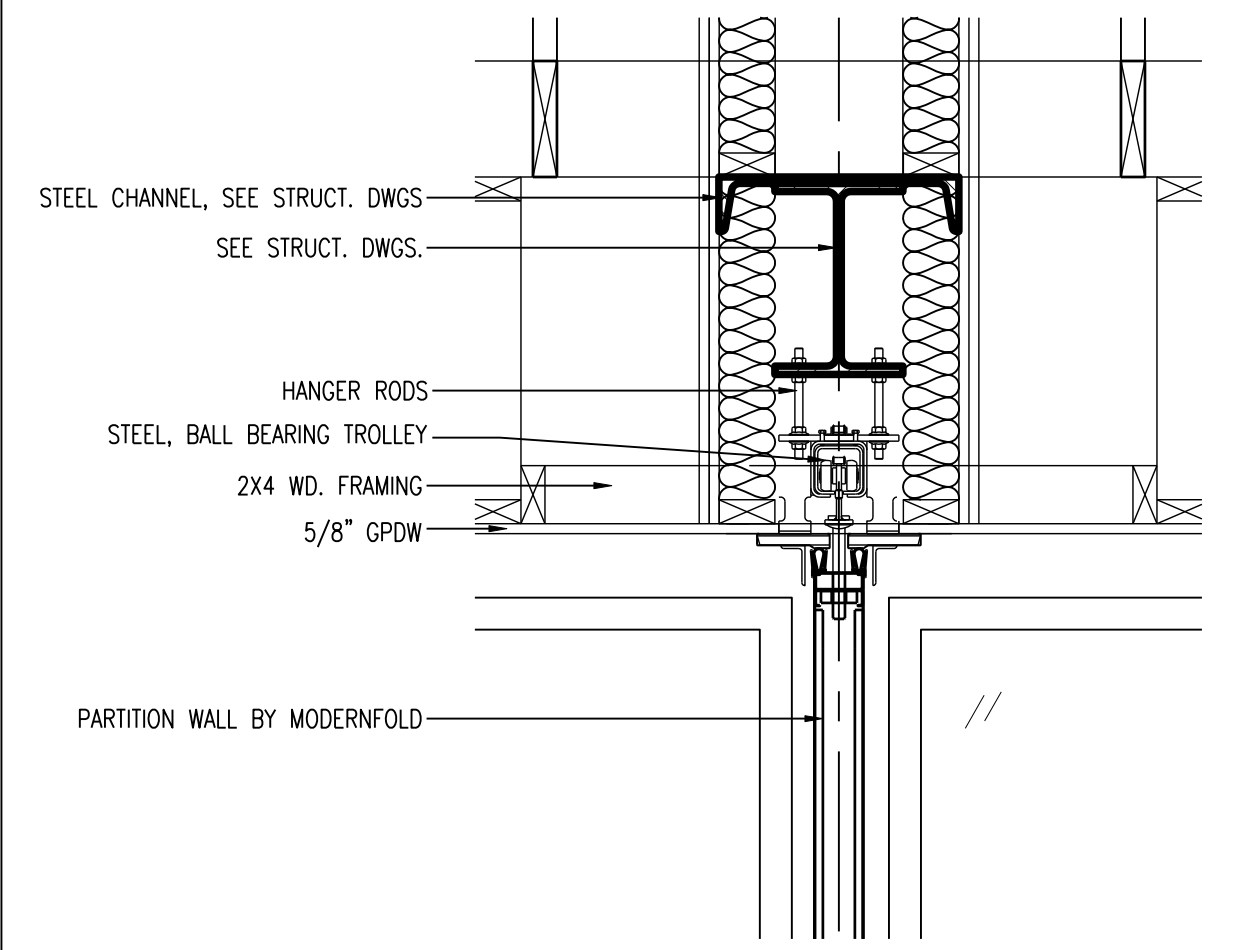
N4 TYPICAL SOFFIT DETAIL

SCALE: 1" = 1'-0"



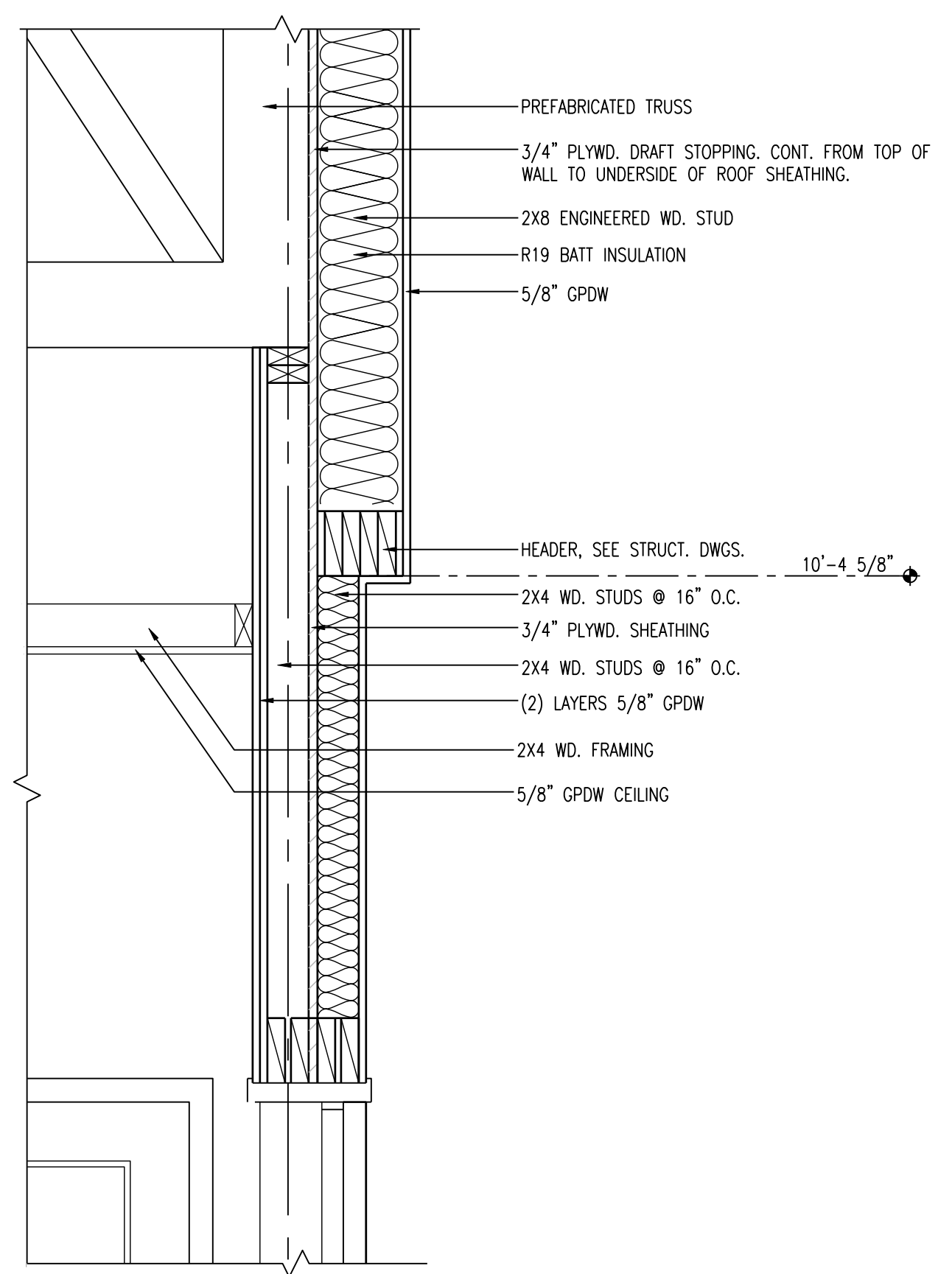
J4 ROOF @ FOLDING PARTITION

SCALE: 1" = 1'-0"



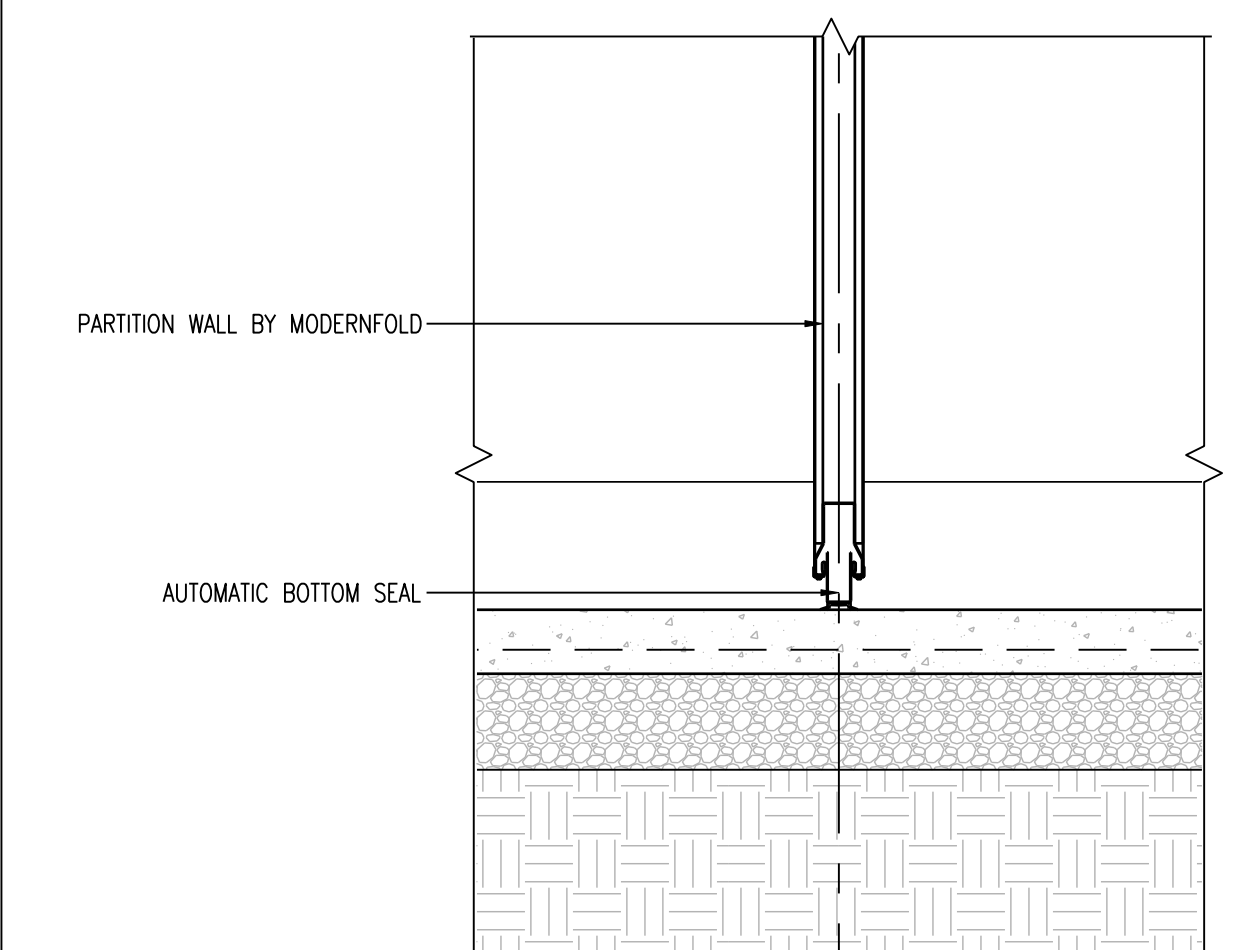
E4 HEAD @ FOLDING PARTITION

SCALE: 1" = 1'-0"



A8 WALL TRANSITION @ MULTI-PURPOSE RM.

SCALE: 1" = 1'-0"



A4 BASE @ FOLDING PARTITION

SCALE: 1" = 1'-0"

**Clarke Catton Hintz**  
Architects  
Landscape Architecture  
www.clarkecattonhintz.com

100 Barco Street  
Trenton, NJ 08611  
Tel: (609) 879-8900  
Fax: (609) 879-8901

OWNER:  
Township of Lower Makefield  
1100 Edgewood Road  
Yardley, PA 19087  
(877) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
Bocher & James, Inc.  
1458 Ferry Road, Building 500  
Doylesboro, PA 18801  
(717) 345-5400 www.bjengineers.com

STRUCTURAL:  
Hesslein-Hermett, P.C.  
40 Knowles Street  
Perryville, NJ 08854  
(609) 814-1900 www.hjpcos.com

MEP / FF:  
Hesslein White, Inc.  
210 E. Street Road, Suite 2d  
Fossilville, PA 19033  
(215) 822-7711 www.hessleinwhite.com

SUBMISSIONS		
NO.	DATE	DESCRIPTION
1	3/4/2015	ISSUED FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION

ARCHITECT  
PA LICENSE NO. BA-014857-B  
GEORGE M. HERBS, AIA  
DATE: \_\_\_\_\_

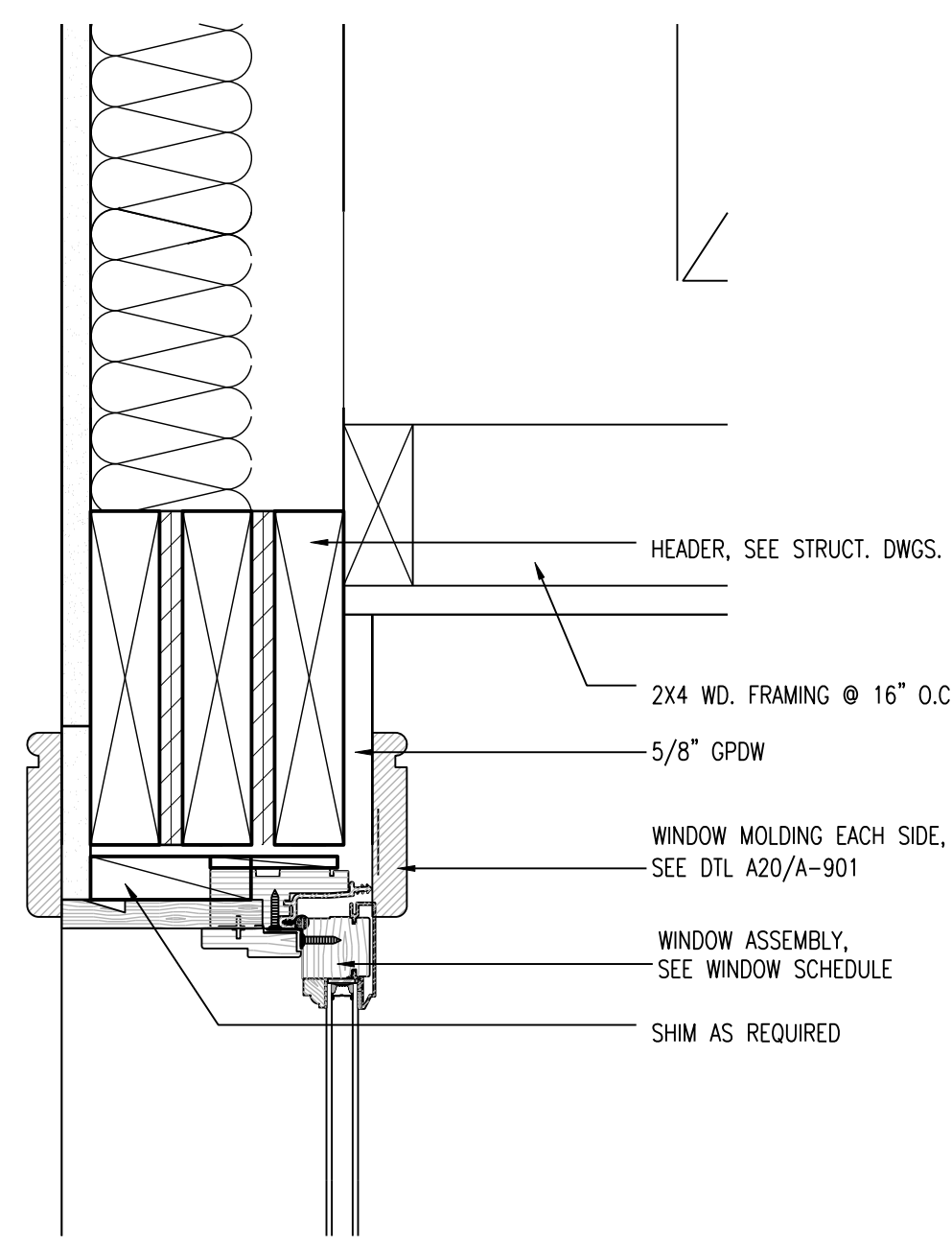
**Lower Makefield  
Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/4/2015  
SCALE: AS NOTED  
DRAWN BY: TR, ER  
CHECKED BY: MJH, CH

SHEET TITLE:  
**DETAILS**

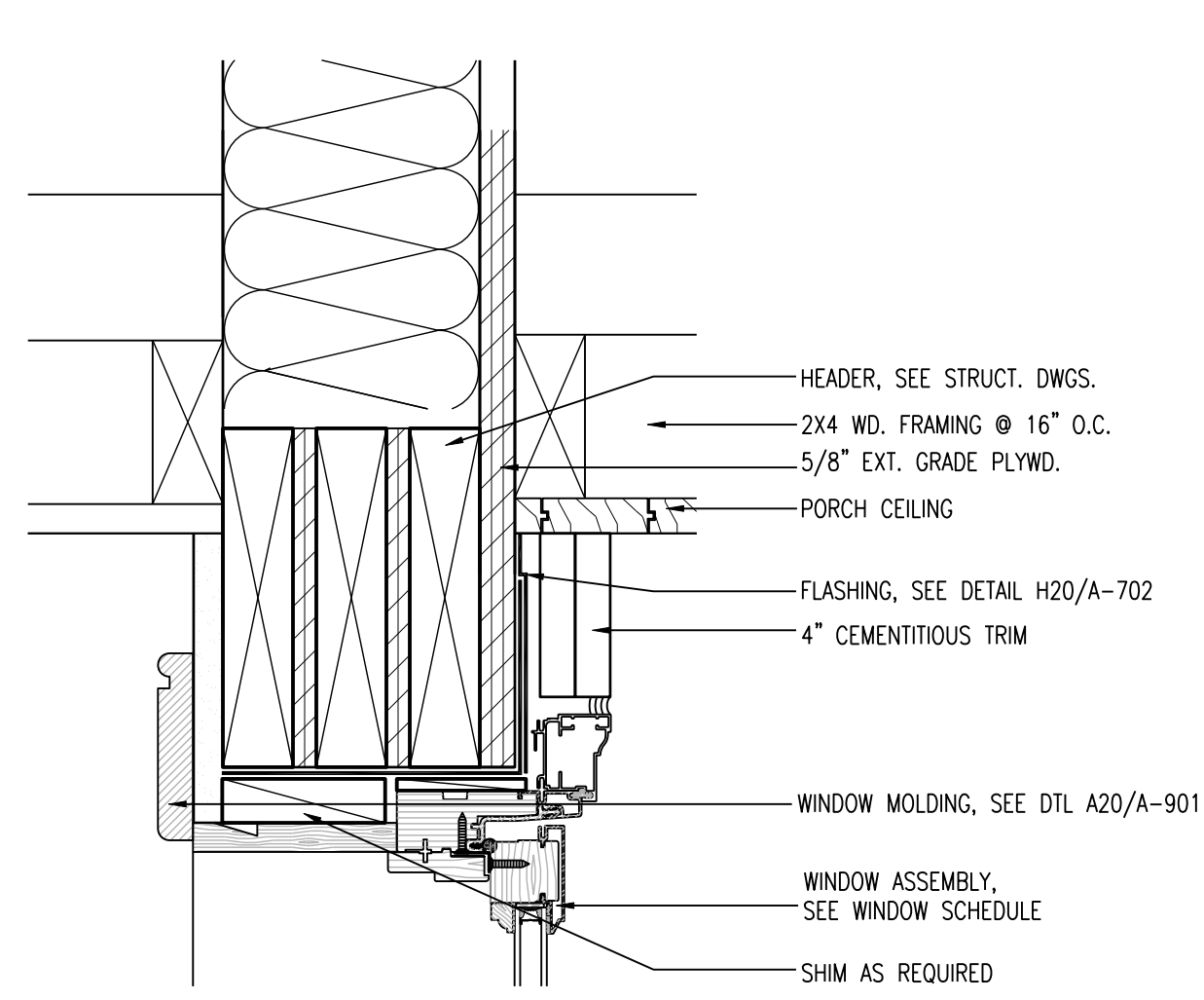
DRAWING NO.:  
**A-702**

CCH PROJECT NO.: 1833



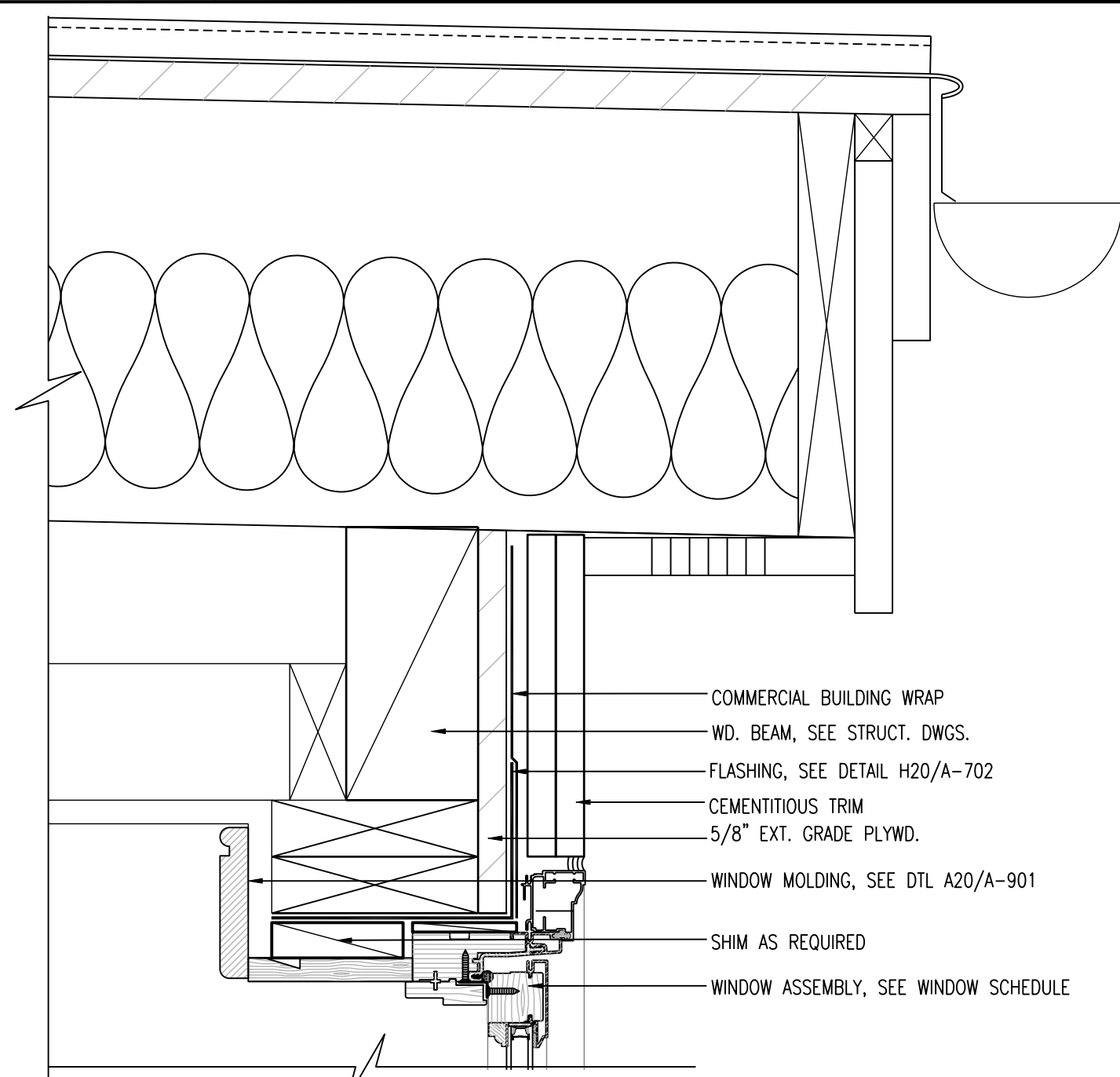
**A4 HEAD DETAIL @ INTERIOR ENTRY DOORS**

SCALE: 1" = 1'-0"



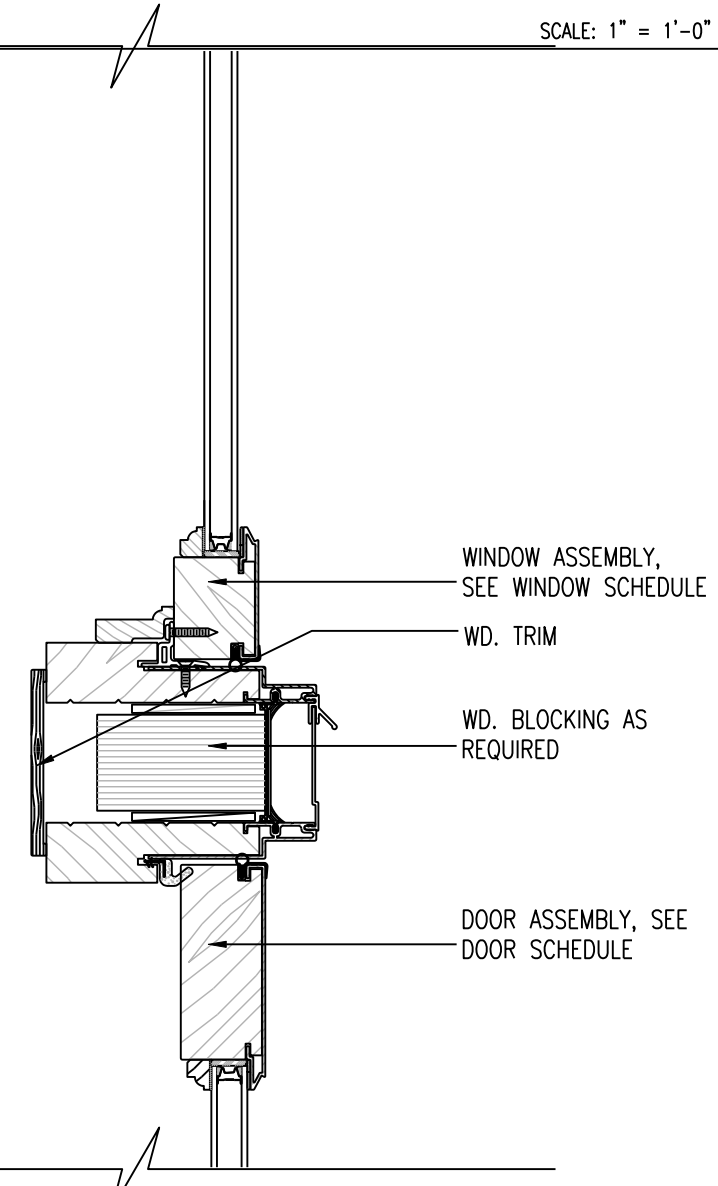
**N12 HEAD @ ENTRY DOORS**

SCALE: 1" = 1'-0"



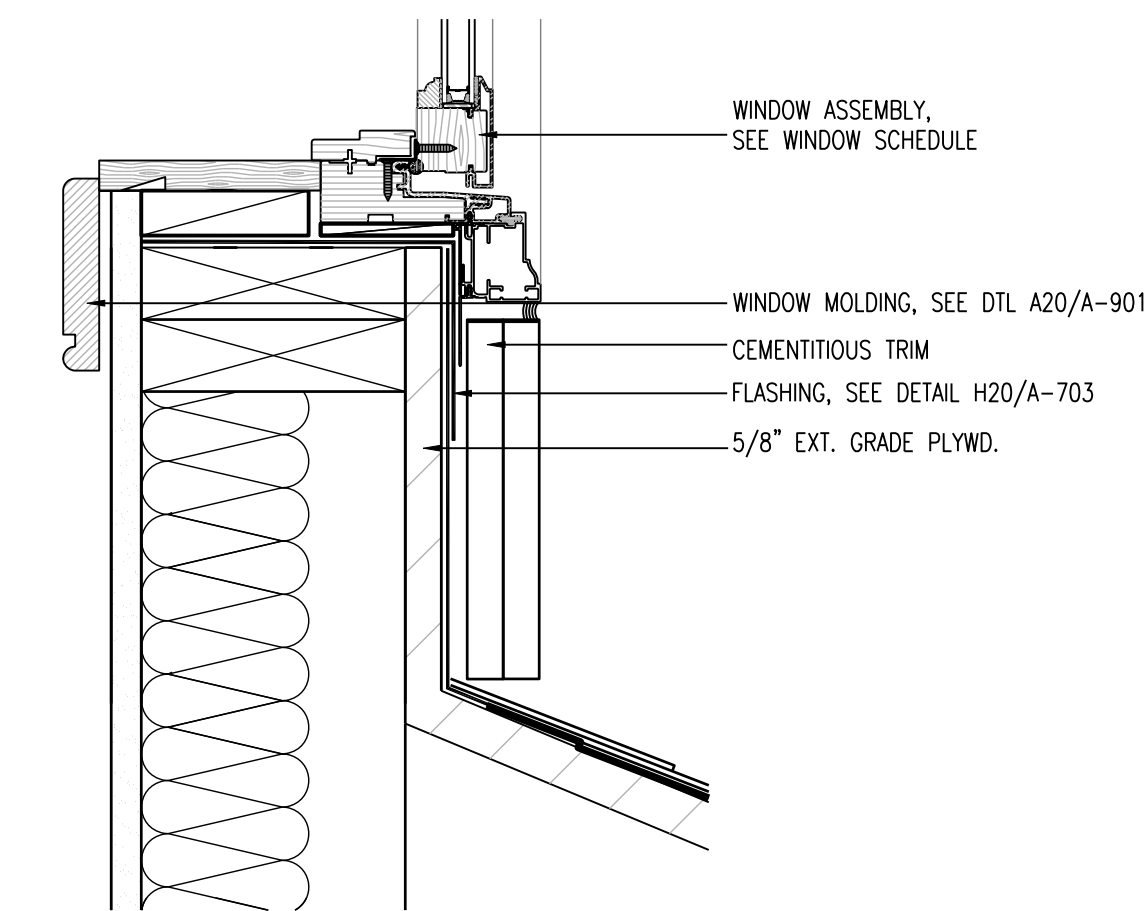
**N8 HEAD @ DORMER WINDOW**

SCALE: 1" = 1'-0"



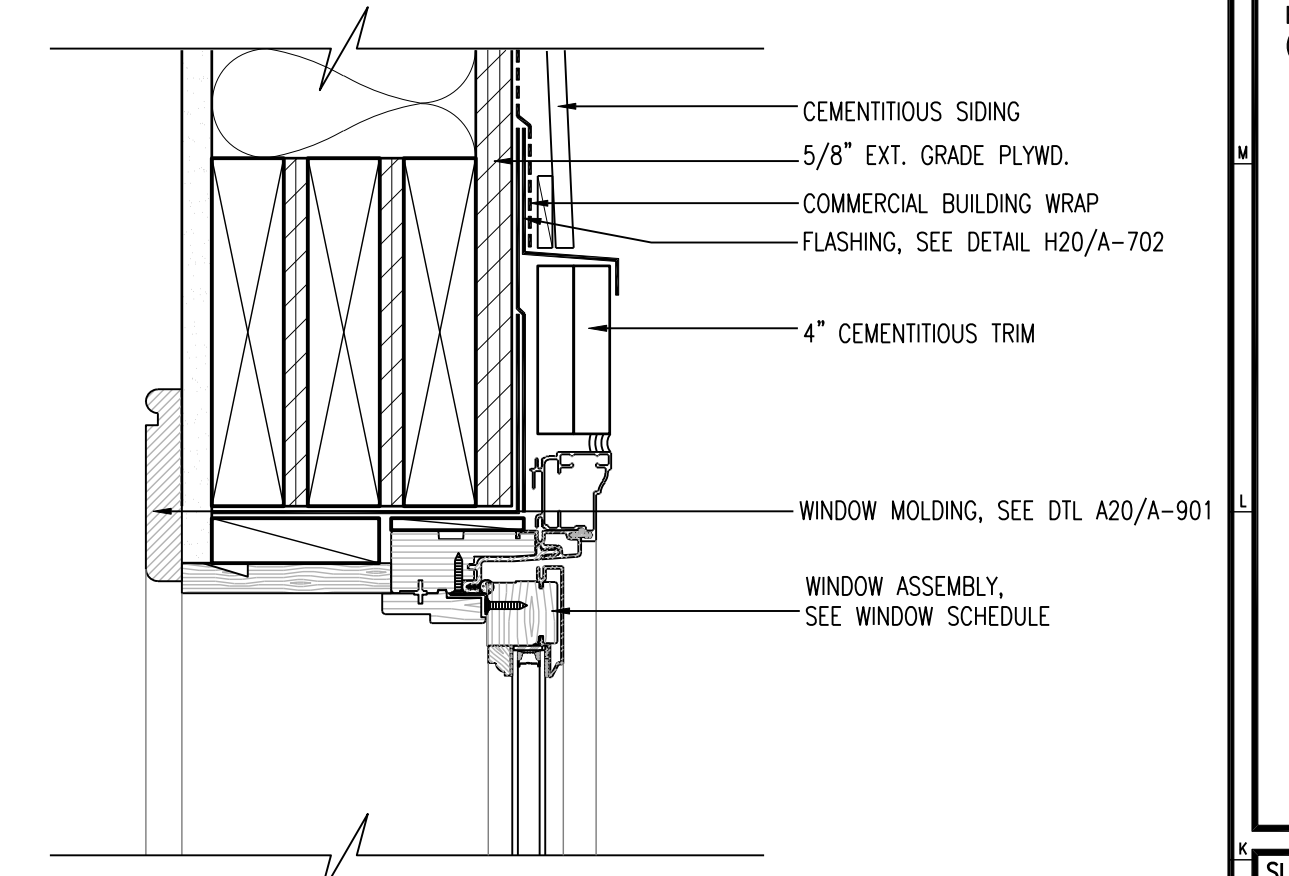
**J12 VERTICAL MULL DETAIL @ ENTRY DOORS**

SCALE: 1" = 1'-0"



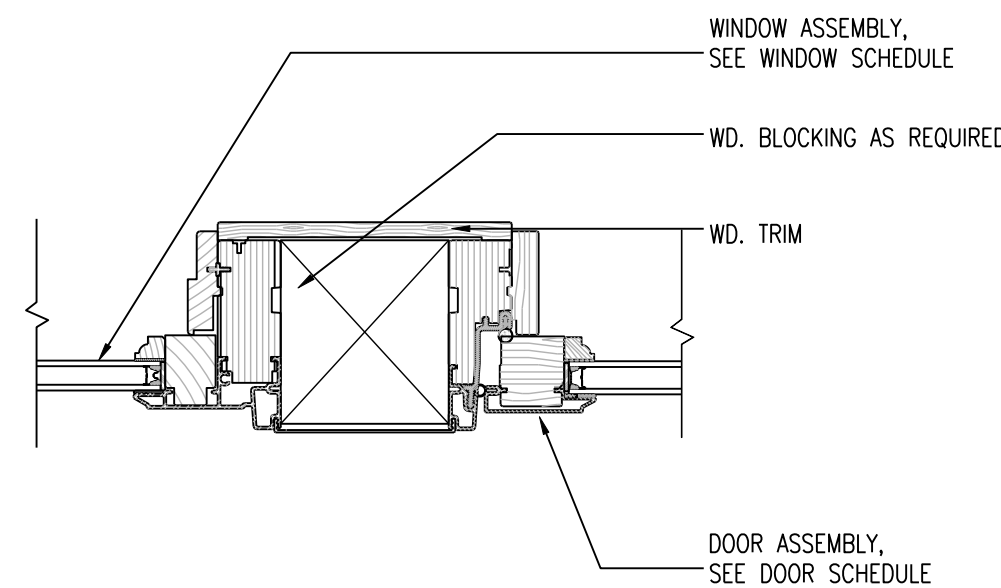
**J8 SILL @ DORMER WINDOW**

SCALE: 1" = 1'-0"



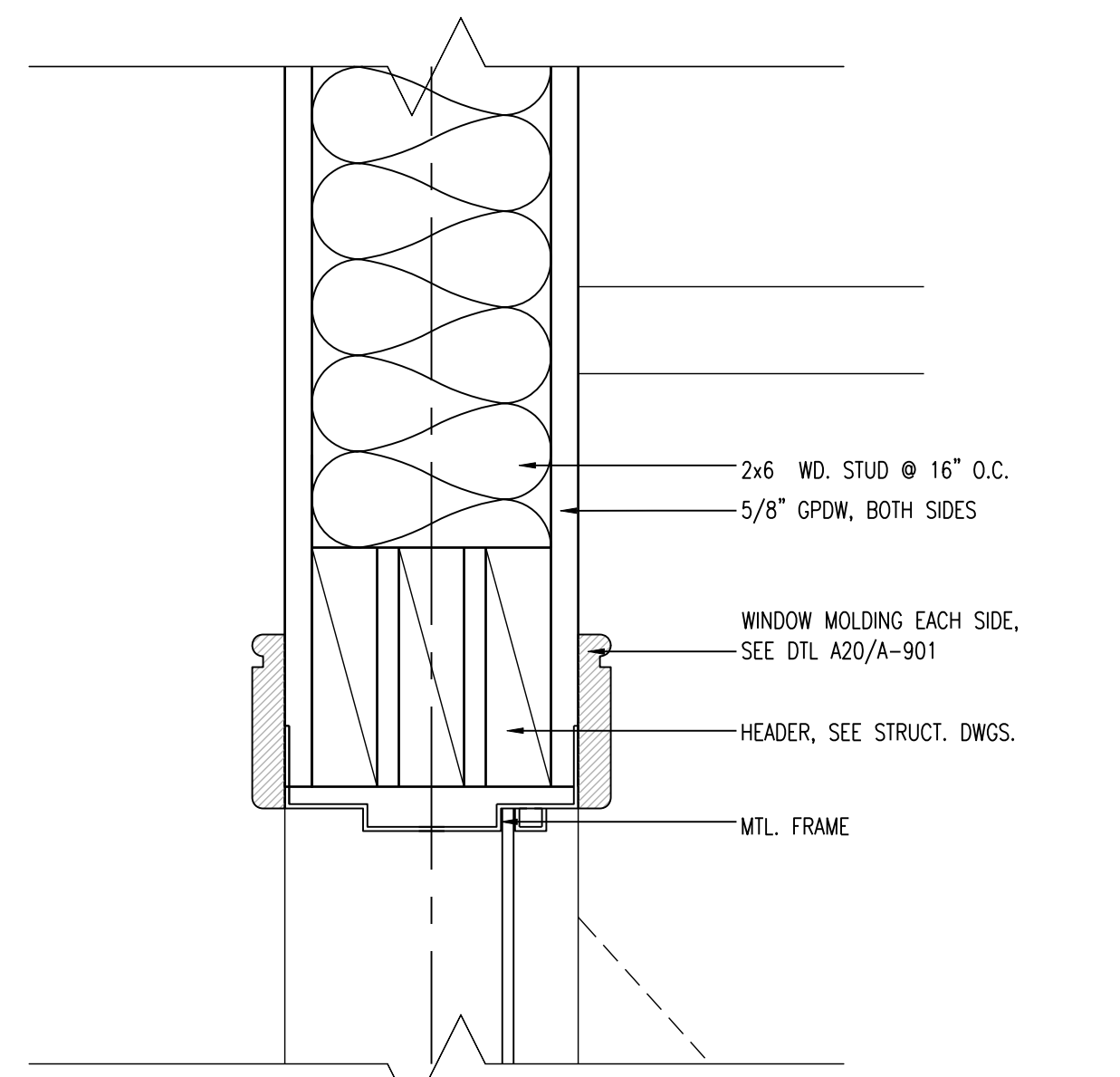
**J4 TYPICAL HEAD @ SIDING**

SCALE: 1" = 1'-0"



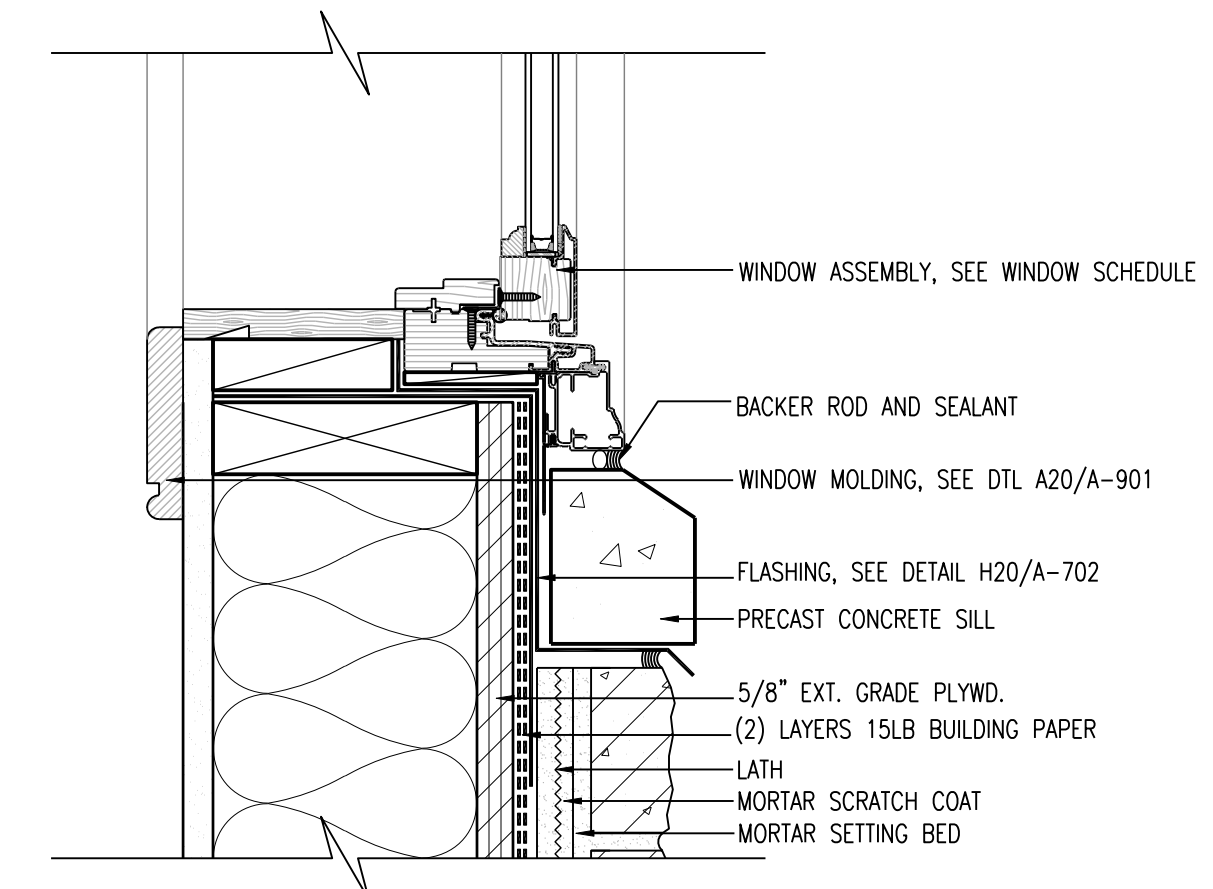
**E16 HORIZONTAL MULL DETAIL @ ENTRY DOORS**

SCALE: 1" = 1'-0"



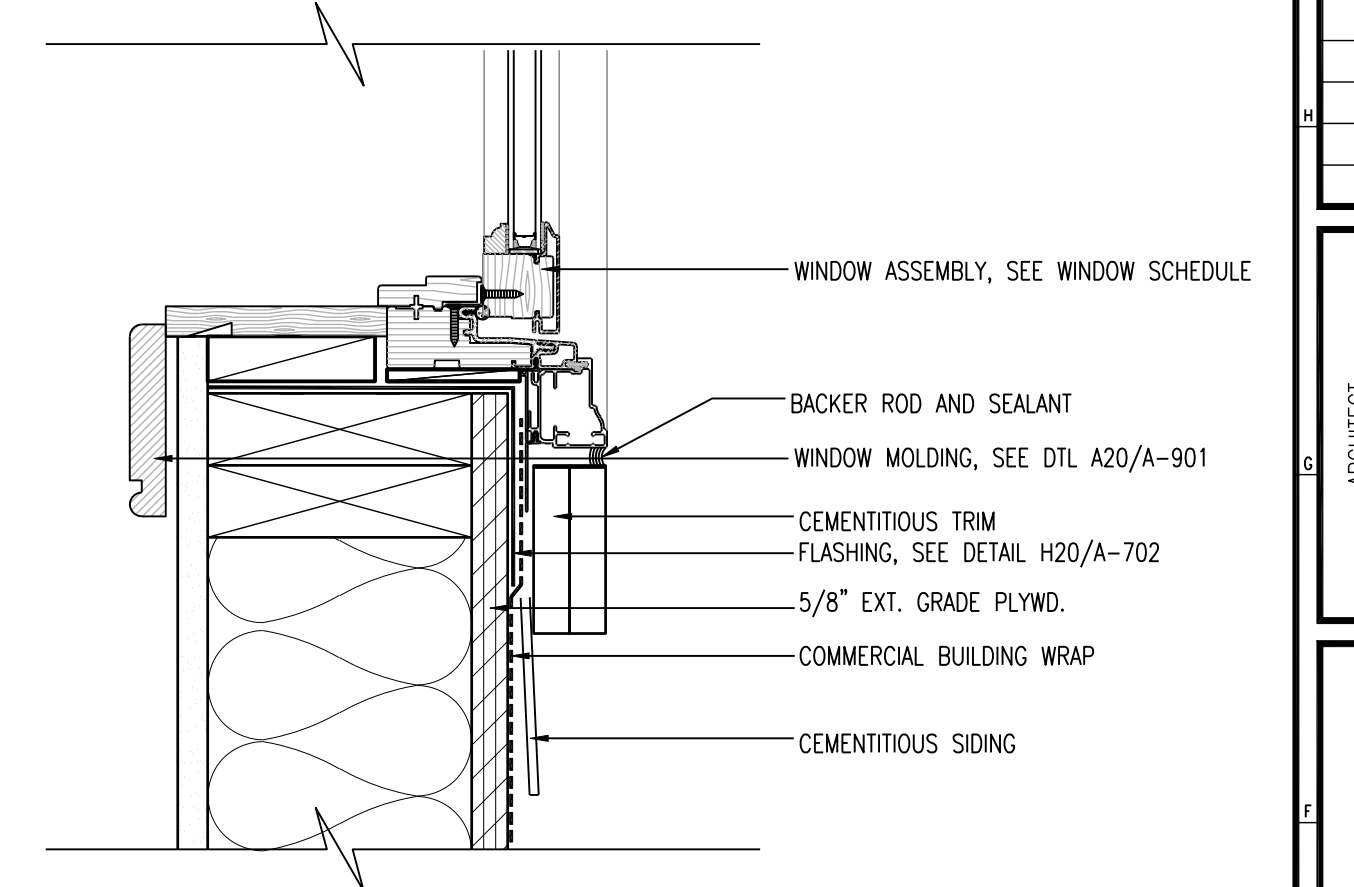
**E12 HEAD @ INTERIOR WINDOW**

SCALE: 1" = 1'-0"



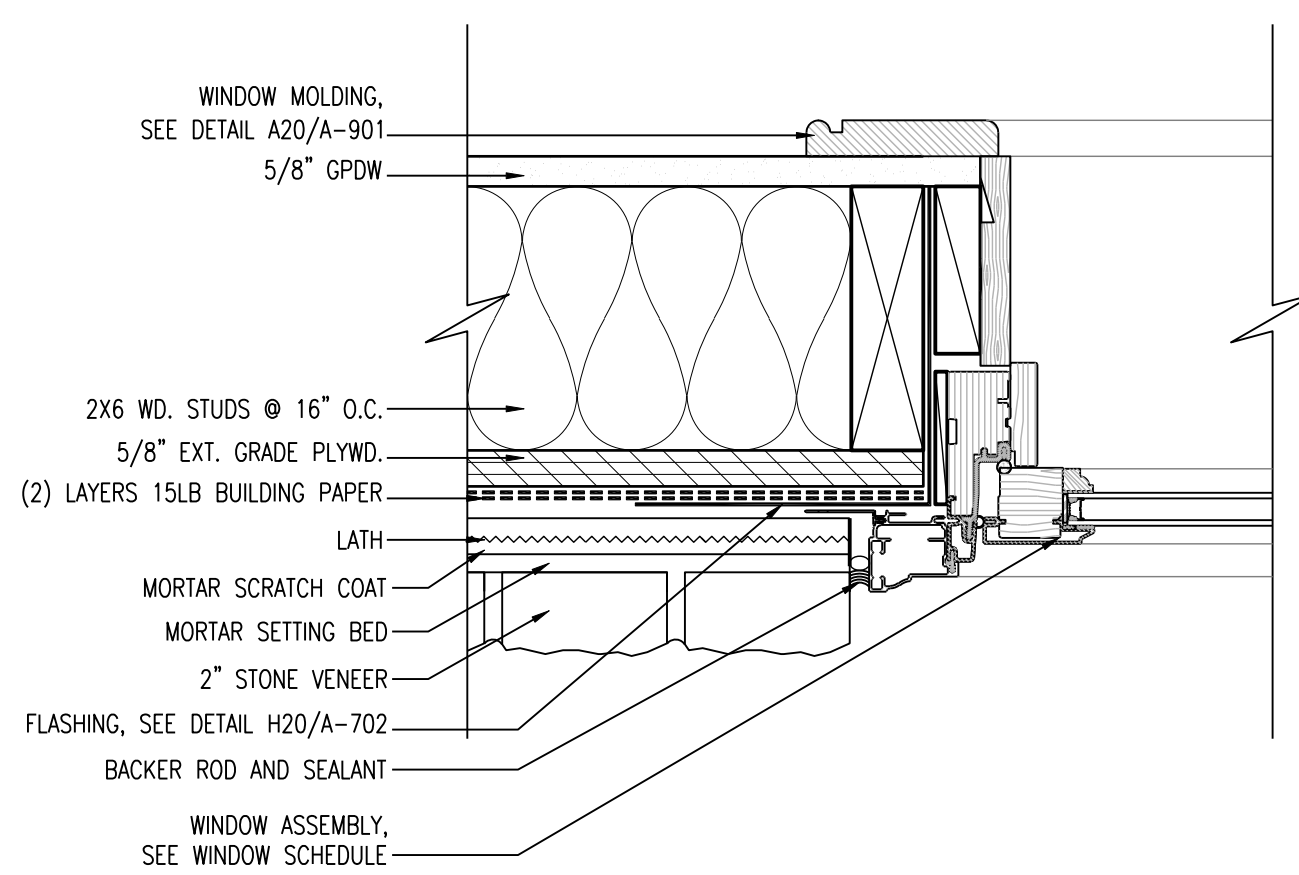
**E8 TYPICAL SILL @ STONE**

SCALE: 1" = 1'-0"



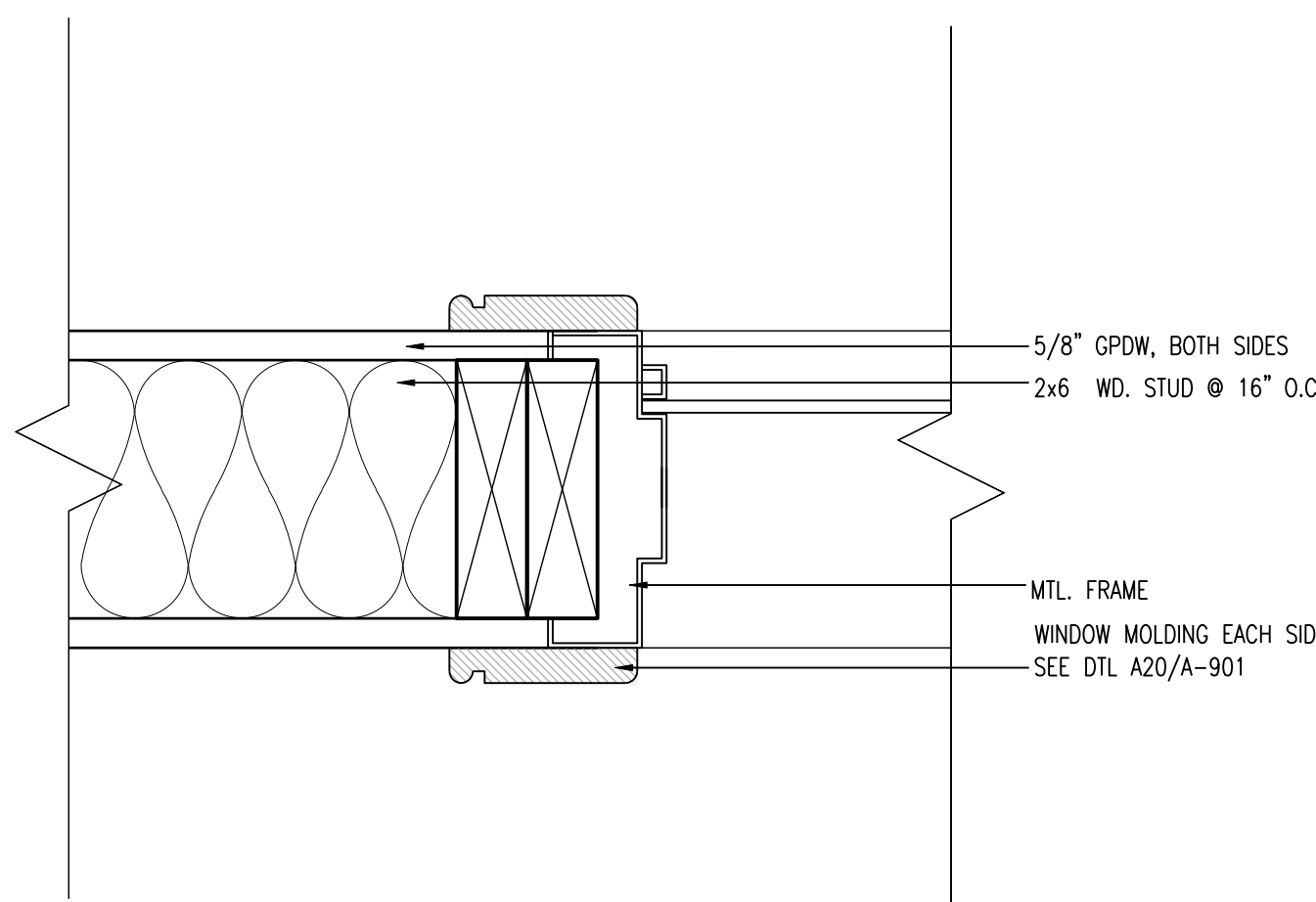
**E4 TYPICAL SILL @ SIDING**

SCALE: 1" = 1'-0"



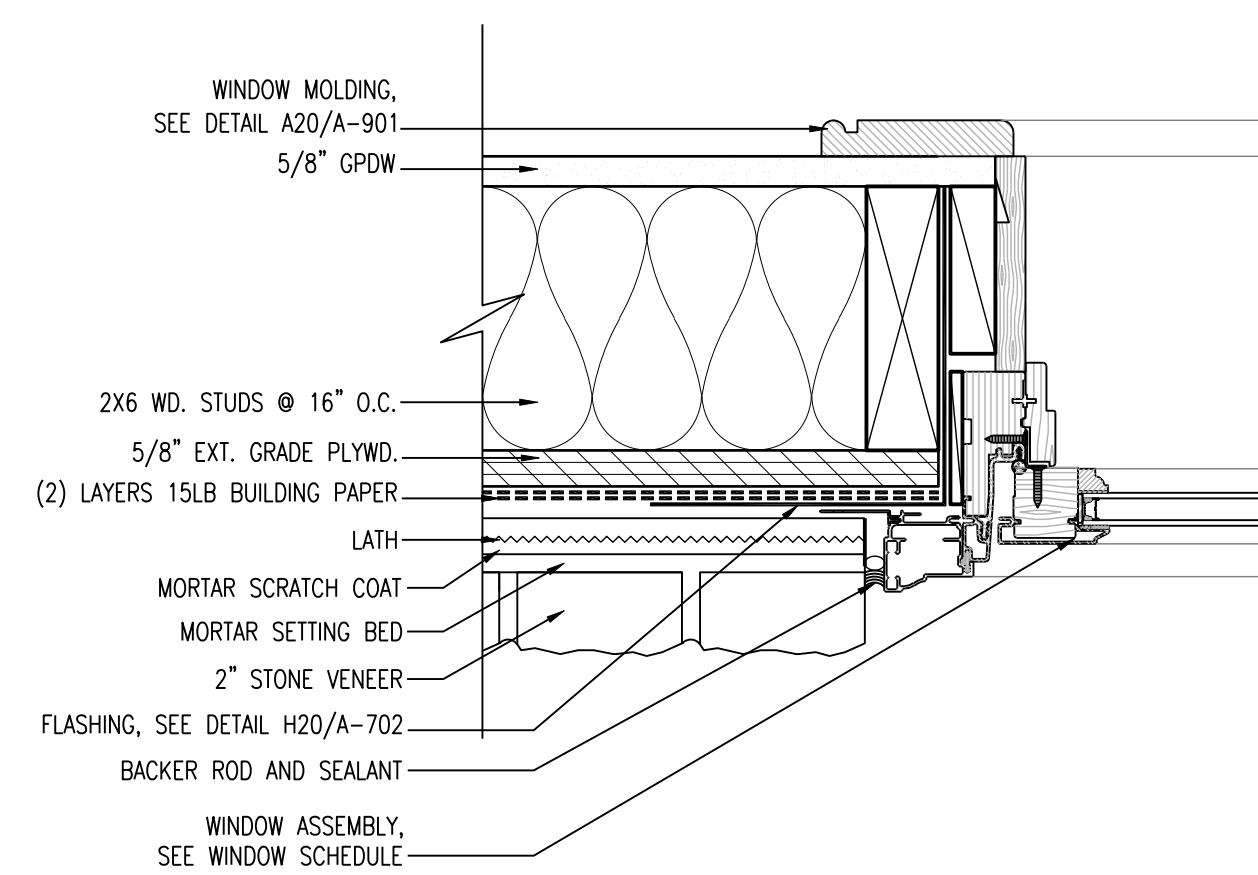
**A16 ENTRY DOOR JAMB @ STONE**

SCALE: 1" = 1'-0"



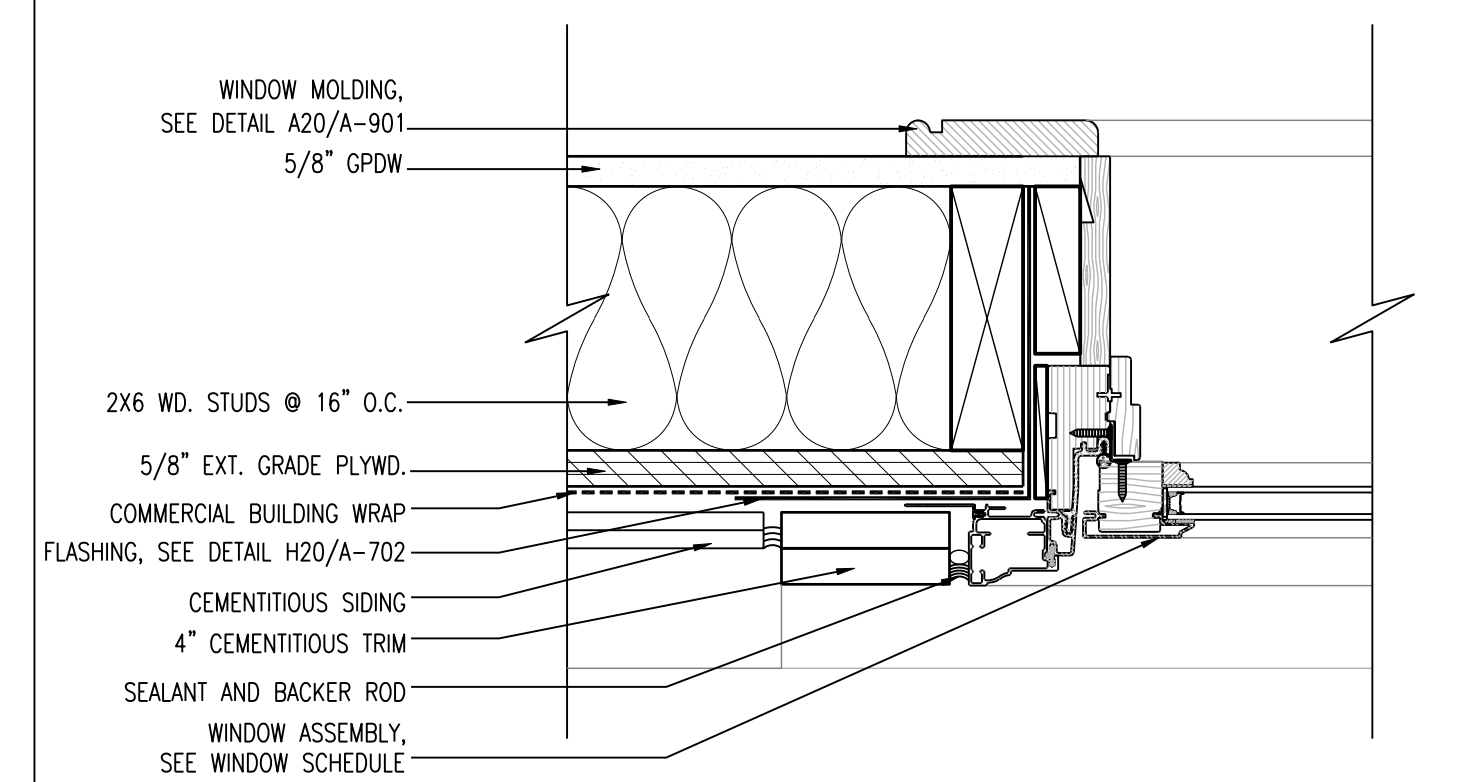
**A12 JAMB @ INTERIOR WINDOW**

SCALE: 1" = 1'-0"



**A8 TYPICAL JAMB @ STONE**

SCALE: 1" = 1'-0"



**A4 TYPICAL JAMB @ SIDING**

SCALE: 1" = 1'-0"

**Clarke Catton Hintz**  
 ARCHITECTURE  
 1000 Main Street  
 Trenton, NJ 08611  
 Tel: (609) 391-1100  
 Fax: (609) 391-1101  
 www.clarkecattonhintz.com

**OWNER:**  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 18857  
 (215) 274-1100

**SITE / CIVIL/GEOTECHNICAL/ENVIRONMENTAL:**  
 Brucher & James, Inc.  
 1450 Ferry Road, Building 500  
 Doylestown, PA 18801  
 (215) 345-9400 www.bjengineers.com

**STRUCTURAL:**  
 Hamilton-Harrett, P.C.  
 40 Knowles Street  
 Pennington, NJ 08854  
 (609) 818-1900 www.hjpcos.com

**MEP / FF:**  
 Hobbins White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 822-7711 www.hobbinswhite.com

SUBMISSIONS		
NO.	DATE	DESCRIPTION
1	3/4/2015	ISSUED FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION

ARCHITECT  
 PA LICENSE NO. BA-014657-B  

 GEORGE M. HERBS, AIA  
 DATE: \_\_\_\_\_

**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, CH

SHEET TITLE:  
**DETAILS**

DRAWING NO.:  
**A-703**

CCH PROJECT NO: 1833



**LIGHT FIXTURE KEY**

	LIGHT FIXTURE "A": 2' x 4' LAY-IN LED LIGHT FIXTURE. BASIS OF DESIGN: MANUF. BY CORONET, MODEL NO. TDJA-2x4-LTG3-3000K-UNV-T OR APPROVED EQUAL.
	LIGHT FIXTURE "B": 2' x 2' LAY-IN LED LIGHT FIXTURE. BASIS OF DESIGN: MANUF. BY CORONET, MODEL NO. TDJA-2x2-LTG3-3000K-UNV-T OR APPROVED EQUAL.
	LIGHT FIXTURE "C": 1' x 4' CHAIN MOUNT LED LIGHT FIXTURE. BASIS OF DESIGN: MANUF. BY CORONET, MODEL NO. ALED-4-19W-8-UNV-CHAIN OR APPROVED EQUAL.
	LIGHT FIXTURE "D": 4" DIA. LED DOWNLIGHT. BASIS OF DESIGN: MANUF. BY INDY, MODEL NO. L4-1530U-G2/L400P-CO OR APPROVED EQUAL.
	LIGHT FIXTURE "E": 4" DIA. EXTERIOR GRADE LED DOWNLIGHT. BASIS OF DESIGN: MANUF. BY INDY, MODEL NO. L4-1530U-G2/L400P-CO-WET OR APPROVED EQUAL.
	LIGHT FIXTURE "F": 4" DIA. LED DOWNLIGHT. BASIS OF DESIGN: MANUF. BY INDY, MODEL NO. L4-4030U-G2/L400P-CO OR APPROVED EQUAL.
	LIGHT FIXTURE "G": 36"x18" TAPERED OVAL LED DRUM. BASIS OF DESIGN: MANUF. BY BARBICAN ARCHITECTURAL PRODUCTS, MODEL NO. 16-2436-LF-1239-SM-HTO-BA-36W-120V-DB
	LIGHT FIXTURE "H": LED EXTERIOR LED EGRESS LIGHTING. BASIS OF DESIGN: SPAULDING LIGHTING, MODEL NO. LMC-30LU-4K-3-035-1-BBU OR APPROVED EQUAL.
	LIGHT FIXTURE "J": 6" LONG LAY-IN LED LIGHT FIXTURE. BASIS OF DESIGN: MANUF. BY PINNACLE LIGHTING, EDGE SERIES, MODEL NO. EV3AL-30HO-4-G1G-UNV-1C-W OR APPROVED EQUAL.
	LIGHT FIXTURE "K": 4" DIA. RECESSED LED WALLWASHER. BASIS OF DESIGN: MANUF. BY INDY, MODEL NO. L4-1530U-G2/L400WS-CO OR APPROVED EQUAL.

**RCP KEY**

	SUPPLY DIFFUSER. SEE MECHANICAL DWGS FOR MORE INFO, TYP.
	RETURN REGISTER. SEE MECHANICAL DWGS FOR MORE INFO, TYP.
	CEILING/PENDANT MOUNTED EXIT SIGN, SEE ELEC. DWGS.
	WALL/SURFACE MOUNTED EXIT SIGN, SEE ELEC. DWGS.
	PAINTED GYPSUM WALL BOARD CEILING

**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
 Drawing Copyright ©2015, Clarke Catton Hintz, P.C.  
 www.clarkecattonhintz.com

OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
 Boudner & Jones, Inc.  
 1468 Ferry Road, Building 500  
 Doylestown, PA 18041  
 (215) 345-9400 www.bjengr.com

STRUCTURAL:  
 Harrison-Hartnett, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 818-1888 www.hhpc.com

MEP / PP:  
 Holsman White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19053  
 (215) 322-7111 www.holshmanwhite.com

**SUBMISSIONS**

NO.	DATE	DESCRIPTION
1	3/4/2015	ISSUED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE	DESCRIPTION
1	4/22/2015	DOH COMMENTS

ARCHITECT  
 PA LICENSE NO. PA-014857-B  
 GEORGE M. HIBBS, AIA  
 DATE

**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
 REFLECTED CEILING PLAN

DRAWING NO.:  
**A-801**  
 CCH PROJECT NO: 1833

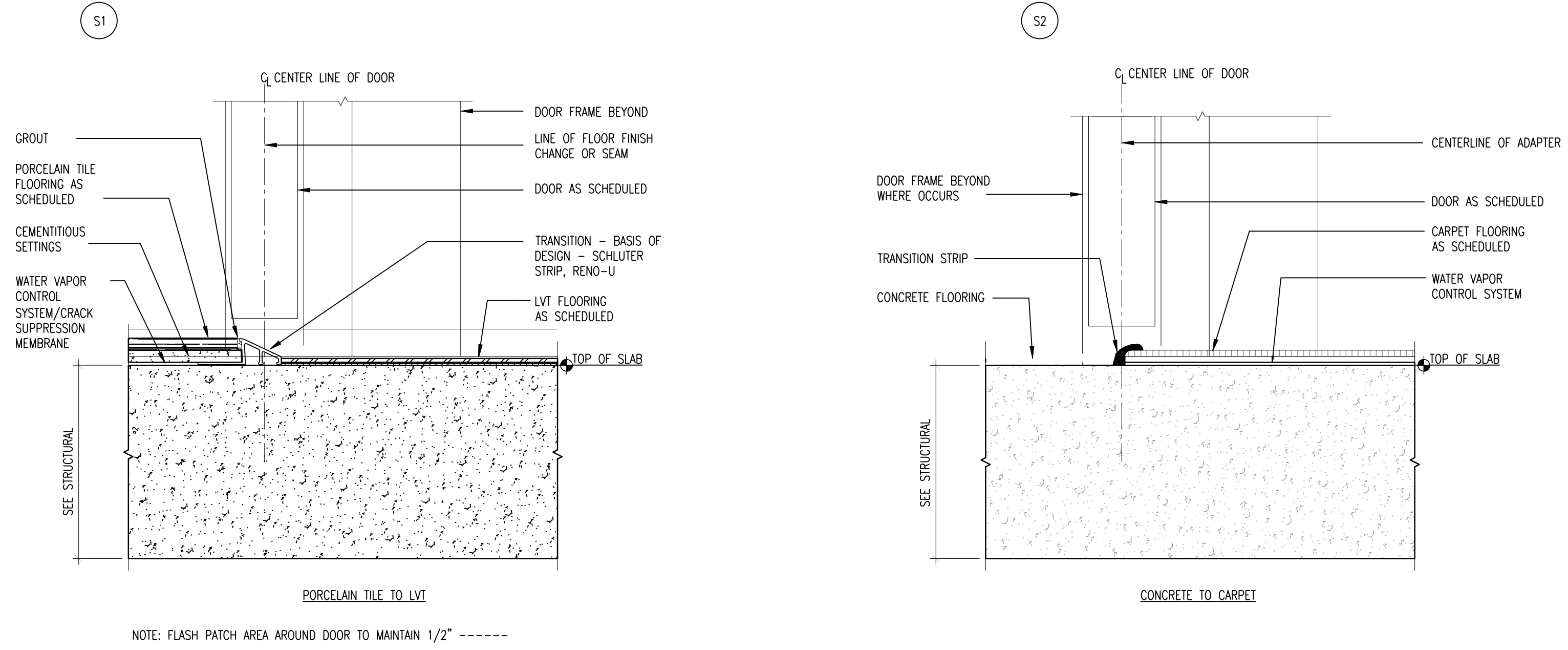
**DOOR SCHEDULE - FIRST FLOOR LEVEL**

DOOR NO.	DOOR LOCATION	DOOR				FRAME				REMARKS			
		SIZE	TYPE	MAT.	GLASS	TYPE	MAT.	HEAD	JAMB		SADDLE	HARDWARE SET NO.	HARDWARE TYPE
1/101	VESTIBULE	(2) 3'-0" x 7'-0" x 1 3/4"	D	AL/WD	CLAR	4	AL/WD	H2	J2	S2	01	---	---
1/102	LOBBY	(2) 3'-0" x 7'-0" x 1 3/4"	D	AL/WD	CLAR	4	AL/WD	H2	J2	S3	02	---	---
1/103	OFFICE	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	---	03	---	---
1/104	RECEPTION	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	S3	04	1 HR	---
1/105	CLASSROOM	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	---	05	1 HR	---
1/106	VESTIBULE	3'-0" x 7'-0" x 1 3/4"	C	AL/WD	CLAR	3	AL/WD	H2	J2	S2	06	---	---
1/108	CORRIDOR	3'-0" x 7'-0" x 1 3/4"	C	AL/WD	CLAR	3	AL/WD	H2	J2	S3	07	---	---
1/109	WOMEN'S	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	S1	08	1 HR	---
1/110	MEN'S	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	S1	08	1 HR	---
1/111	MECHANICAL	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	S4	11	---	---
1/112	KITCHEN	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	S1	10	1 HR	---
2/112	KITCHEN	3'-0" x 6'-8" x 1 3/4"	F	WD	---	1	AL/WD	H1	J1	S4	13	---	---
1/113	MULTI-PURPOSE ROOM	(2) 3'-0" x 6'-8" x 1 3/4"	B	WD	---	2	HM	H4	J3	---	15	1 HR	---
2/113	MULTI-PURPOSE ROOM	(2) 3'-0" x 6'-8" x 1 3/4"	B	WD	---	2	HM	H4	J3	---	15	1 HR	---
3/113	MULTI-PURPOSE ROOM	(2) 3'-0" x 6'-8" x 1 3/4"	B	WD	---	2	HM	H4	J3	---	14	1 HR	---
4/113	MULTI-PURPOSE ROOM	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	---	12	---	---
5/113	MULTI-PURPOSE ROOM	(2) 3'-0" x 6'-8" x 1 3/4"	B	WD	---	2	HM	H4	J3	S5	18	---	---
6/113	MULTI-PURPOSE ROOM	3'-4" x 6'-8" x 1 3/4"	E	AL/WD	CLAR	5	AL/WD	H3	J1	---	17	---	---
7/113	MULTI-PURPOSE ROOM	3'-4" x 6'-8" x 1 3/4"	E	AL/WD	CLAR	5	AL/WD	H3	J1	---	17	---	---
1/114	JANITOR	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	SS	09	1 HR	---
1/115	CLOSET	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	---	09	1 HR	---
1/116	CLOSET	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	---	09	1 HR	---
1/117	UTILITY	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	---	16	1 HR	---
1/119	CLASSROOM	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	---	19	1 HR	---
2/119	CLASSROOM	3'-0" x 6'-8" x 1 3/4"	F	WD	---	1	AL/WD	H1	J1	---	06	---	---
1/120	CONFERENCE	3'-0" x 6'-8" x 1 3/4"	A	WD	---	1	HM	H4	J3	S3	05	1 HR	---

**DOOR SCHEDULE REMARKS**

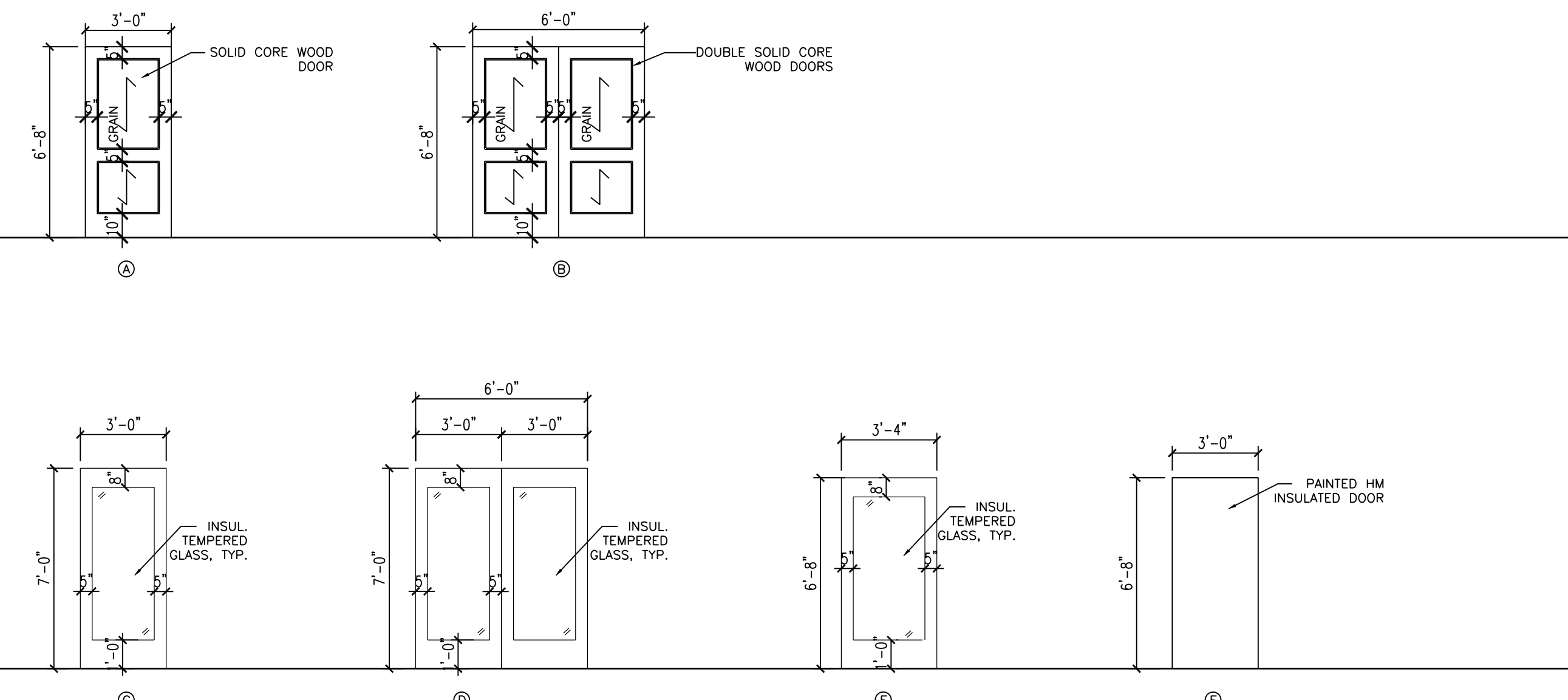
- A. ALL DOORS AND FRAMES TO BE FIELD PAINTED. COLOR TO BE SELECTED BY ARCHITECT.
- B. ALL HARDWARE TO BE LEVER TYPE, ADA ACCESSIBLE.
- C. SUBMIT SHOP DRAWINGS FOR ALL DOORS.
- D. ALL FINISHED COLORS TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STD. COLORS.
- E. OPENING FORCE: THE INTERIOR SIDE - SWING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5 LB. (24N) FORCE. FOR ALL OTHER SIDE-SWINGING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 LB. (73N) FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 LB. (146N) FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15 LB. (73N) FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE.
- F. REFER TO SPECIFICATIONS FOR HARDWARE SETS.

HM = HOLLOW METAL  
AL/WD = ALUMINUM CLAD WOOD  
WD = WOOD, STAIN GRADE MAPLE

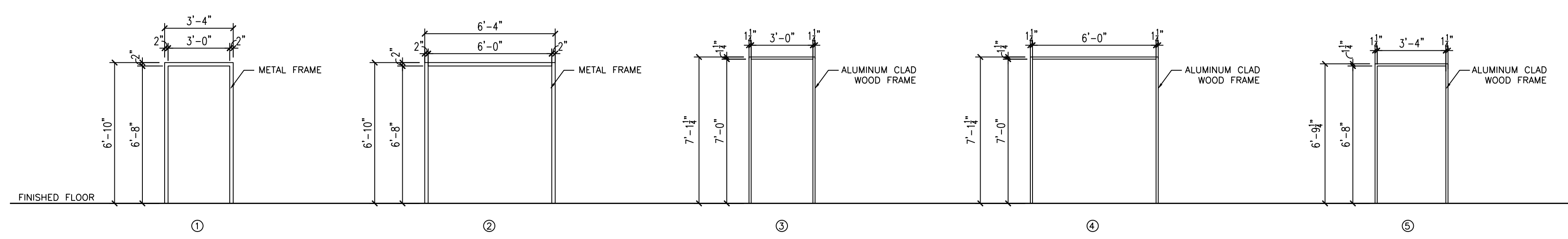


NOTE: FLASH PATCH AREA AROUND DOOR TO MAINTAIN 1/2" -----

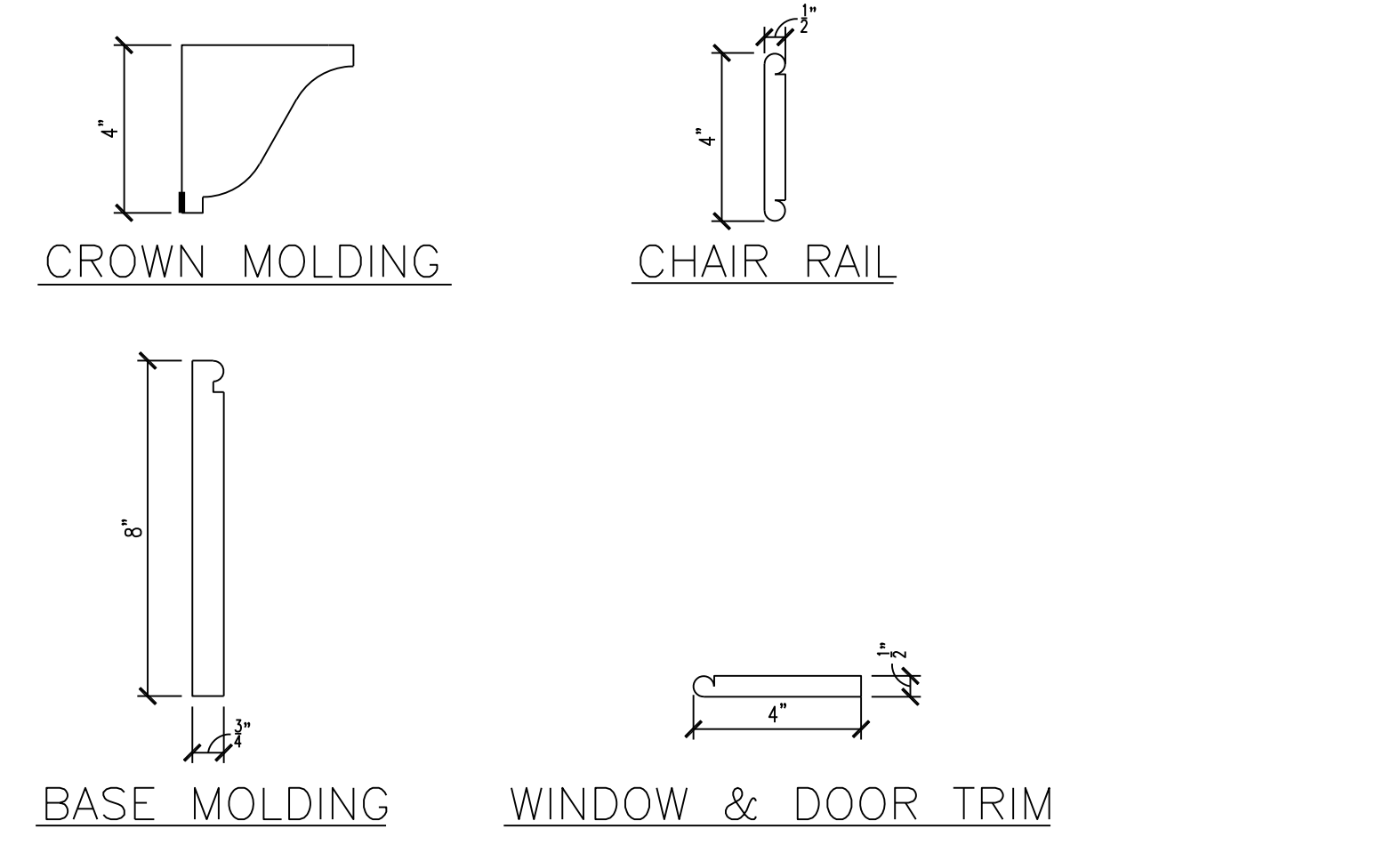
**M20 DOOR SCHEDULE**



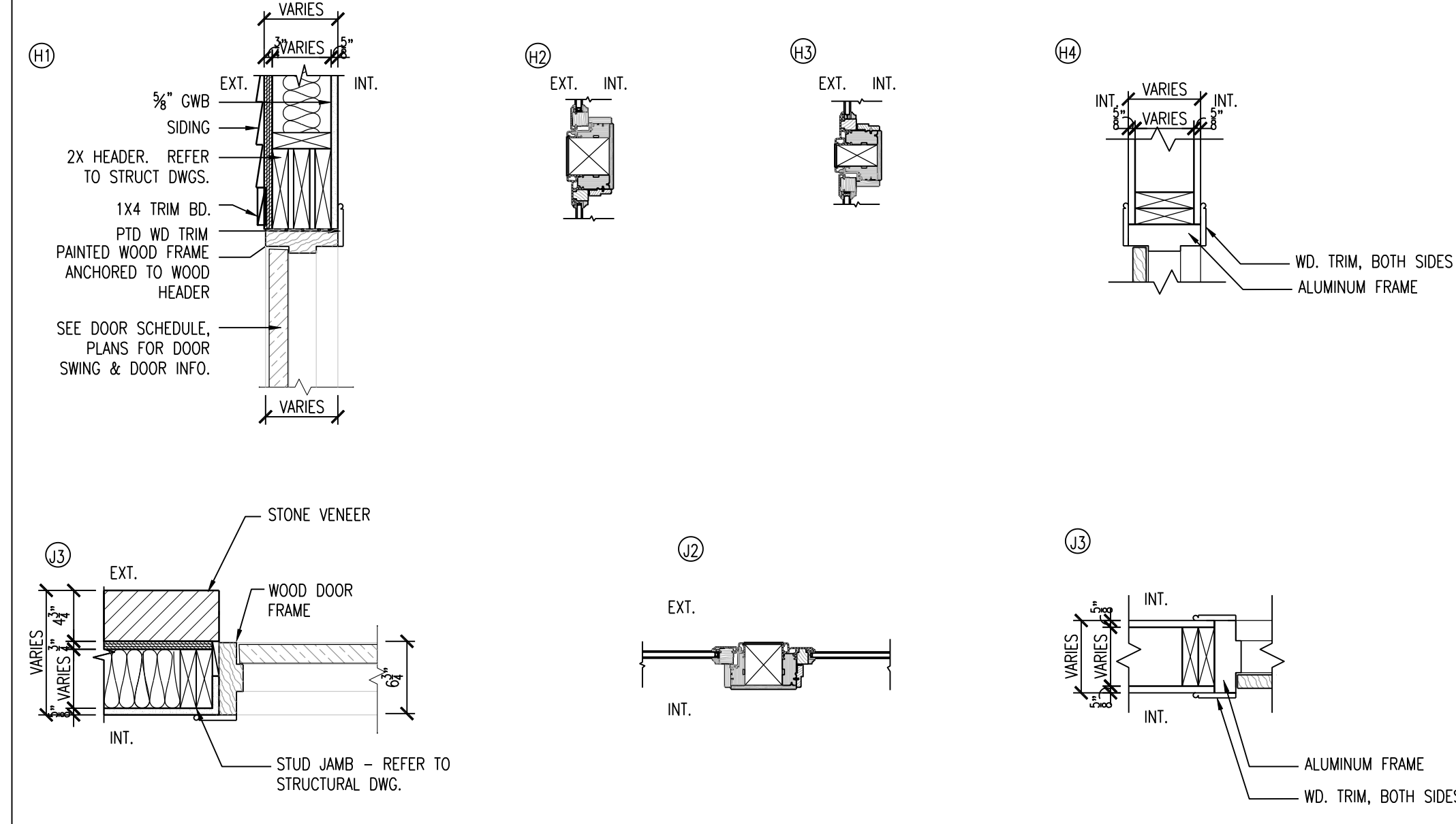
**G20 DOOR TYPES**



**A20 DOOR FRAMES**

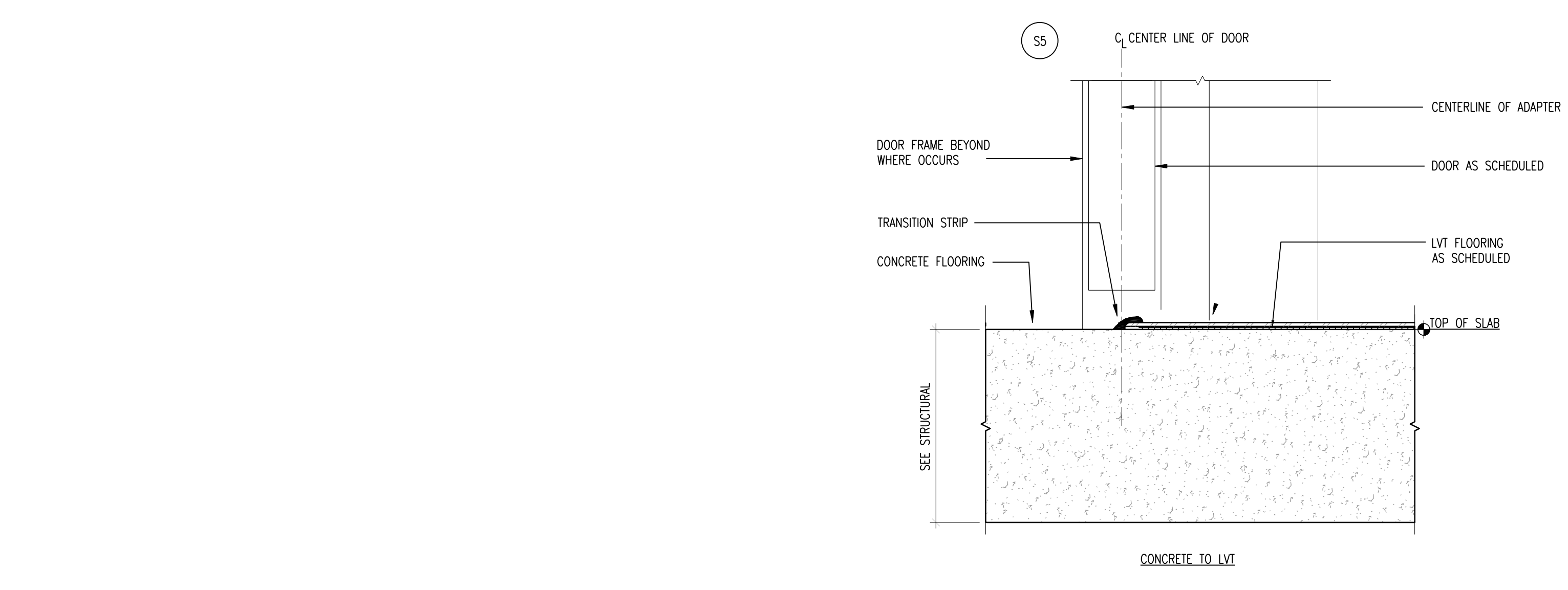
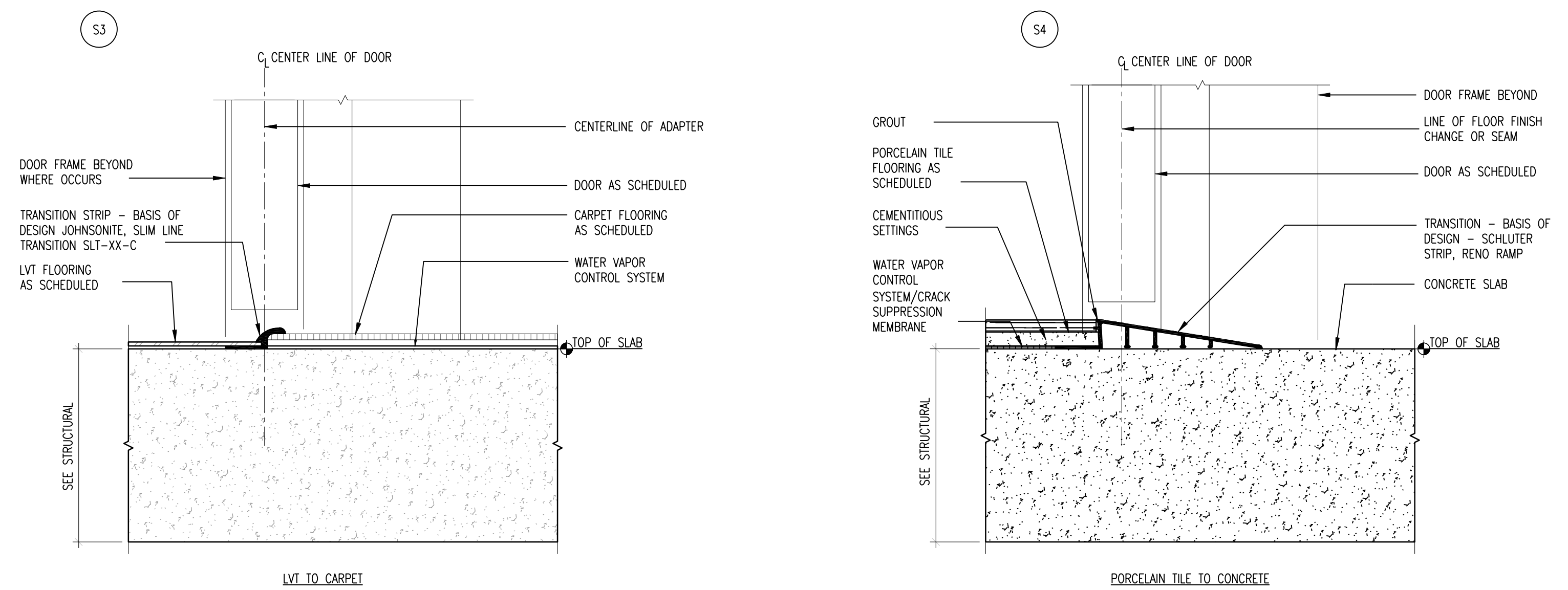


NOTES:  
1. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. PROFILES SHOWN ARE FOR REFERENCE ONLY.  
2. ALL MOLDING & TRIM TO BE STAIN GRADE MAPLE, CLEAR SATIN FINISH.



**A20 MOLDING PROFILES**

**A15 HEAD AND JAMB DETAILS**



**A9 SILL DETAILS**

**Clarke Catton Hintz**  
Architect  
1000 Broad Street  
Yardley, PA 19087  
Tel: (610) 891-9891  
Fax: (610) 891-9892  
www.clarkecattonhintz.com

OWNER:  
Township of Lower Merion  
1100 Edgewood Road  
Yardley, PA 19087  
(267) 274-1100

SITE CONSULTANT/TECHNICAL/ENVIRONMENTAL:  
Rocher & Jones, Inc.  
1408 Ferry Road, Building 500  
Doylesville, PA 19041  
(610) 345-9400 www.rjengr.com

STRUCTURAL:  
Hartman-Hartnett, P.C.  
40 Kocoles Street  
Parsippany, NJ 08054  
(800) 815-1828 www.hhpc.com

MEP/FP:  
Holman White, Inc.  
210 E. Street Road, Suite 25  
Fraudville, PA 19333  
(215) 322-7711 www.holmanwhite.com

**SUBMISSIONS**

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ARCHITECT  
PA LICENSE NO. BA-014857-B  
GEORGE M. HIBBS, AIA  
DATE: \_\_\_\_\_

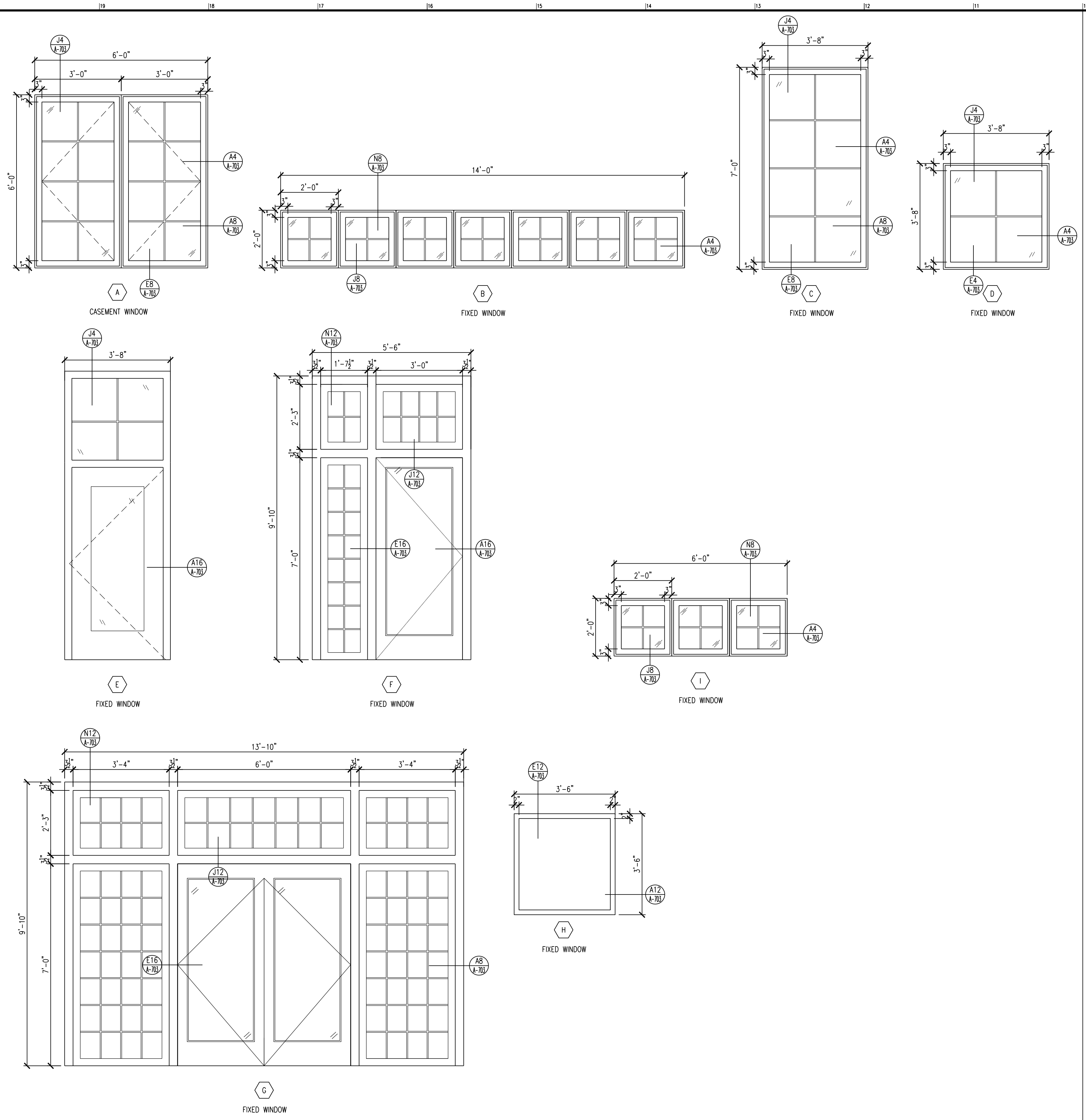
**Lower Merion  
Community Center**  
TMP 20-34-47  
Yardley, PA  
Edgewood Road & Oxford Valley Road

DATE: 3/4/2015  
SCALE:  
DRAWN BY: TR, ER  
CHECKED BY: MJH, GH

SHEET TITLE:  
**DOOR SCHEDULE  
& DETAILS**

DRAWING NO.:  
**A-901**

CCH PROJECT NO: 1833



**F20 WINDOW TYPES**

**WINDOW SCHEDULE**

WINDOW TYPE	WINDOW LOCATIONS	MATERIAL			REMARKS
		UNIT SIZE	FRAME	GLASS	
A	CLASSROOM 105 (3), OFFICE 103, CLASSROOM 120 (4), CONFERENCE 120	(2) 3'-0" W x 6'-0" H	WOOD	1" THICK CLEAR INSULATED, LOW "E"	BASIS OF DESIGN: ALUM CLD WD WINDOWS MANUF. BY ANDERSEN, E-SERIES
B	LOBBY	(7) 2'-0" W x 2'-0" H	WOOD	1" THICK CLEAR TEMP. INSULATED, LOW "E"	BASIS OF DESIGN: ALUM CLD WD WINDOWS MANUF. BY ANDERSEN, E-SERIES
C	MULTI-PURPOSE ROOM 113 (7)	3'-8" W x 7'-0" H	WOOD	1" THICK CLEAR INSULATED, LOW "E"	BASIS OF DESIGN: ALUM CLD WD WINDOWS MANUF. BY ANDERSEN, E-SERIES - AUXILIARY
D	MULTI-PURPOSE ROOM 113 (14), KITCHEN	3'-8" W x 3'-8" H	WOOD	1" THICK CLEAR TEMP. INSULATED, LOW "E"	BASIS OF DESIGN: ALUM CLD WD WINDOWS MANUF. BY ANDERSEN, E-SERIES
E	MULTI-PURPOSE ROOM 113 (2)	X'-X" W x X'-X" H	WOOD	1" THICK CLEAR TEMP. INSULATED, LOW "E"	BASIS OF DESIGN: ALUM CLD WD WINDOWS MANUF. BY ANDERSEN, E-SERIES
F	VESTIBULE 106, CORRIDOR 108	X'-X" W x X'-X" H	WOOD	1" THICK CLEAR INSULATED, LOW "E"	BASIS OF DESIGN: ALUM CLD WD WINDOWS MANUF. BY ANDERSEN, E-SERIES
G	VESTIBULE 101, LOBBY 102	X'-X" W x X'-X" H	WOOD	1" THICK CLEAR INSULATED, LOW "E"	BASIS OF DESIGN: ALUM CLD WD WINDOWS MANUF. BY ANDERSEN, E-SERIES
H	VESTIBULE 101 (2), LOBBY 102 (2)	3'-6" W x 3'-6" H	2" HOLLOW METAL	1/2" THICK CLEAR INSULATED, LOW "E"	3/4 HOUR FIRE PROTECTED SAFETY GLAZING IN ACCORDANCE W/ NFPA 257 OR UL9

NOTE:  
ALL GLAZING TO BE ANDERSEN 1" INSULATED LOW E4 GLAZING W/ GRILLES BTWN. GLASS.  
NFCR # EWD-N-84-00169-00006

**A20 WINDOW SCHEDULE**

**Clarke Catton Hintz**  
Architecture  
1000 Broad Street  
Yardley, PA 19087  
Tel: (610) 893-9878  
Fax: (610) 893-9879  
www.clarkecattonhintz.com

OWNER:  
Township of Lower Makefield  
1100 Edgewood Road  
Yardley, PA 19087  
(215) 274-1100

SITE/CIVIL/GEOTECHNICAL/ENVIRONMENTAL:  
Boecker & James, Inc.  
1408 Ferry Road, Building 500  
Dyersburg, PA 19501  
(610) 365-8400 www.bjengr.com

STRUCTURAL:  
Hamilton-Hammitt, P.C.  
40 Koomles Street  
Parsippany, NJ 08854  
(800) 815-1828 www.hhpc.com

MEP/FP:  
Holstein White, Inc.  
210 E. Street Road, Suite 25  
Framersville, PA 19033  
(215) 322-7711 www.holsteinwhite.com

**SUBMISSIONS**

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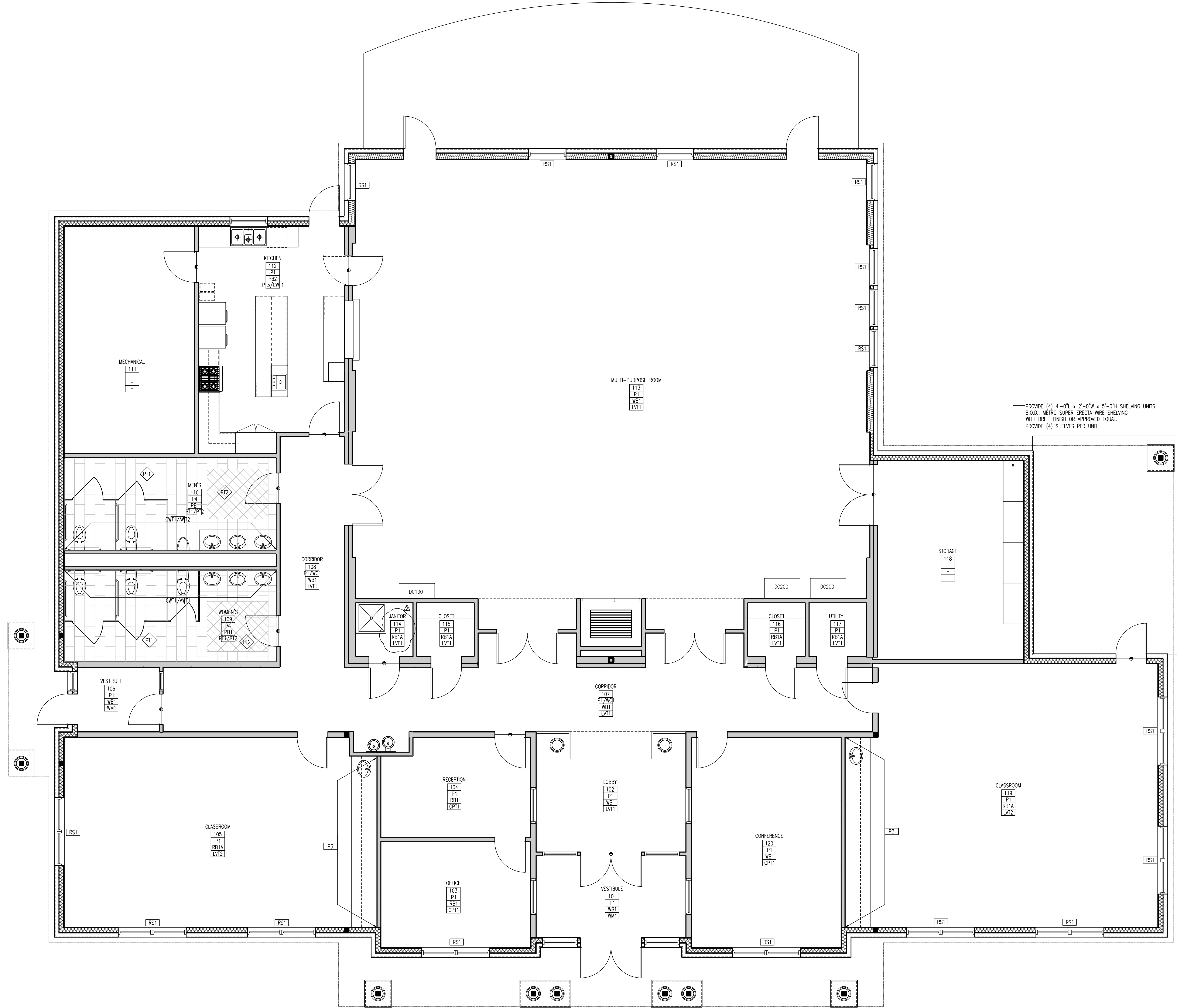
ARCHITECT  
PA LICENSE NO. BA-014857-B  
GEORGE M. HIBBS, AIA  
DATE: \_\_\_\_\_

**Lower Makefield  
Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/4/2015  
SCALE:  
DRAWN BY: TR, ER  
CHECKED BY: MJH, GH

SHEET TITLE:  
**WINDOW  
SCHEDULE &  
DETAILS**

DRAWING NO.:  
**A-902**  
CCH PROJECT NO: 1833



- BASIS OF DESIGN**
- CEILING FINISHES**
- ACP1 = ACOUSTIC CEILING PANEL  
 Manuf: ARMSTRONG  
 Style name: ULTIMA  
 Style number: 1902  
 Size: 24x24, BEVELED REGULAR  
 Color: WHITE  
 Suspension: SUPRAFINE XL 1/2" EXPOSED TEE - 7500  
 Color: WHITE
- ACP2 = ACOUSTIC CEILING PANEL  
 Manuf: ARMSTRONG  
 Style name: ULTIMA  
 Style number: 1914  
 Size: 24x48  
 Color: WHITE  
 Suspension: SUPRAFINE XL 1/2" EXPOSED TEE-7500  
 Color: WHITE
- ACP3 = ACOUSTIC CEILING PANEL  
 Manuf: ARMSTRONG  
 Style name: KITCHEN ZONE  
 Style number: 672  
 Size: 24x48  
 Color: WHITE  
 Suspension: PRELUDE XL 15/16-7300  
 Color: WHITE
- ACP4 = ACOUSTIC CEILING PANEL  
 Manuf: ARMSTRONG  
 Style name: KITCHEN ZONE  
 Style number: 673  
 Size: 24x24  
 Color: WHITE  
 Suspension: PRELUDE XL 15/16-7300  
 Color: WHITE
- FLOORING FINISHES**
- PT1 = PORCELAIN FLOOR TILE  
 Manuf: CROSSVILLE  
 Style name: STRUCTURE  
 Color: TIMBER, AV224  
 Size: 12X24  
 Location: Restrooms
- PT2 = PORCELAIN FLOOR TILE  
 Manuf: CROSSVILLE  
 Style name: MAIN STREET  
 Color: BISTRO BROWN, AV213  
 Size: 12X12  
 Location: KITCHEN
- PT3 = PORCELAIN FLOOR TILE  
 Manuf: CROSSVILLE  
 Style name: GEO ACCENTS  
 Color: GE236 COCOA CHANEL  
 Size: 24X24  
 Installation Method: QUARTERTURN  
 Location: Reception, Office, Conference
- CPT1 = CARPET TILE  
 Manuf: BOLYU  
 Style name: NATURAL WOOD  
 Style Number: BLVP  
 Color: 009 VINTAGE TEAK  
 Size: 4'x36"  
 Location: Classrooms
- LV1 = LUXURY VINYL TILE  
 Manuf: ARMSTRONG  
 Style Name: ARDSORBAT  
 Style Number: TP075  
 Color: HANDCRAFTED NUTMEG  
 Size: 6'x48"  
 Location: Lobby, Corridors, Closets, Multipurpose
- LV2 = LUXURY VINYL TILE  
 Manuf: BOLYU  
 Style Name: CUSTOM  
 Height: 5"  
 Location: Lobby, Corridors, Multi-Purpose Room
- WM1 = WALK OFF MAT  
 Manuf: KINETEX  
 Style: VELOCITY (1814)  
 Color: 1607 REACTION  
 Size: 24"x24"  
 Installation Method: QUARTER TURN  
 Location: Vestibules
- WALL FINISHES**
- AW1 = ACCENT WALL TILE  
 Manuf: AMERICAN OLEAN  
 Style name: COLOR APPEAL RANDOM INTERLOCKING  
 Color: WILLOWBROOK BLEND C129  
 Size: 12X12 TO BE CUT TO 6X12 PIECES  
 Location: Women's Restroom
- AW2 = ACCENT WALL TILE  
 Manuf: AMERICAN OLEAN  
 Style name: COLOR APPEAL RANDOM INTERLOCKING  
 Color: PECAN GROVE BLEND C132  
 Size: 12X12 TO BE CUT TO 6X12 PIECES  
 Location: Men's Restroom
- CW1 = CERAMIC WALL TILE  
 Manuf: AMERICAN OLEAN  
 Style name: GLAZED CERAMIC BEVEL  
 Color: MATTE DESIGNER WHITE WALL TILE 0061  
 Size: 3X6  
 Location: Restrooms
- CRT1 = COUNTER RAIL TILE  
 Manuf: AMERICAN OLEAN  
 Style: 26-CRE  
 Color: MATTE DESIGNER WHITE 0061  
 Size: 2 X 6 1/2  
 Location: Restrooms
- FW1 = FABRIC WALL COVERING  
 Manuf: DESIGN TEX  
 Style name: LUMA  
 Style Number: 111873-709  
 Color: LINEN  
 Width: 56"  
 Location: Movable partition in multipurpose room
- P1 = PAINT  
 Manuf: SHERWIN WILLIAMS  
 Color: WESTHIGHLAND WHITE  
 Color number: SW7569  
 Finish: EGGSHELL  
 Location: GENERAL WALLS
- GENERAL FINISH NOTES:**
- WALL, CEILING, AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS DRAWINGS INDICATE THAT THE ROOM IS TO BE "UNFINISHED" OR EXPOSED WITHOUT FINISH. IF ROOM FINISHES ARE NOT INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT.
  - ALL RUBBER BASE TO BE 4" HIGH UNLESS OTHERWISE NOTED.
  - FLOOR TILE TO MEET THE MINIMUM STANDARD COEFFICIENT OF FRICTION.
  - UTILIZE EGGSHELL FINISH PAINT ON WALLS, FLAT FINISH ON CEILINGS/UNDERSIDE OF SOFFITS, U.O.N.
  - ALL PTD TRIM/FRAMES/DOORS TO BE SEMI-GLOSS FINISH
  - REFER TO DOOR SCHEDULE FOR SCHEDULED PAINT FINISH ON ALL TRIM, FRAMES, AND DOORS.
  - VISIBLE METAL COMPONENTS OF FIRE EXT. CABINETS TO BE PAINTED TO MATCH ADJACENT WALL SURFACE. PROVIDE NEW MFR STANDARD "FIRE EXTINGUISHER" LABELING.
  - REFER TO BUILDING SECTIONS AND INTERIOR ELEVATIONS FOR EXTENTS OF ACCENT COLORS AND/OR MATERIALS.
  - PAINT ALL EXPOSED STEEL CONDUIT, DUCTWORK, PIPING ETC. IN ALL FINISHED SPACES WITH EXPOSED CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
  - FLOOR MATERIAL TRANSITIONS TO OCCUR AT THE CENTERLINE OF THE CLOSED DOOR OR AS OTHERWISE INDICATED.
- C4 FINISH NOTES AND LEGEND**
- 

**Clarke Catton Hintz**  
 Architecture  
 Landscape Architecture  
 1000 Walnut Street  
 3rd Floor  
 Philadelphia, PA 19106  
 Tel: (215) 561-8800  
 Fax: (215) 561-8801  
 www.clarkecattonhintz.com

**OWNER:**  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

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 1468 Ferry Road Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengneers.com

**STRUCTURAL:**  
 Hanson-Harmer, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 818-1888 www.hjpcose.com

**MEP / PIP:**  
 Holstein-White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19053  
 (215) 322-7711 www.holsteinwhite.com

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NO.	DATE	DESCRIPTION
1	4/22/2015	DOH COMMENTS

**ARCHITECT:**  
 PA LICENSE NO. PA-014857-B  
 GEORGE M. WEBER, AIA

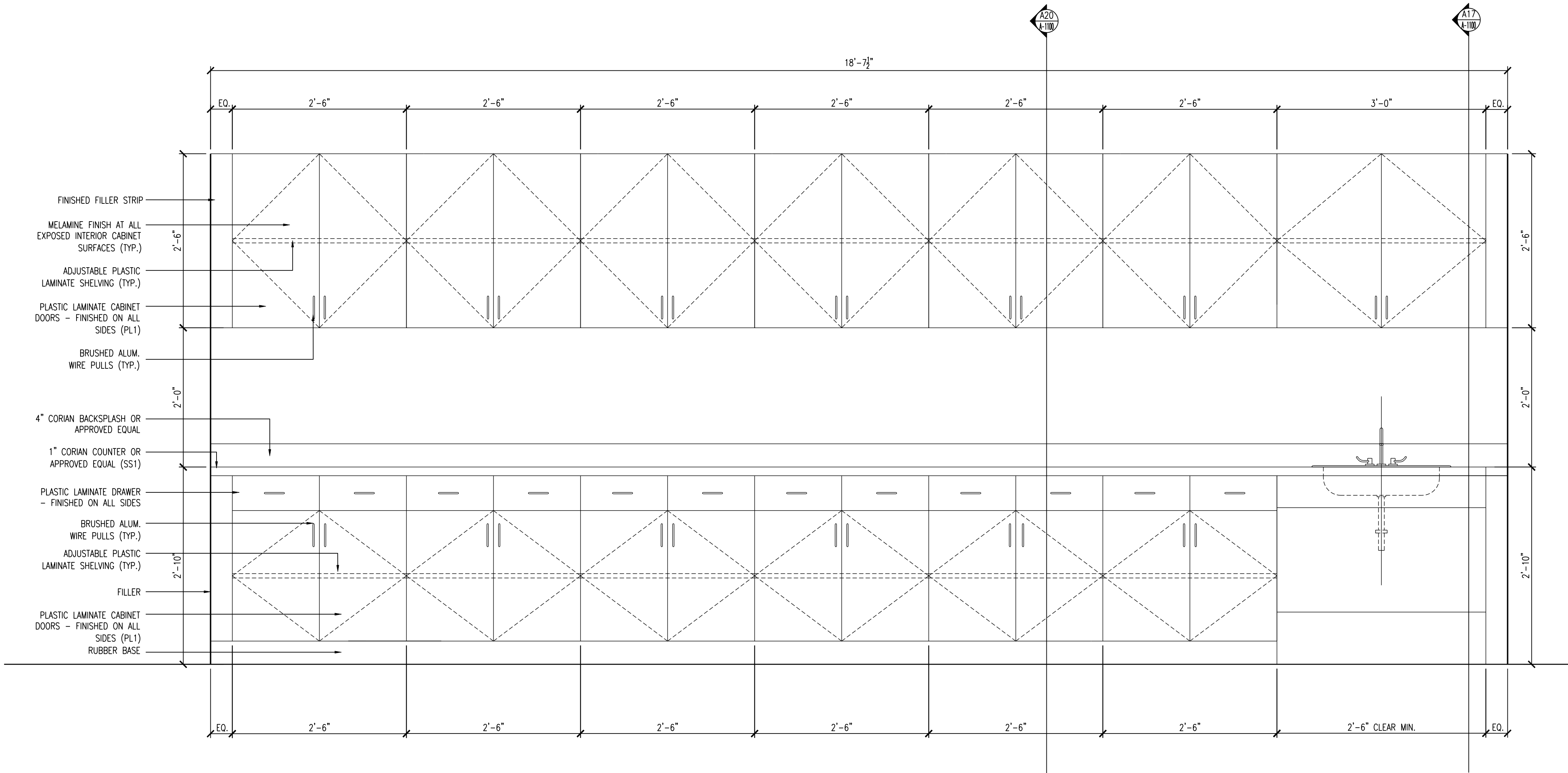
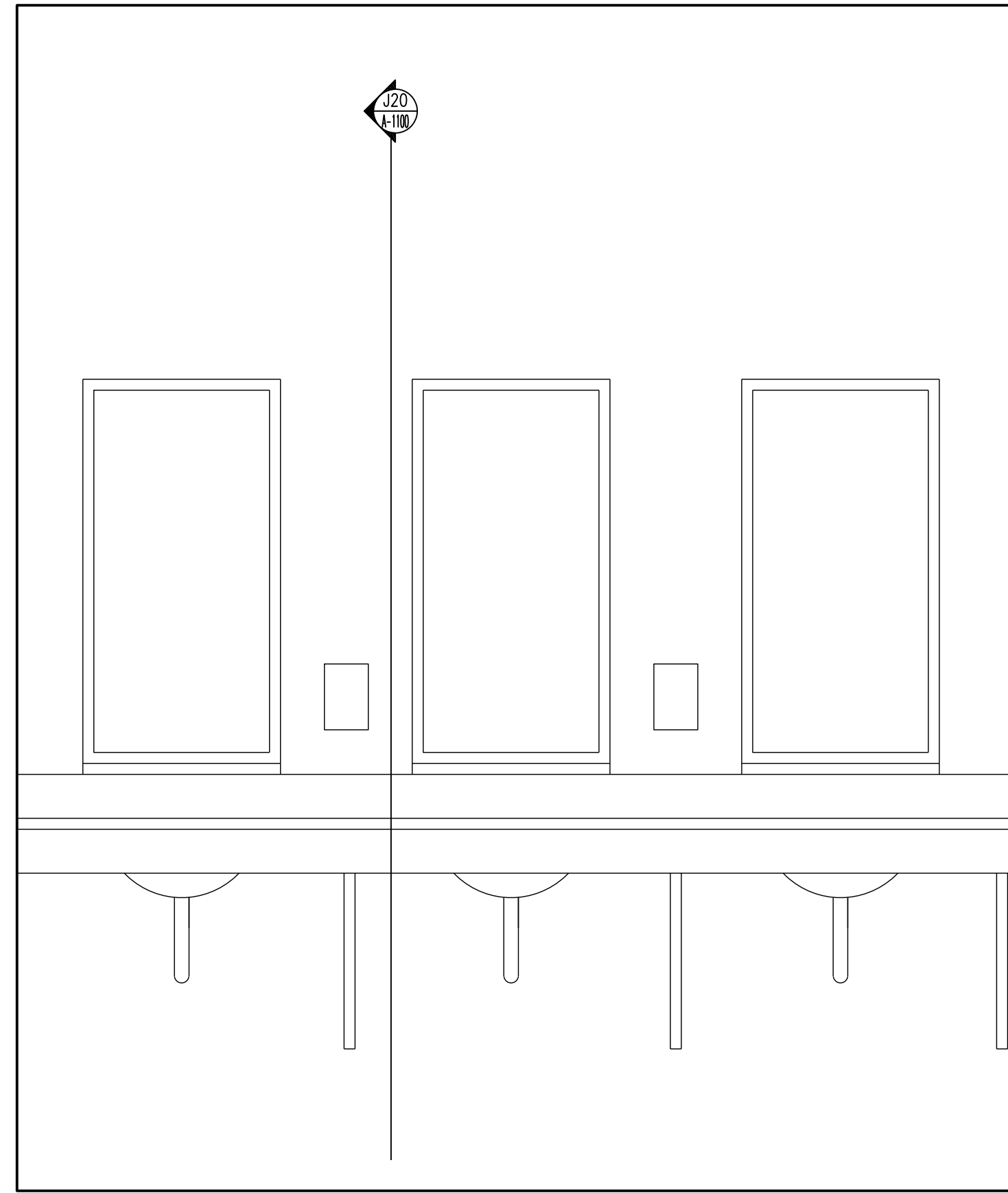
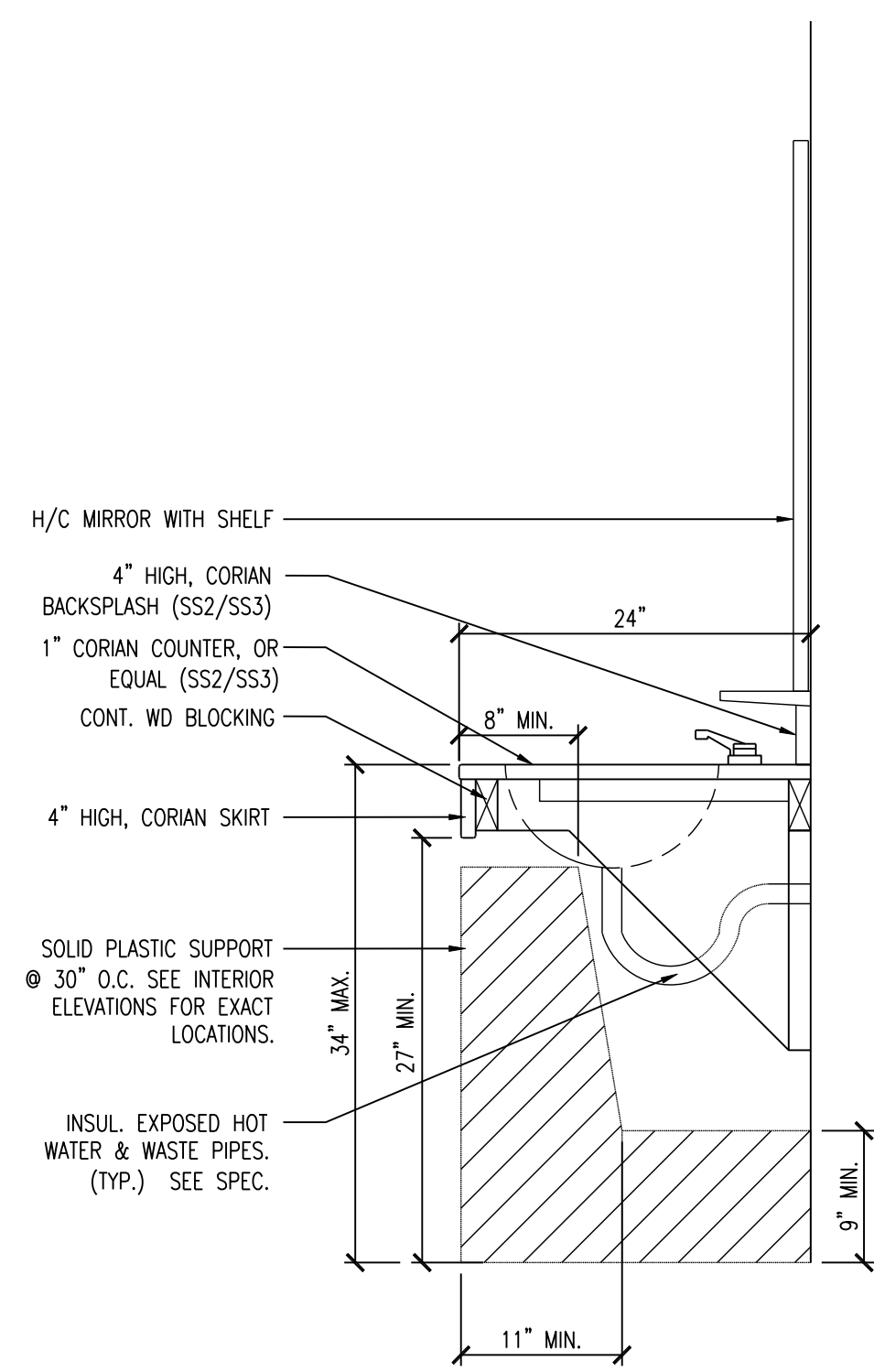
**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

**DATE:** 3/4/2015  
**SCALE:** AS NOTED  
**DRAWN BY:** TR, ER  
**CHECKED BY:** MJH, GH

**SHEET TITLE:**  
**FIRST FLOOR FINISH PLAN**

**DRAWING NO.:**  
**A-1000**

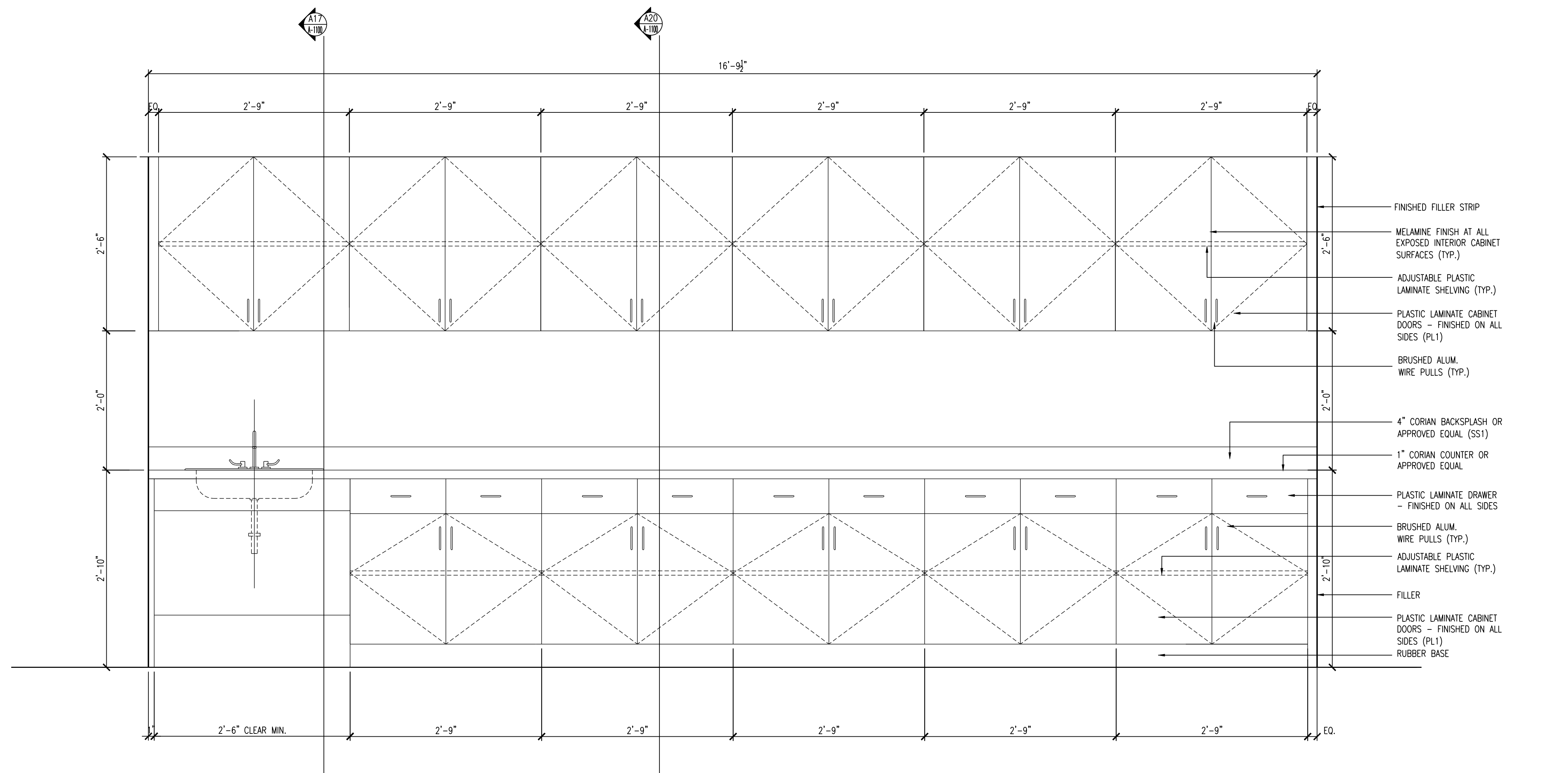
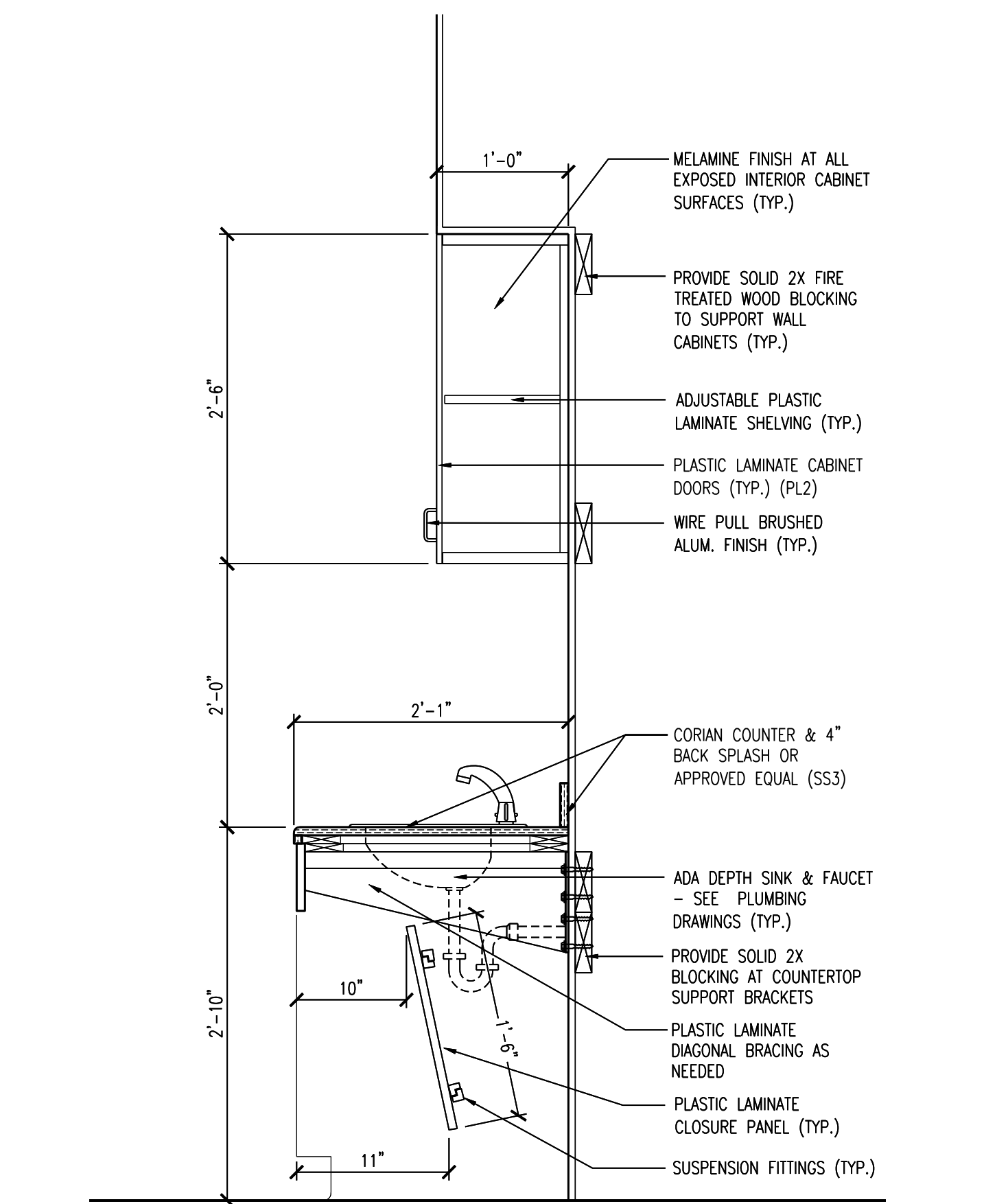
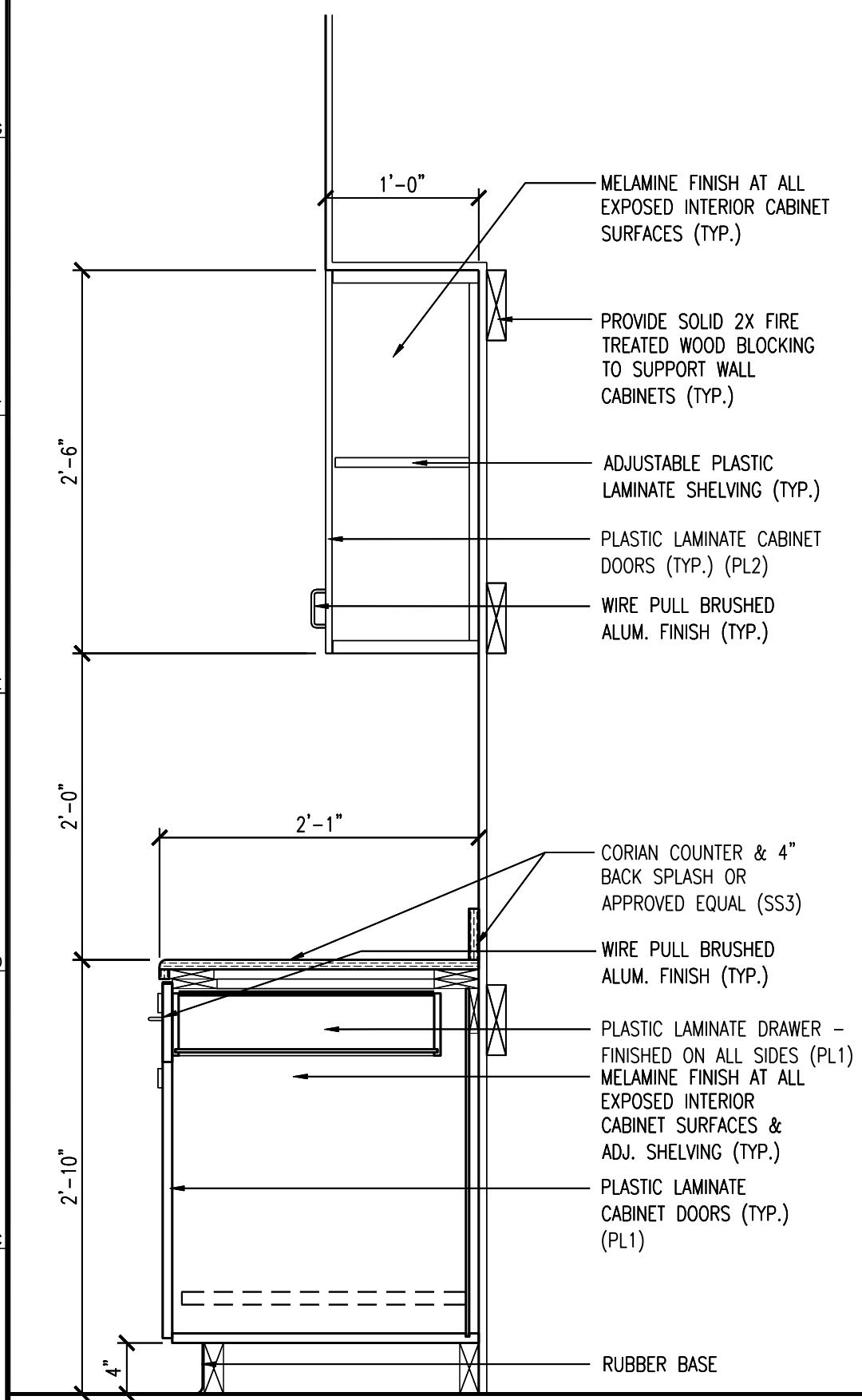
**CCH PROJECT NO.:** 1833



J20 TYPICAL MILLWORK SECTION SCALE: 1" = 1'-0"

J17 RESTROOM 109 & 110 MILLWORK ELEVATION SCALE: 1" = 1'-0"

J12 CLASSROOM 119 MILLWORK ELEVATION SCALE: 1" = 1'-0"



A20 TYPICAL MILLWORK SECTION SCALE: 1" = 1'-0"

A17 TYPICAL MILLWORK SECTION SCALE: 1" = 1'-0"

A12 CLASSROOM 105 MILLWORK ELEVATION SCALE: 1" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
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OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (267) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
 Broecker & Jermol, Inc.  
 1456 Fairy Road, Building 500  
 Doylestown, PA 18001  
 (215) 345-9400 www.bjengineering.com

STRUCTURAL:  
 Harrison-Hammett, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 815-1888 www.hjpcsa.com

MEP / FF / P:  
 Holsinger White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7711 www.holsingerwhite.com

SURFACE MOUNTED ELECTRONIC  
 OVERHEAD COILING SECURITY  
 SHUTTER,  
 E.O.D.; QM SECURITY SOLUTIONS  
 COUNTER SAFE AL7-E EXTRUDED  
 ALUMINUM SINGLE WALL SHUTTER  
 W/ STYLE 51 PUNCH PATTERN.  
 COLOR TO BE SELECTED FROM  
 MANUFACTURERS FULL RANGE OF  
 COLORS

SUBMISSIONS  
 NO. DATE DESCRIPTION  
 1 3/4/2015 ISSUED FOR CONSTRUCTION

REVISIONS

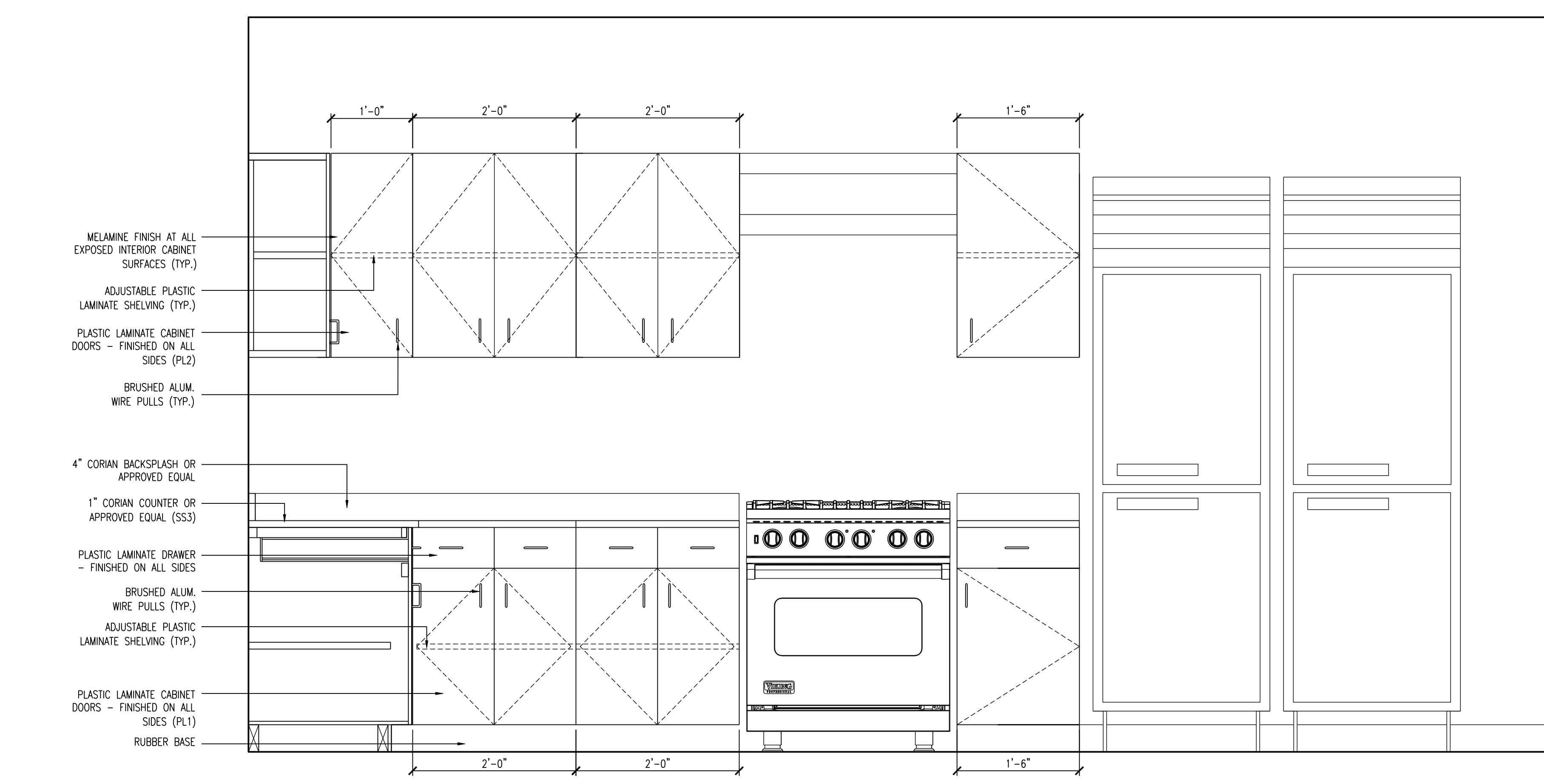
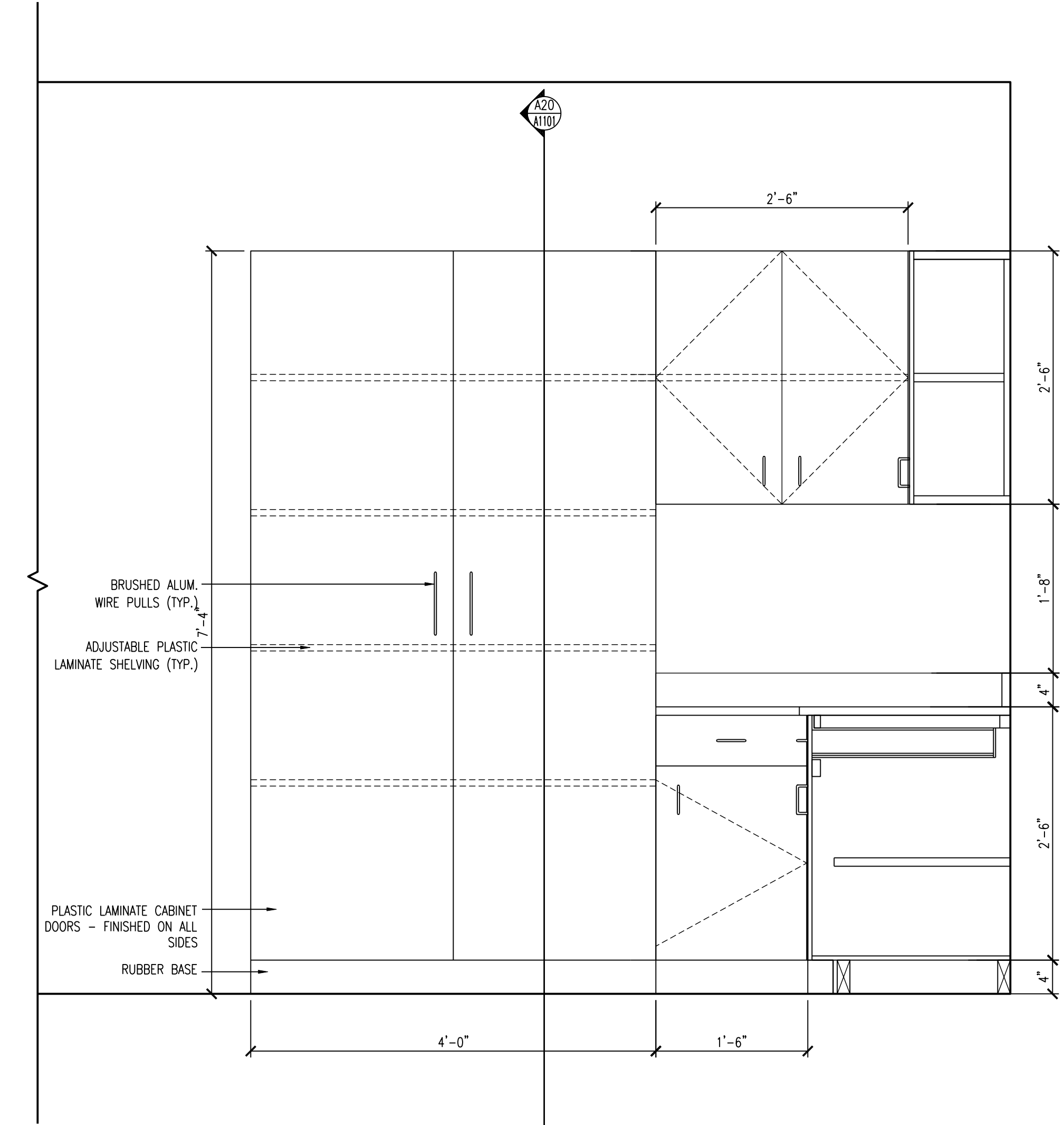
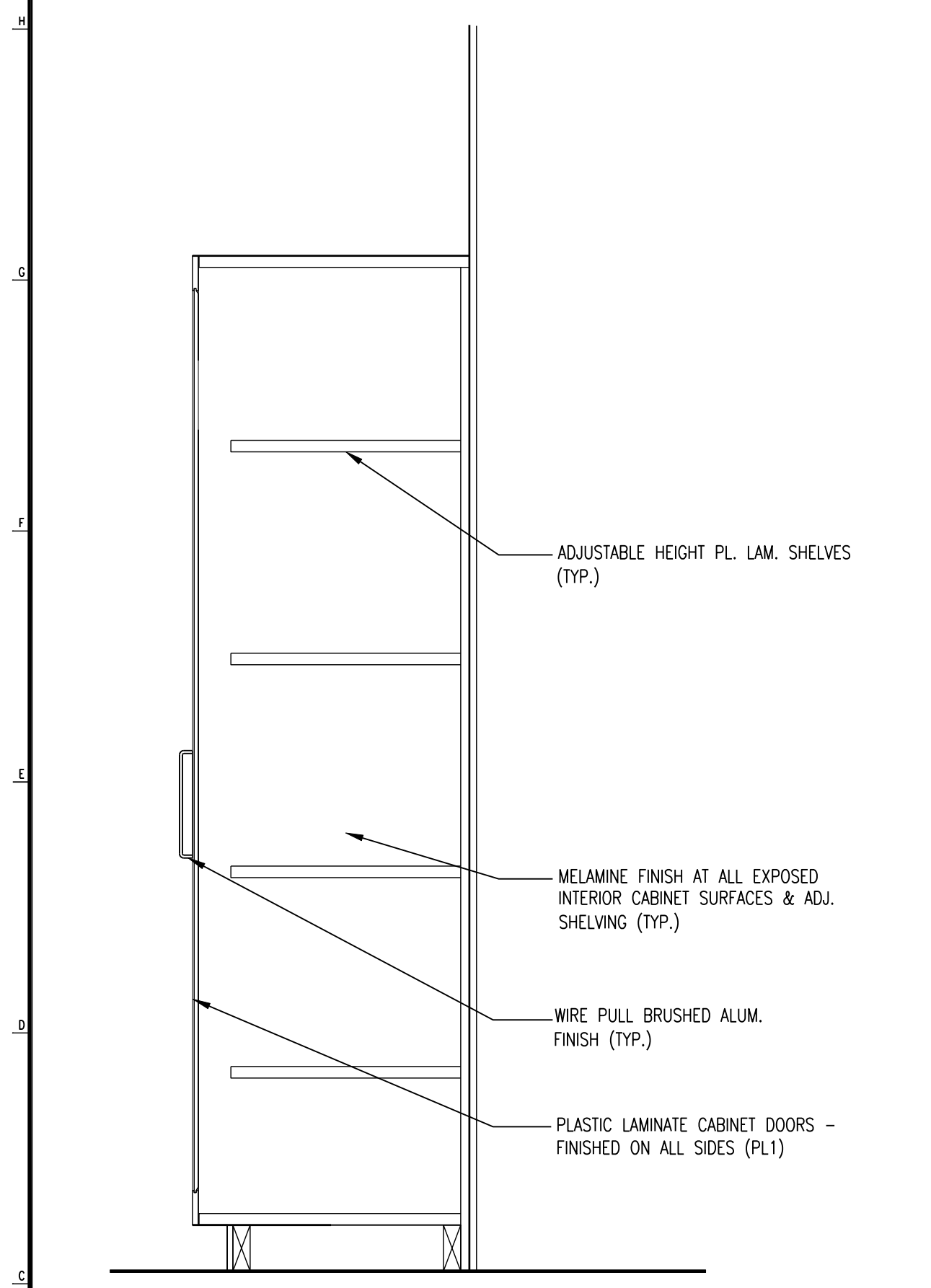
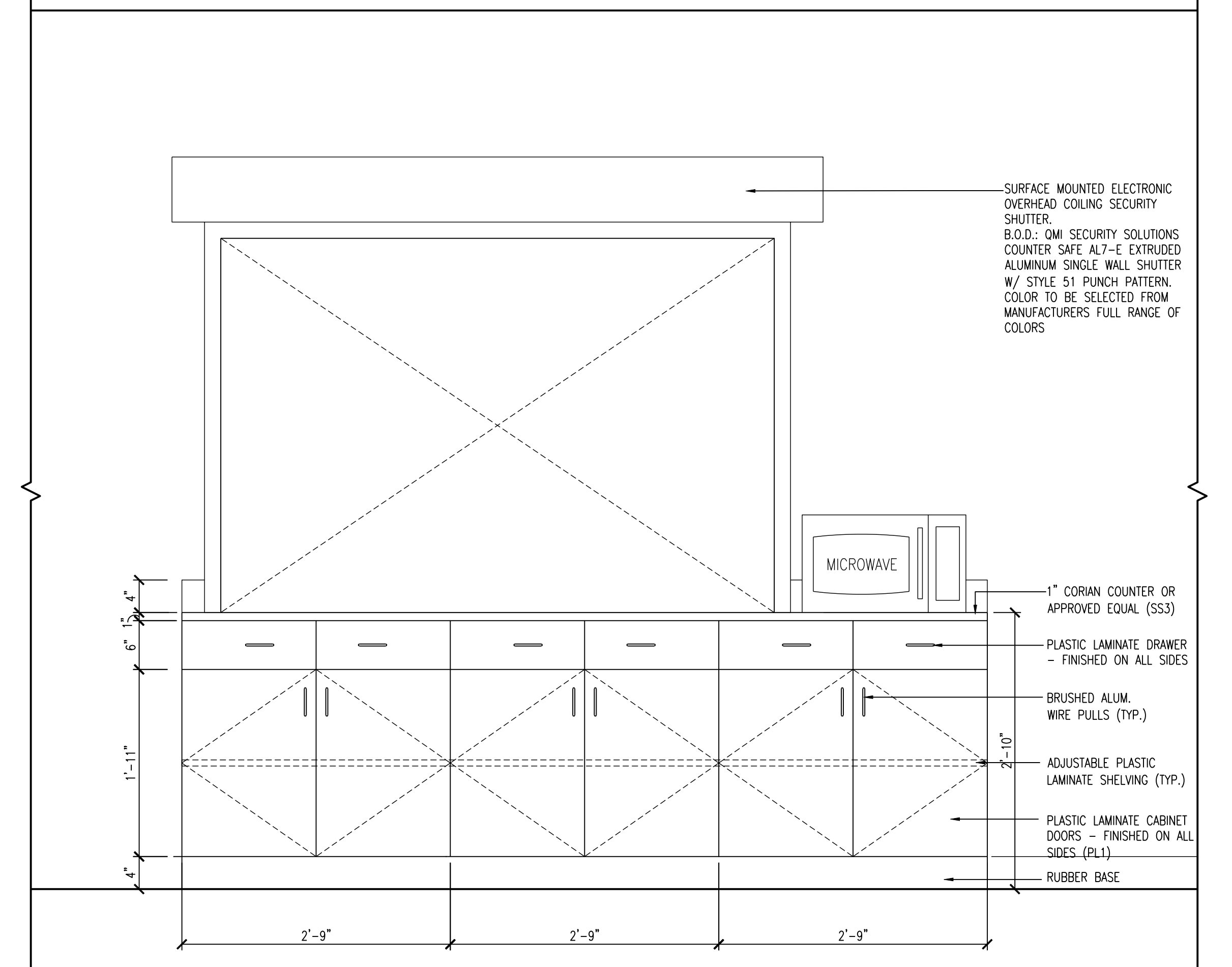
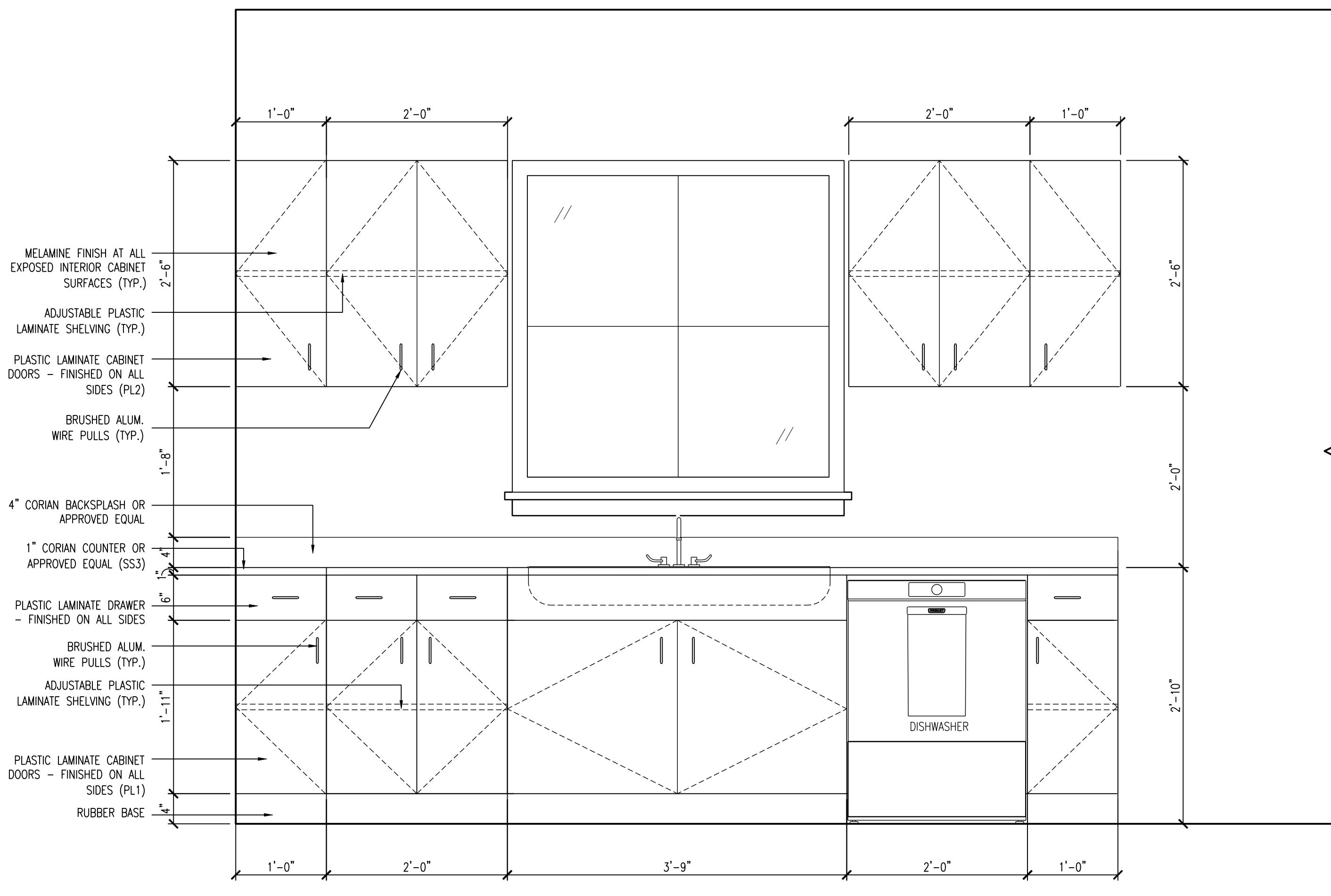
ARCHITECT  
 PA LICENSE NO. PA-014857-B  
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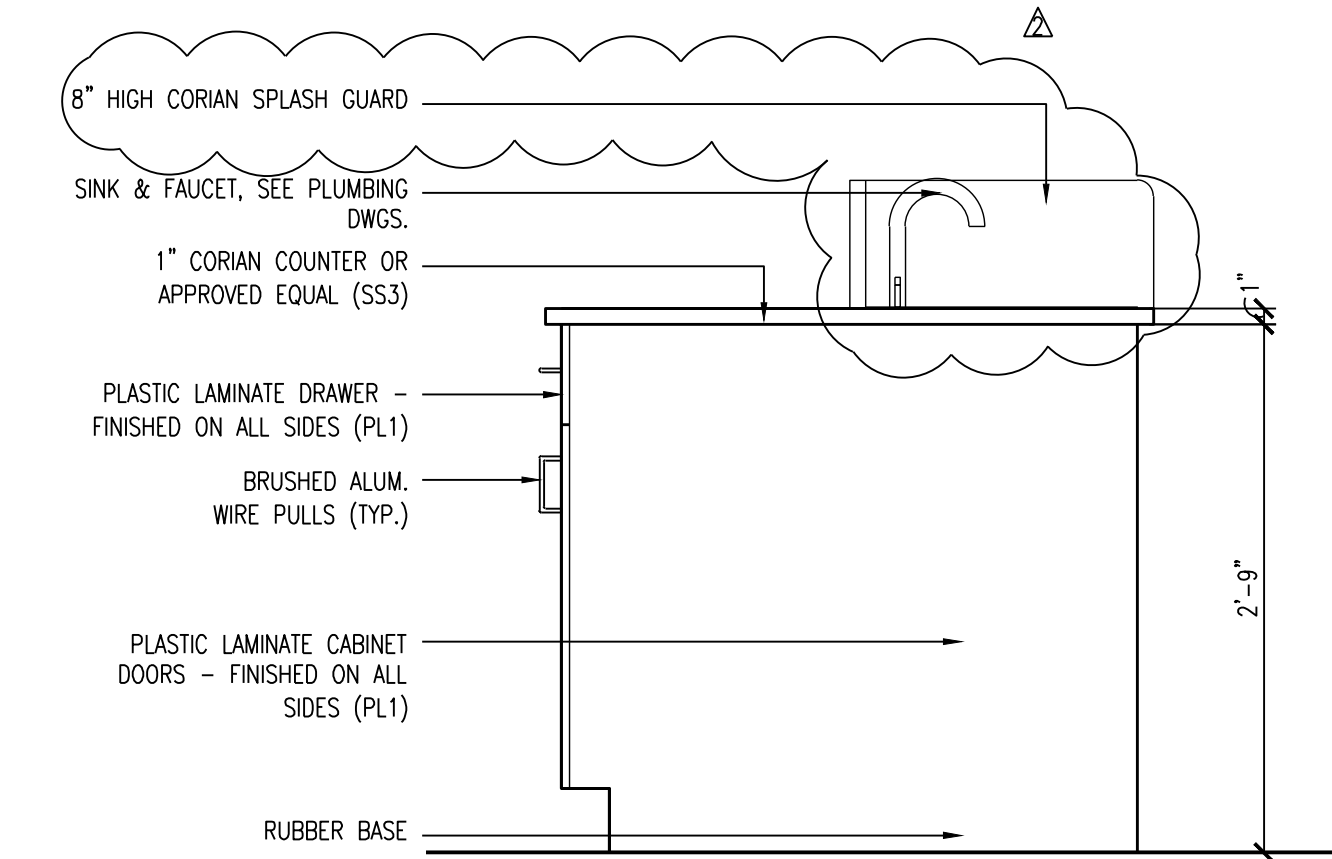
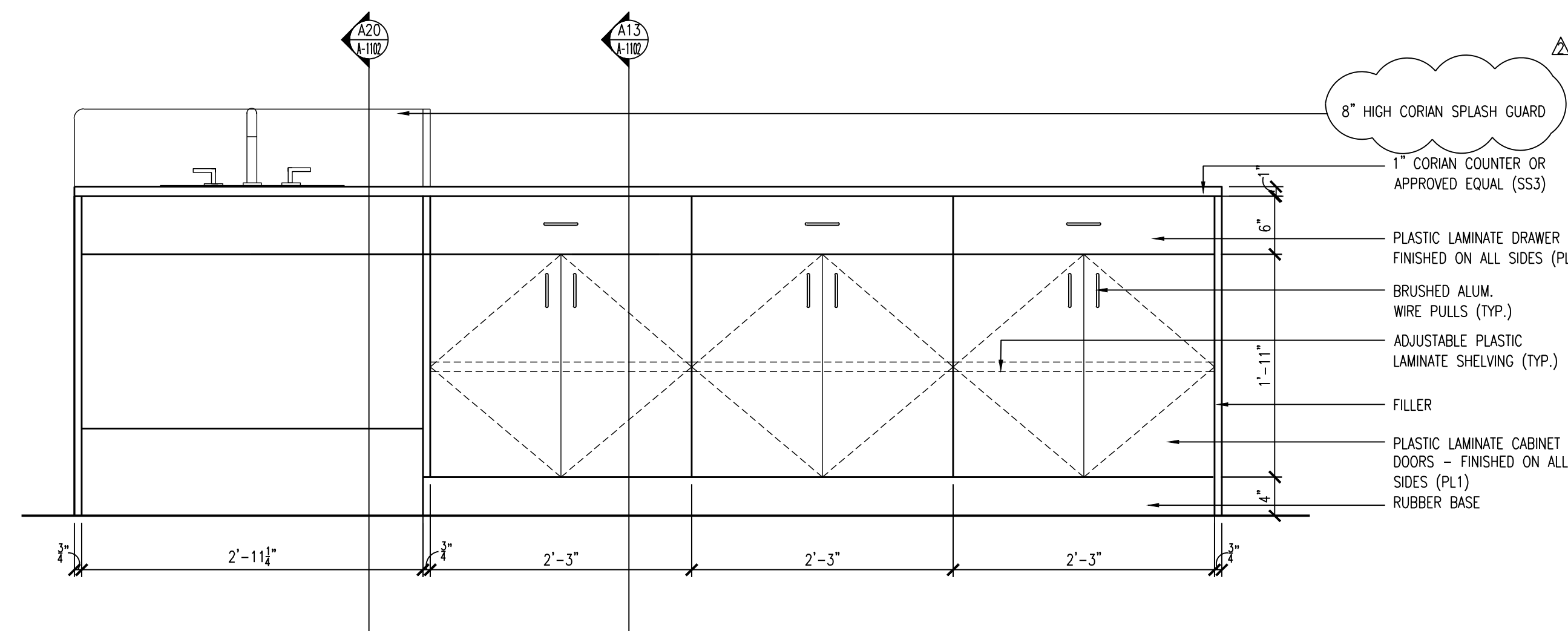
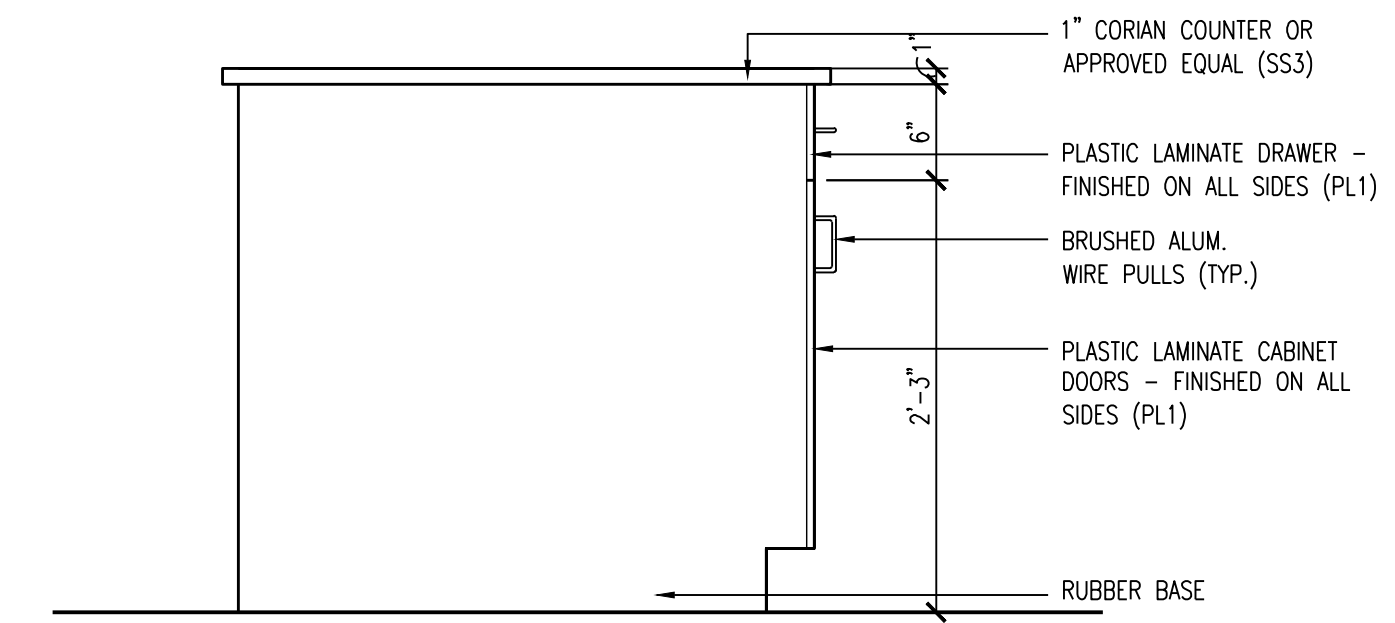
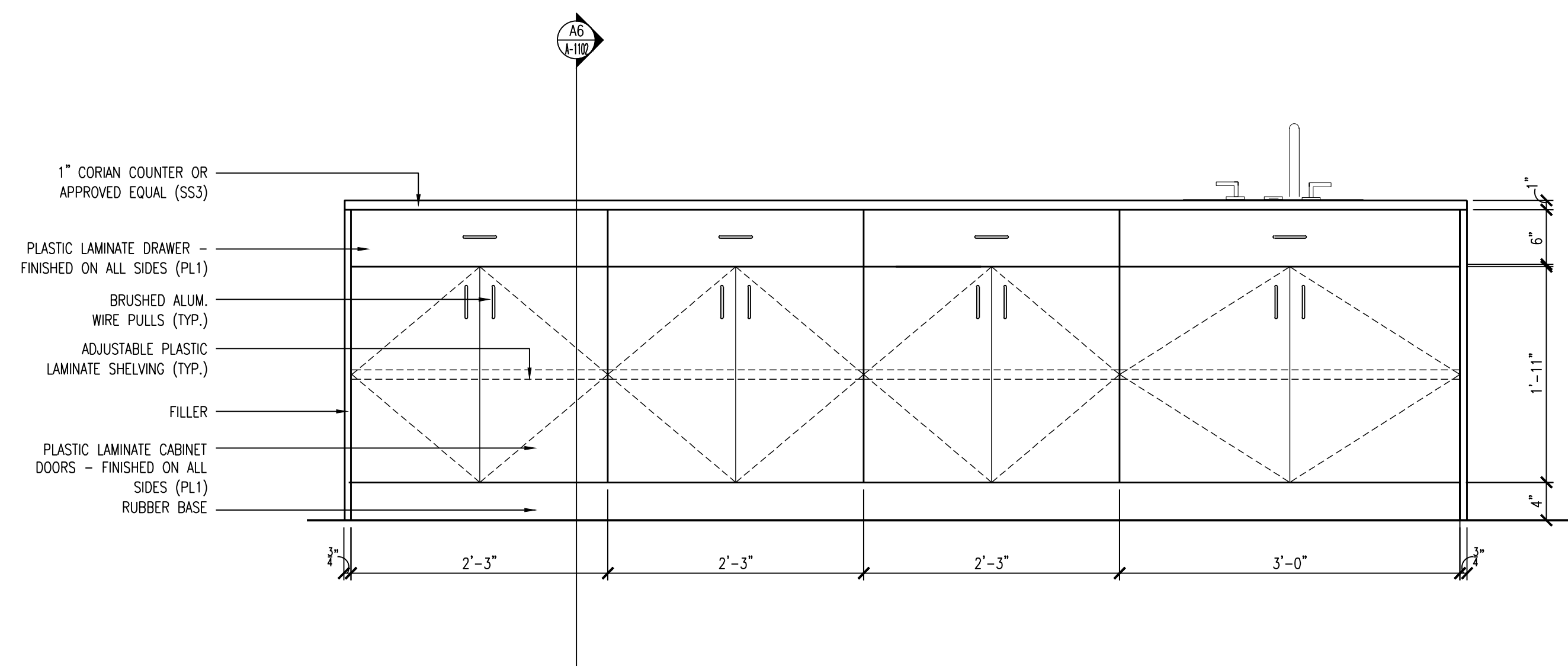
**Lower Makefield  
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 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

DATE: 3/4/2015  
 SCALE: AS NOTED  
 DRAWN BY: TR, ER  
 CHECKED BY: MJH, GH

SHEET TITLE:  
**MILLWORK  
 DETAILS**

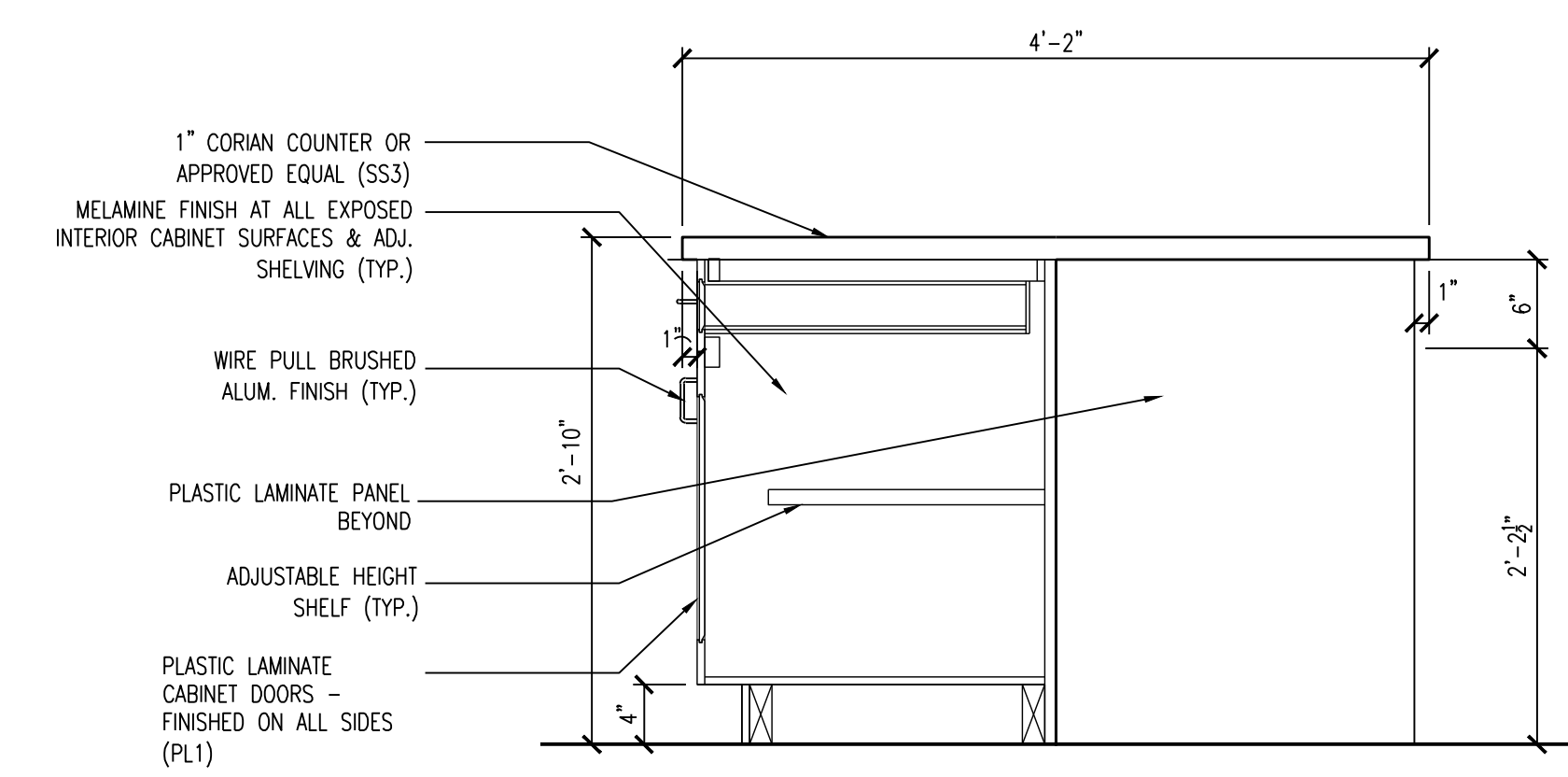
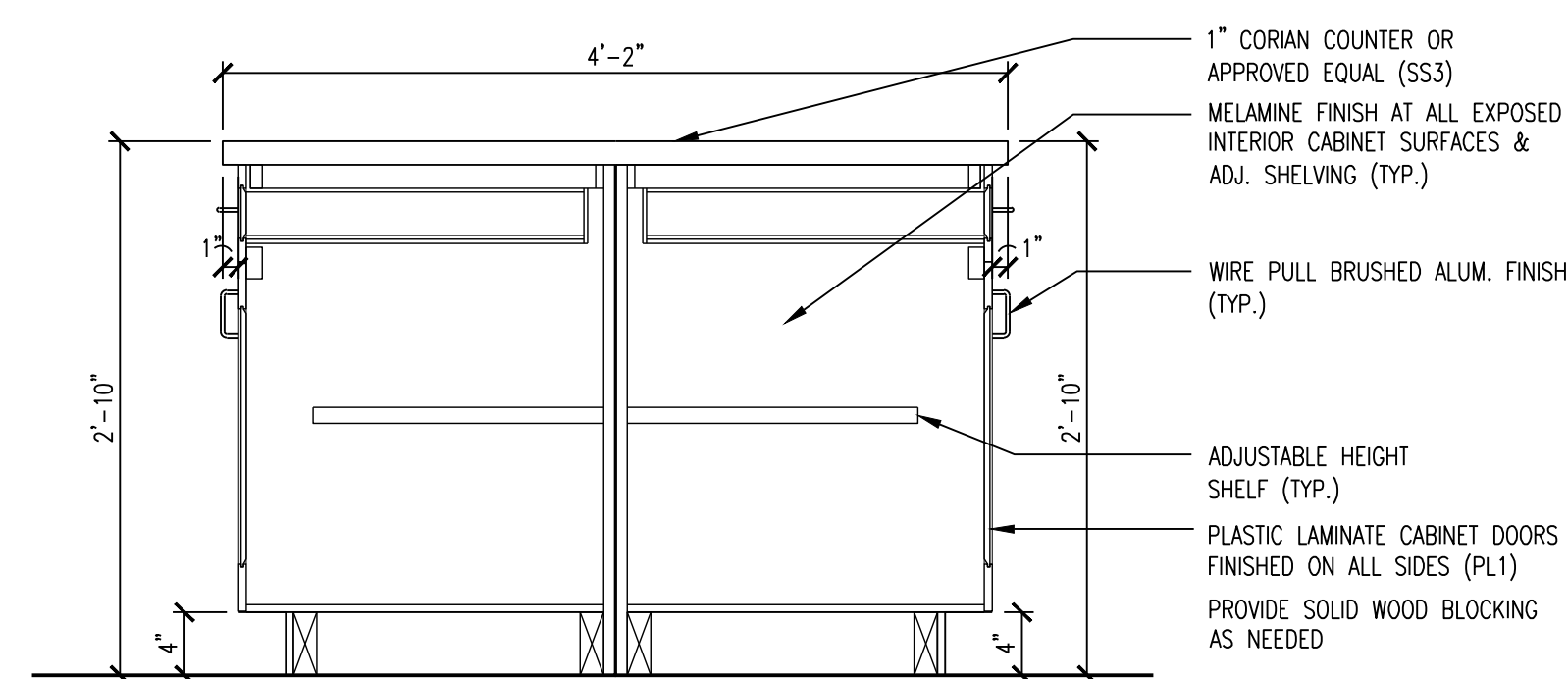
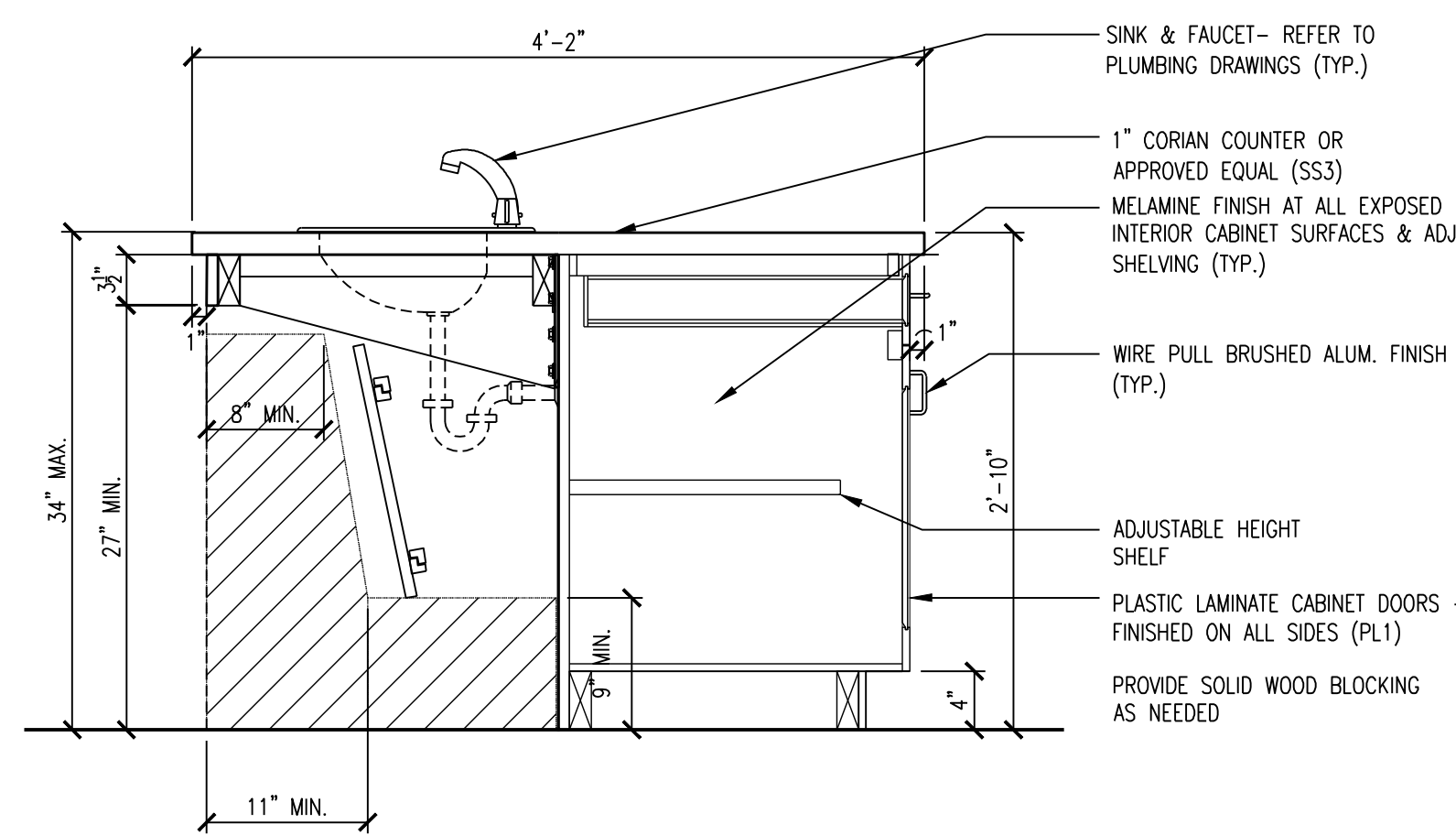
DRAWING NO.:  
**A-1101**  
 CCH PROJECT NO: 1833





J20 KITCHEN 112 MILLWORK ELEVATIONS

SCALE: 1" = 1'-0"



A20 TYPICAL MILLWORK SECTION

SCALE: 1" = 1'-0"

A13 TYPICAL MILLWORK SECTION

SCALE: 1" = 1'-0"

A6 TYPICAL MILLWORK SECTION

SCALE: 1" = 1'-0"

**Clarke Caton Hintz**  
 Architecture  
 Landscape Architecture  
 Drawing Copyright ©2015 Clarke Caton Hintz, P.C.  
 1000 Walnut Street  
 Suite 1000  
 Philadelphia, PA 19107  
 Tel: (215) 382-9890  
 Fax: (215) 382-9891  
 www.clarkecatonhintz.com

OWNER:  
 Township of Lower Makefield  
 1100 Edgewood Road  
 Yardley, PA 19087  
 (215) 274-1100

SITE (CIVIL/GEOTECHNICAL/ENVIRONMENTAL):  
 Boudner & Jones, Inc.  
 1456 Ferry Road, Building 500  
 Doylestown, PA 18901  
 (215) 345-9400 www.bjengr.com

STRUCTURAL:  
 Harrison-Harriet, P.C.  
 40 Knowles Street  
 Pennington, NJ 08634  
 (609) 818-1888 www.hjpcsa.com

MEP/FP:  
 Holstein White, Inc.  
 210 E. Street Road, Suite 2d  
 Feasterville, PA 19033  
 (215) 322-7111 www.holsteinwhite.com

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ARCHITECT  
 PA LICENSE NO. RA-014857-B  
 GEORGE M. HIBBS, AIA  
 DATE

**Lower Makefield Community Center**  
 TMP 20-34-47  
 Edgewood Road & Oxford Valley Road  
 Yardley, PA

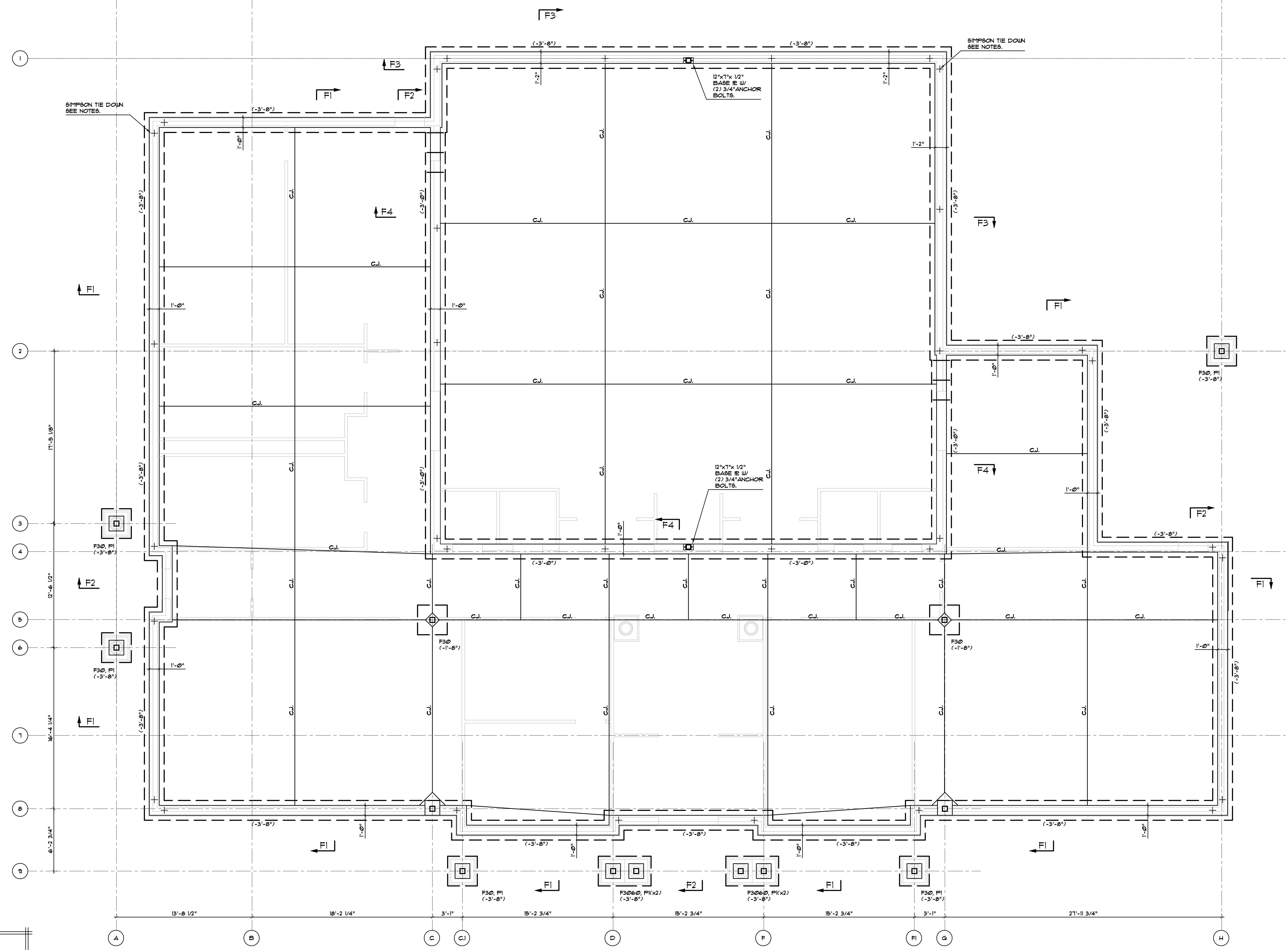
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 CHECKED BY: MJH, GH

SHEET TITLE:  
 MILLWORK  
 DETAILS

DRAWING NO.:  
**A-1102**

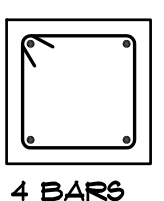
CCH PROJECT NO: 1833

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NO.	DESCRIPTION
1	3/4/2015 ISSUED FOR CONSTRUCTION
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FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
F30	3'-0" x 3'-0" x 12"	(3) - #4 @ E/W BOT.
F3060	3'-0" x 6'-0" x 12"	(6) - #4 @ S/W BOT. (3) - #4 @ L/W BOT.

PIER SCHEDULE		
MARK	SIZE	REINFORCEMENT
PI	18" x 18"	(4) - #6 @ VERT.



**FOUNDATION PLAN**  
 1/4" = 1'-0"  
 ELEVATION TOP OF FINISHED FLOOR SLAB: 184.25' REFERRED TO AS DATUM  
 EL. 0'-0" UNLESS OTHERWISE NOTED ON PLAN.  
 FLOOR SLAB: 4" CONC. SLAB + 6x6-1/4" W/UF, ON A VAPOR BARRIER  
 OVER 6" MIN. DRAINAGE FILL UNLESS OTHERWISE NOTED.  
 ELEVATION BOTTOM OF FOOTINGS NOTED THUS ( ) ON PLAN BELOW  
 FINISHED FLOOR DATUM EL. 0'-0"  
 C.J. - INDICATES SLAB CONSTRUCTION OR CONTROL JOINT.  
 SLAB DEPRESSIONS NOTED THUS ( ) ON PLAN FROM TOP OF FLOOR  
 SLAB - SEE ARCH. DRAWGS. FOR LOCATION & EXTENT.  
 (B.B.) - INDICATES BOTTOM OF BASE PLATE ABOVE OR BELOW DATUM.  
 ANY PENETRATIONS IN SLAB FROM ALL TRADES TO BE FILLED  
 WITH POLYURETHANE CAULK.  
 + - INDICATES SIMPSON HTTS TENSION TIES.

NOTE:  
 1. STEP ALL FOOTINGS AT ALL PIPES & CONDUITS, SEE TYPICAL DETAIL.  
 2. G.C. TO CONFIRM ALL LOCATIONS AND INVERTS OF PIPES WITH MECHANICAL & ELECTRICAL CONTRACTORS.  
 3. THE FOUNDATION DRAWINGS SHOW ONLY GENERAL LOCATIONS AND MAY NOT INCLUDE ALL PENETRATIONS. G.C. TO SEE MECHANICAL DRAWINGS FOR FULL EXTENT OF PIPE PENETRATIONS.

NOTE:  
 GENERAL CONTRACTOR TO LAYOUT DIMENSIONS OF COLUMN CENTERLINES AT THE BEGINNING OF THE PROJECT AND IS TO NOTIFY THE ARCHITECT AND STEEL CONTRACTOR OF ANY DEVIATIONS FROM THE CONTRACT DRAWINGS.

NOTE:  
 ELECTRICAL CONTRACTOR TO PROVIDE GROUNDING ELECTRODE SYSTEM AS REQUIRED BY NEC SECTION 250-52.a. COORDINATE LOCATION WITH GENERAL CONTRACTOR.

NOTE:  
 ALL PIERS TO HAVE \* 3 TIES @ 12" o/c (TYPICAL). PROVIDE BRICKSHELF AS REQUIRED. SEE TYPICAL BRICKSHELF DETAIL ON DRAWING S-105.







Scott A. White, P.E.  
License No. PA: PE075392



210 E. STREET ROAD SUITE 2D  
FEASTERTVILLE, PA 19053  
TELE # (215)322-7711  
FAX # (215)322-7709

**Clarke Caton Hintz**  
Architect  
100 W. MAIN ST. SUITE 200  
FEASTERTVILLE, PA 19053  
TEL: (610) 326-3303  
WWW.CLARKECATONHINTZ.COM

**GENERAL NOTES**

1. ALL BRANCH DUCTWORK SHALL HAVE BALANCING DAMPERS.
2. COORDINATE ALL AIR DEVICES WITH LIGHTING AND REFLECTED CEILING PLANS.
3. IT IS THE INTENT TO MAINTAIN THE CEILING HEIGHTS AS SHOWN ON THE REFLECTED CEILING PLANS.
4. MECHANICAL CONTRACTOR SHALL FURNISH ALL REQUIRED CEILING ACCESS PANELS AND WALL OPENINGS TO SERVICE ALL HORIZONTAL AIR HANDLING UNITS AND BALANCING DEVICES. COORDINATE ALL LOCATIONS AND SIZES WITH ARCHITECT PRIOR TO INSTALLATION.
5. WHERE DUCTS ARE LINED THE DIMENSIONS SHOWN ARE INSIDE DIMENSIONS.
6. MECHANICAL CONTRACTOR SHALL COORDINATE ALL CEILING HEIGHTS AND HORIZONTAL AIR HANDLING UNIT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
7. CONTRACTOR SHALL PROVIDE A FIRE DAMPER AND ACCESS PANEL AT ALL FIRE RATED CEILING PENETRATIONS WHERE APPLICABLE. COORDINATE ALL LOCATIONS WITH ARCHITECTURAL DRAWINGS.
8. REFER TO ARCHITECTURAL PLANS FOR CATWALK AND WORKING PLATFORM.
9. ALL INTAKE VENTS/GOOSENECKS SHALL BE INSTALLED AT A MINIMUM OF 10'-0" FROM ANY EXHAUST VENT.

**DRAWING NOTES**

1. CONDENSATE PIPING SHALL BE PIPED TO THE EXTERIOR OF THE BUILDING AND DRAIN BACK TO A SPASH BLOCK. IF CONDENSATE PUMP IS REQUIRED, CONTRACTOR SHALL PROVIDE CONDENSATE PUMP AND COORDINATE ALL ELECTRICAL REQUIREMENTS WITH ELECTRICAL CONTRACTOR.
2. INSTALL A SAFETY DRAIN PAN UNDER THE UNIT AND THE CONDENSATE PUMP (IF REQUIRED). THE PAN SHALL BE 20 GA. GALVANIZED SHEET METAL, SOLID CORNERS, SEAL ALL SEAMS. THE PAN SHALL BE A MINIMUM OF 3" HIGH AND A MINIMUM OF 2" FROM THE EQUIPMENT. PROVIDE A WATER SENSING SWITCH LOCATED IN THE PAN. THE SWITCH SHALL DE-ENERGIZE THE SYSTEM AND SIGNAL ALARM SHOULD WATER BE SENSED.
3. RUN REFRIGERANT PIPING TO CORRESPONDING AIR HANDLING UNIT. COORDINATE ALL ROUTING WITH ARCHITECT. INSTALL AND SIZE ALL REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS.
4. VENT AND FLUE PIPING UP THROUGH ROOF. TERMINATE WITH MANUFACTURER'S CONCENTRIC VENT KIT AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
5. EXHAUST VENT. COLOR, FINISH AND FINAL LOCATION SHALL BE COORDINATED WITH ARCHITECT.
6. UNIT SHALL HAVE SPACE TEMPERATURE SENSORS AS SHOWN AND WILL PERFORM SPACE TEMPERATURE AVERAGING. ALL CONTROLS AND WIRING SHALL BE PROGRAMMED AND INSTALLED PER ALL MANUFACTURER'S RECOMMENDATIONS. THERMOSTATS/SENSORS CONTROL UNIT THAT CAN BE SET BY THE OWNER.
7. UNIT SHALL BE PROVIDED WITH A SEVEN DAY PROGRAMMABLE ELECTRONIC THERMOSTAT AND WILL HAVE A 3-5 DEGREE TEMPERATURE RANGE CONTROL LIMIT THAT CAN BE SET BY THE OWNER.
8. 12"Ø GREASE DUCT SERVING KITCHEN HOOD SHALL BE INSULATED WITH 3M FIREMASTER DUCT WRAP TO PROVIDE 1 HOUR FIRE RATING. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. GREASE DUCTS SERVING KITCHEN HOODS SHALL BE CONSTRUCTED OF BLACK STEEL NOT LESS THAN NO. 18 GAUGE OR 18 GAUGE STAINLESS STEEL. JOINTS, SEAMS, AND PENETRATIONS OF GREASE DUCTS SHALL BE MADE WITH A CONTINUOUS LIQUID TIGHT WELD OR BRACE MADE ON THE EXTERNAL SURFACE OF THE DUCT SYSTEM. INSTALL GREASE DUCT AS PER INTERNATIONAL MECHANICAL CODE, SMACNA AND NFPA 96. DUCT SHALL TERMINATE AT ROOF WITH GOOSENECK.

OWNER:  
Township of Lower Makefield  
1100 Edgewood Road  
Yardley, PA 19087  
(287) 274-1100

SITE / CIVIL / GEOTECHNICAL/ENVIRONMENTAL:  
Boucher & James, Inc.  
1456 Ferry Road, Building 500  
Doylestown, PA 18901  
(215) 345-9400 www.bjengr.com

STRUCTURAL:  
Harrison-Hammett, P.C.  
40 Knowles Street  
Pennsauken, NJ 08109  
(609) 818-1808 www.hhpcc.com

MEP / FF:  
Holstein White, Inc.  
210 E. Street Road, Suite 2D  
Feasterville, PA 19053  
(215) 322-7711 www.holsteinwhite.com

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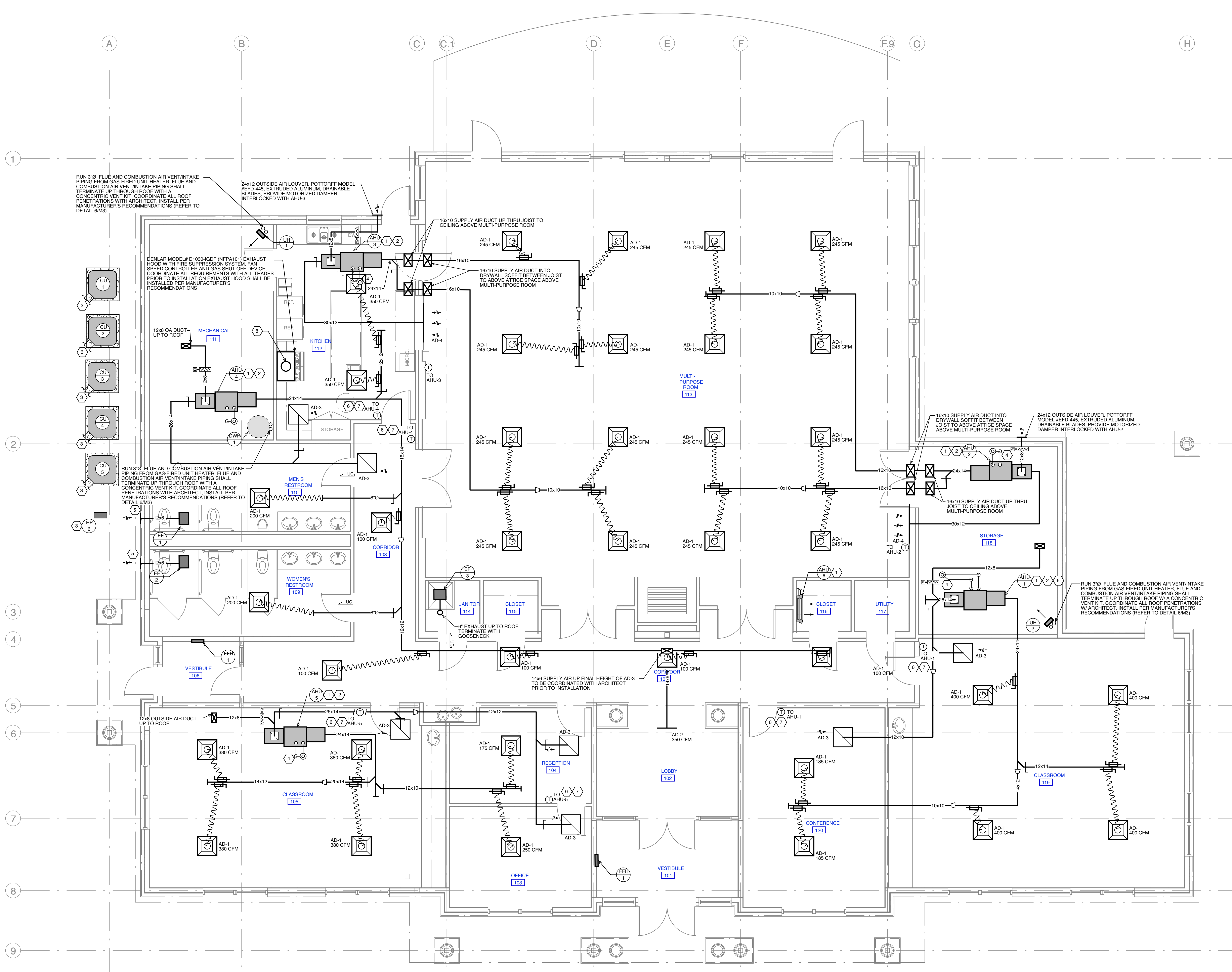
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**Lower Makefield  
Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/04/2015  
SCALE: 1/4" = 1'-0"  
DRAWN BY: DB  
CHECKED BY: JB

SHEET TITLE:  
**Mechanical  
Floor Plan**

DRAWING NO.:  
**M1.0**  
CCH PROJECT NO.: 1846



**1 MECHANICAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





**SHEET NOTE**

1. 4" SANITARY SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCH PREPARATION, TRENCHING, AND BACKFILL. COORDINATE THE LOCATION OF THE SEWER LATERAL WITH THE CIVIL ENGINEER'S PLANS.

2. REFER TO ISLAND SINK VENTING DETAIL ON P-2 FOR PIPE ROUTING.

**DRAWING NOTES**

1. REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATIONS OF ALL THE FURNITURE, PLUMBING FIXTURES, AND EQUIPMENT.

2. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND PIPING WITH THE ARCHITECTURAL DRAWINGS AND ALL OTHER TRADES.

3. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMER CONNECTIONS. PROVIDE TRAP PRIMER WITH 1/2" CW TO FLOOR DRAIN. WRAP CW PIPE WITH 1" ARMAFLEX.

4. CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF SANITARY, DOMESTIC WATER, AND NATURAL GAS SERVICES WITH THE SITE ENGINEER.

5. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL NEW WORK WITH PIPING, DUCT WORK, EQUIPMENT, ARCHITECTURAL PLANS, AND STRUCTURAL ELEMENTS TO AVOID TRADE CONFLICTS.

6. ALL GAS PIPING SHALL BE INSTALLED PER THE REQUIREMENTS OF PSC 2008.

7. ALL EXPOSED GAS PIPING & FITTING SHALL BE COATED OR WRAPPED WITH A CORROSION RESISTANT MATERIAL.

8. SHUT-OFF VALVES & DIRT LEGS SHALL BE INSTALLED AT EACH GAS-FIRED APPLIANCE & EQUIPMENT.

Scott A. White, P.E.  
License No. PA: PE075392



**Clarke Catton Hintz**  
Architects  
Planning  
Engineering  
100 Bancroft Street  
York, PA 17402  
Tel: (717) 765-8333  
www.clarkecattonhintz.com

**OWNER:**  
Township of Lower Merion  
1100 Edgewood Road  
Yardley, PA 19087  
(215) 774-1100

**SITE (CIVIL, GEOTECHNICAL/ENVIRONMENTAL):**  
Bocher & Jones, Inc.  
1456 Ferry Road, Building 500  
Doylestown, PA 18901  
(215) 345-9450 www.bjengineers.com

**STRUCTURAL:**  
Harrison/Hammitt, P.C.  
40 Knowles Street  
Perkasie, PA 19374  
(610) 818-1808 www.hhpcc.com

**MEP / FP:**  
Hobbs White, Inc.  
210 E. Street Road, Suite 2d  
Feasterville, PA 19053  
(215) 322-7711 www.hobbswhite.com

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**REVISIONS**

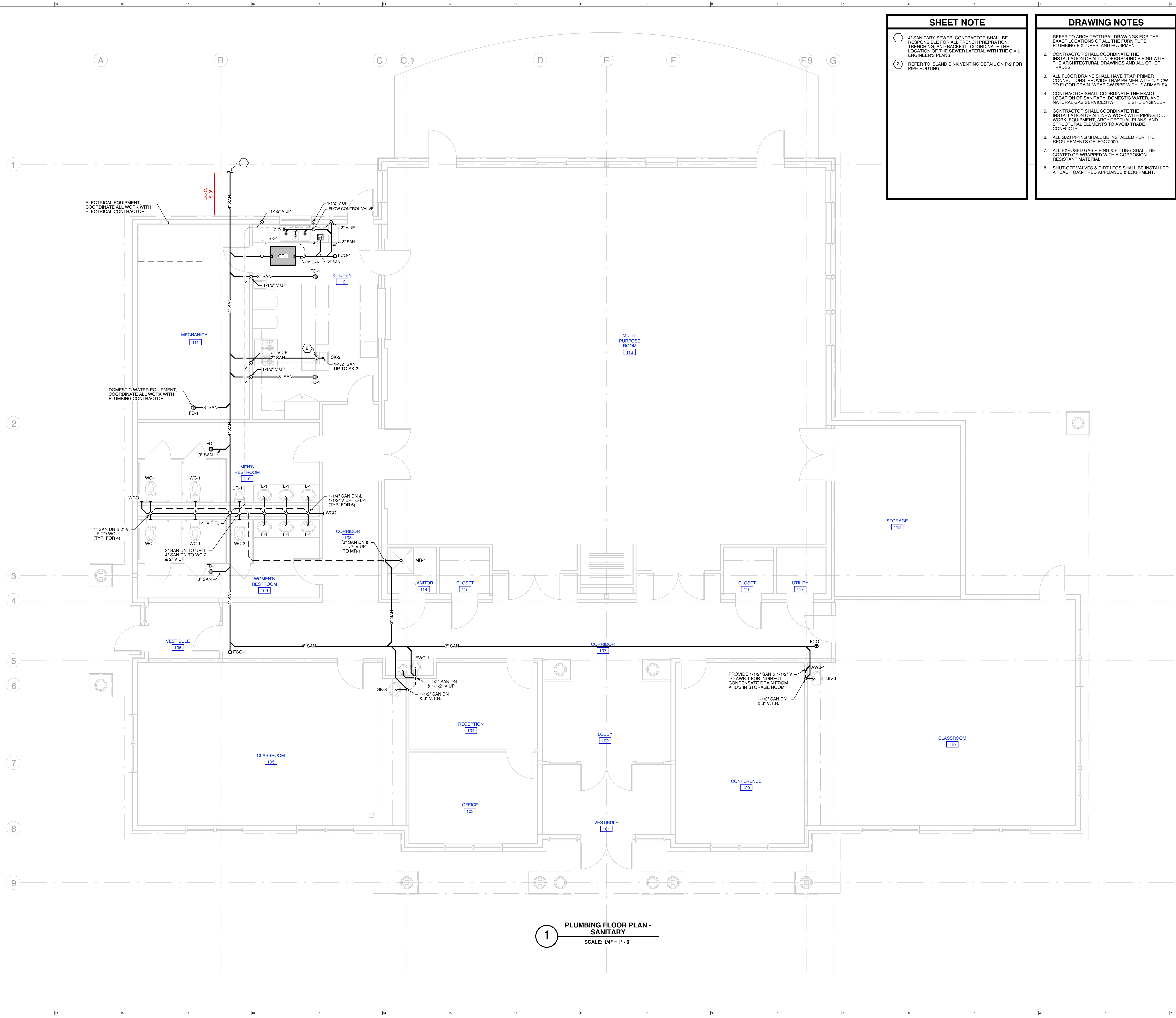
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**Lower Merion  
Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/04/2015  
SCALE: 1/4" = 1'-0"  
DRAWN BY: DB  
CHECKED BY: JB

SHEET TITLE:  
**Plumbing Floor Plan - Sanitary**

DRAWING NO.:  
**P1.0**  
CCH PROJECT NO: 1846



**1 PLUMBING FLOOR PLAN - SANITARY**  
SCALE: 1/4" = 1'-0"



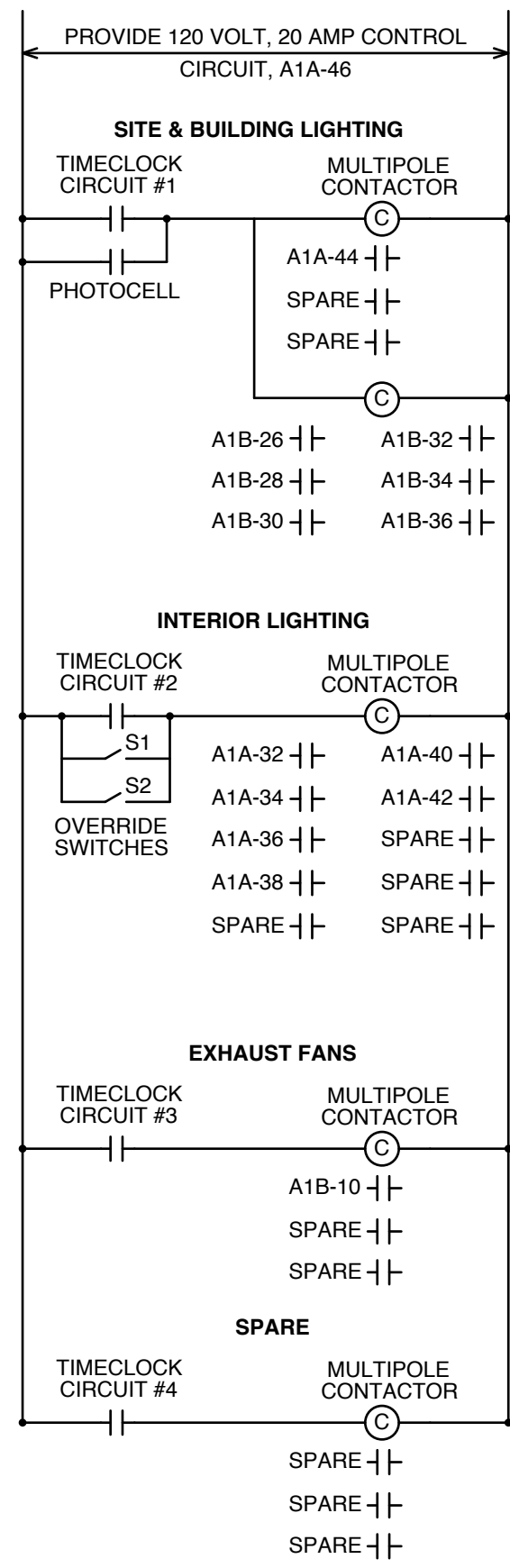






**SITE DRAWING NOTES**

- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF ALL SITE LIGHTING WITH OWNER, ARCHITECT, AND CIVIL ENGINEER PRIOR TO ROUGH-IN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF UNDERGROUND SERVICES WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
- EXACT ROUTING AND TERMINATION POINTS OF UNDERGROUND SERVICES SHALL BE VERIFIED WITH THE UTILITY COMPANY AND OTHER CONTRACTORS.
- UNLESS OTHERWISE NOTED, ALL LIGHTING FIXTURES SHALL BE CIRCUITED TO PANEL 'A1B'.
- PROVIDE UNIT PRICE PER 25'-0" INCREMENTS OF RUN FOR PRIMARY CONDUITS AND RELATED TRENCHING AND BACKFILL.
- PROVIDE UNIT PRICE PER 25'-0" INCREMENTS OF RUN FOR SECONDARY CABLES, CONDUITS AND RELATED TRENCHING AND BACKFILL.
- PROVIDE 4" PVC CONDUIT BUILDING FROM LOCAL COMCAST AND VERIZON TERMINATION POINT. COORDINATE TERMINATION POINT WITH UTILITY COMPANY. INCLUDE 100' OF UNDERGROUND CONDUIT WITH PULL STRING FROM TERMINATION POINT WITH IN BUILDING TO COMCAST AND VERIZON TERMINATION POINT. PROVIDE UNIT PRICING FOR EACH ADDITIONAL 25 FEET OF EXCAVATION AND 4" CONDUIT WITH PULL STRING.
- ALL RACEWAYS AND TRENCHES ARE DIAGRAMMATIC REFER TO CIVIL ENGINEERS DRAWING FOR EXACT LOCATION FOR ALL CONDUIT RUNS.
- PROVIDE PVC CONDUIT BURIED 30 INCHES MINIMUM BELOW FINISHED GRADE, OR AS OTHERWISE INDICATED, FOR SERVICES AND FEEDERS.
- PROVIDE UNDERGROUND DUCTS IN A STRAIGHT LINE. SLOPE DUCTS TOWARD MANHOLES/HANDHOLES. POCKETS WHERE WATER CAN ACCUMULATE IN CONDUITS WILL NOT BE PERMITTED.
- ALL UNDERGROUND CONDUITS SHALL BE WATERTIGHT. DOPE THREADS OF STEEL CONDUIT BEFORE JOINING. PVC CONDUITS SHALL BE CHEMICALLY BONDED AROUND ENTIRE CIRCUMFERENCE OF THE CONDUIT AT EACH JOINT.
- PROVIDE IN TRENCH CONTAINING ELECTRIC AND COMMUNICATION DUCT SYSTEMS, AN UNDERGROUND UTILITY MARKING TAPE. TAPE SHALL BE BURIED 1 FOOT BELOW GRADE AND RUN CONTINUOUS THE ENTIRE LENGTH OF DUCT TRENCH. TAPE SHALL BE BRIGHTLY COLORED POLYETHYLENE LONG LIFE TYPE WITH PRINTED WARNING TO READ "CAUTION, BURIED ELECTRIC LINE BELOW".
- PROVIDE ALL REQUIRED EXCAVATION TRENCHING, BACKFILLING, COMPACTING IN ACCORD WITH THIS DIVISION. REFER TO GENERAL CONTRACT SPECIFICATIONS, AND COMPLY WITH ALL REQUIREMENTS.
- UNDERGROUND EXTERIOR LIGHTING CIRCUITS SHALL BE INSTALLED IN PVC CONDUIT. PROVIDE APPROVED GROUNDING CONDUCTOR IN ALL NONMETALLIC CONDUIT.
- PROVIDE ADDITIONAL HAND HOLES AS REQUIRED TO FACILITATE INSTALLATION OF COMMUNICATIONS SERVICES.
- ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC.
- COORDINATE CONDUITS PATHS AND TERMINATION LOCATIONS WITH OWNER, SITE ENGINEER AND ARCHITECT PRIOR TO COMMENCING WORK.
- PROVIDE NYLON PULL STRING IN ALL EMPTY CONDUITS.
- PERMANENTLY LABEL ENDS OF CONDUITS TO INDICATE LOCATION OF OTHER END. EXAMPLE: "TO UTILITY POLE".
- STUB UP COMMUNICATIONS CONDUITS 6" AFF.
- HAND EXCAVATE AREA OF CONFLICT OR CROSSING OF OTHER UTILITIES.
- CONTRACTOR SHALL SUBMIT SERVICE AND METER APPLICATION WITH PECO AND COORDINATE ALL PRIMARY CONDUITS, AND PRIMARY CONDUIT LOCATIONS WITH UTILITY COMPANY.

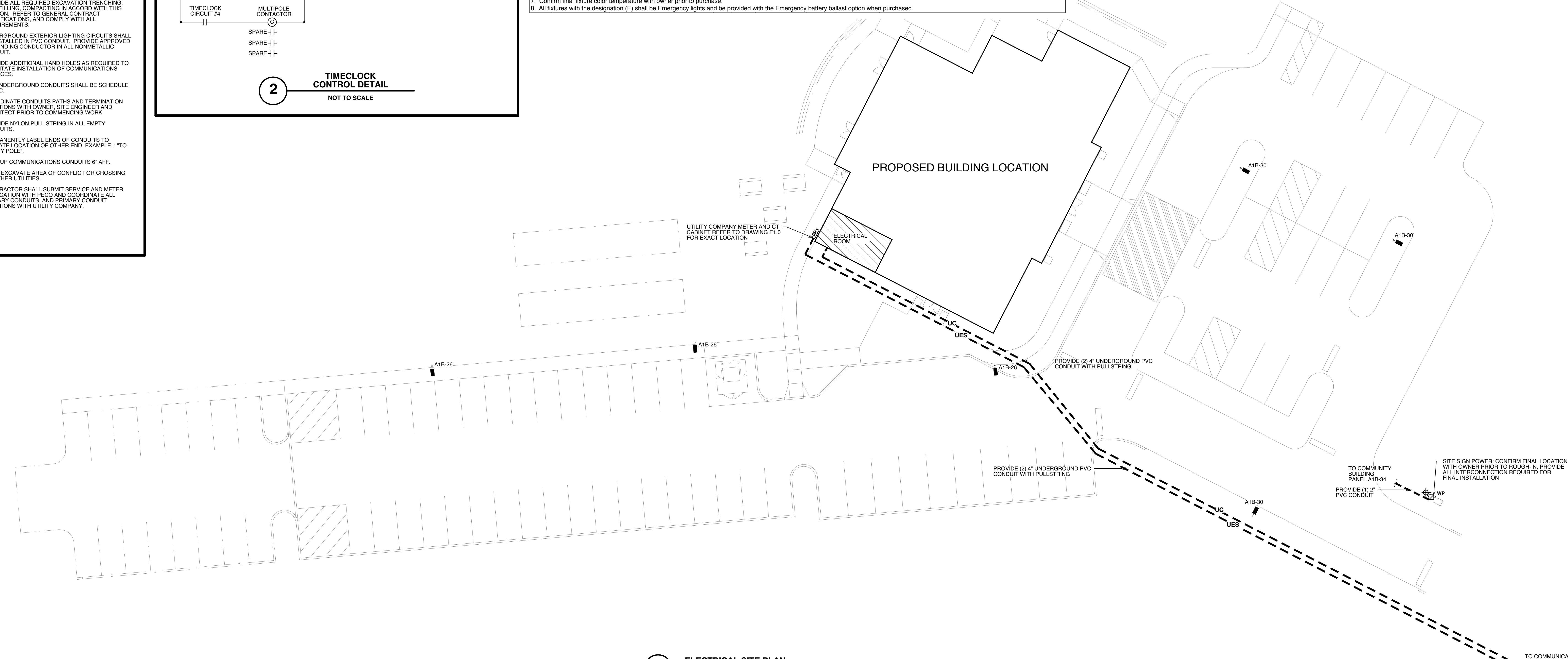


**2 TIMECLOCK CONTROL DETAIL**  
NOT TO SCALE

- NOTES:
- PROVIDE INTERMATIC ELECTRONIC TIME SWITCH MODEL #ET804150 FOR LIGHTING CONTROL. PROVIDE MOMENTARY CONTACT TOSKLE TYPE TIMECLOCK OVERRIDE SWITCHES AS INDICATED ON PLANS.
  - OVERRIDE SWITCH COVERPLATES SHALL BE ENGRAVED "LIGHTING OVERRIDE".
  - CONNECT EMERGENCY LIGHTS AND EXIT SIGNS TO LINE SIDE OF LIGHTING CONTROLS.
  - COORDINATE WITH OWNER AND PROGRAM TIMECLOCK TO OWNER'S SCHEDULE.
  - LIGHTING SHALL FLASH ONCE 5 MINUTES PRIOR TO SHUTDOWN BY TIMECLOCK.
  - ACTIVATION OF LIGHTING OVERRIDE SHALL YIELD AN ADDITIONAL 1 HOUR OF LIGHTING.
  - OVERRIDE SWITCHES SHALL BE INTERCONNECTED TO TIMECLOCK FOR OVERRIDE OF EACH TIMECLOCK CIRCUIT AS DIRECTED BY MANUFACTURER.

LIGHTING FIXTURE SCHEDULE								
Type	Manufacturer	Catalog No.	No.	Watts	Type	Volts	Mounting	Remarks
A	Coronet	TDJA-2x4-LTG2-3000K-UNV-T	53	53	LED 3000K	120	Recessed	2'x4' Recessed LED direct/indirect light fixture, 6100 lumens/3000K. See Note #8
B	Coronet	TDJA-2x2-LTG2-3000K-UNV-T	27	27	LED 3000K	120	Recessed	2'x2' Recessed LED direct/indirect light fixture, 3100 lumens/3000K
C	Coronet	ALED-2-19W-8-UNV-CHAIN	2	19	LED 3000K	120	Pendant	8' Long wraparound LED light fixture, chain mounted pendant, 4400 lumens. See Note #8
D	Indy	L4-1330U-G2/L400P-CQ	15	15	LED 3000K	120	Recessed	4" Diameter recessed LED downlight, 1300 lumens, 3000K, semi-specular parabolic reflector. See Note #8
E	Indy	L4-1330U-G2/L400P-CQ-WET	15	15	LED 3000K	120	Recessed	4" Diameter recessed LED downlight, 1300 lumens, 3000K, semi-specular parabolic reflector, wet listed. See Note #8
F	Indy	L6-4530U-G2/L600P-CQ	40	40	LED 3000K	120	Recessed	6" Diameter recessed LED downlight, 4500 lumens, 3000K, semi-specular parabolic reflector. See Note #8
G	Barbican	16-2436-LF-1239-SM-HTO-BA-36W-120V-DB	36	36	LED 3000K	120	Surface	48" LED tapered oval drums, 3000K, with dimming ballast/driver
H	Spaulding	LMC-30LU-4K-3-035-1-BBU	43	43	LED 4000K	120	Wall Mount	Wall mounted exterior LED aegress light, Type 3 distribution, 350 milliamp, 3100 lumens, 4000K, bronze finish
J	Pinnacle	EV3AL-30-4-G1G-UNV-1C-W	25	25	LED 3000K	120	Recessed	4" Long recessed LED drop lens lighting fixture, 1680 lumens, 3000K. See Note #8
K	Indy	L4-1330U-G2/L400WS-CQ	15	15	LED 3000K	120	Recessed	4" Diameter recessed LED wall washer, 1300 lumens, 3000K, semi-specular reflector
EM1	Emergi-Lite	24LSM110-2-LL	2	4	LED	120	Surface	Emergency battery pack with Remote heads located in storage room for all exterior remote heads.
EM2	Emergi-Lite	EFT1(Z)	2	6	LED	12V	Surface	Emergency Remote Heads Weatherproof, 9 watt halogen lamp per Head
X1	Emergi-Lite	WA-PXN-R			LED	120	Surface	LED exit sign with red letters, number of faces and directional arrows as indicated on plan, or require by installed location

- Notes:
- In addition to those indicated above, refer to Architectural drawings and provide all fixtures specified.
  - All fixtures shall be provided with lamping.
  - Confirm final fixture options and color selection with Architect prior to purchase.
  - Furnish 10% spare stock of all lamp types included in project to owner. Furnish minimum 6 spare lamps per type.
  - Fluorescent fixtures shall utilize less than 10% THD Electronic ballasts.
  - Refer to Architectural reflected ceiling plans for ceiling types and conditions affecting mounting and installation of lighting fixtures.
  - Confirm final fixture color temperature with owner prior to purchase.
  - All fixtures with the designation (E) shall be Emergency lights and be provided with the Emergency battery ballast option when purchased.



**1 ELECTRICAL SITE PLAN**  
SCALE: 1/16" = 1'-0"

**CALL BEFORE YOU DIG !**  
PENNSYLVANIA ACT 172 OF 1986 REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 5 WORKING DAYS IN DESIGN STAGE -- STOP CALL  
**Pennsylvania One Call System, Inc.**  
1-800-242-1776

JEFFREY E. HOLSTEIN, P.E.  
License No. PA: PE074556  
**HWH**  
HOLSTEIN WHITE, INC.  
CONSULTING ENGINEERS  
210 E. STREET ROAD SUITE 2D FEASTERVILLE, PA 19053  
TEL # (215)322-7711 FAX # (215)322-7709

**Clarke Catton Hintz**  
Architects  
Planning  
Civil/Structural/MEP  
100 Barco Street  
N. 8700 182 8330  
www.clarkecatton.com

OWNER:  
Township of Lower Makefield  
1100 Edgewood Road  
Yardley, PA 19087  
(215) 274-1100  
SITE (CIVIL, GEOTECHNICAL, ENVIRONMENTAL):  
Bocher & Jones, Inc.  
1456 Ferry Road, Building 500  
Dobsonville, PA 18901  
(215) 345-9450 www.bjengineers.com  
STRUCTURAL:  
Harrison/Hammett, P.C.  
40 Knowles Street  
Penningsville, NJ 08834  
(609) 818-1808 www.hhpcc.com  
MEP / FP:  
Hobbs White, Inc.  
210 E. Street Road, Suite 2d  
Feasterville, PA 19053  
(215) 322-7711 www.hobbswhite.com

SUBMISSIONS

NO.	DATE	DESCRIPTION
1	3/04/15	ISSUED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
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TO COMMUNITY BUILDING PANEL A1B-34  
PROVIDE (1) 2" PVC CONDUIT

TO COMMUNICATION UTILITY COMPANY POLE MOUNTED TRANSFORMER


TO UTILITY COMPANY POLE MOUNTED TRANSFORMER

**Lower Makefield Community Center**  
TWP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/04/2015  
SCALE: 1/4" = 1'-0"  
DRAWN BY: JC  
CHECKED BY: JH  
SHEET TITLE:  
**Site Layout & Details**  
DRAWING NO.:  
**E0.1**  
CCH PROJECT NO: 1846

- DRAWING NOTES**
1. FIELD VERIFY LOCATION OF ALL WIRING DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.
  2. COORDINATE INSTALLATION OF HVAC EQUIPMENT WITH MECHANICAL CONTRACTOR. INSTALL AND WIRE DISCONNECT SWITCHES FURNISHED BY MECHANICAL CONTRACTOR.
  3. UNLESS OTHERWISE NOTED, ALL POWER SHALL BE CIRCUITED TO PANEL 'A1A'.
  4. PROVIDE (2) 4" PVC CONDUITS TO COMMUNICATIONS UTILITY TERMINATION POINT. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL BACK BOXES WITH CONDUIT AND PULL STRING TO ACCESSIBLE CEILING SPACE.
  5. COORDINATE ALL LOW VOLTAGE WORK WITH OWNER AND OWNER'S LOW VOLTAGE VENDOR. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL BACK BOXES WITH CONDUIT AND PULL STRING TO ACCESSIBLE CEILING SPACE.
  6. MOTORIZED DAMPERS REFER TO M-2.0 FOR EXACT LOCATION. INTERCONNECT TO LOCAL AHU AS DIRECTED BY M.C.

JEFFREY E. HOLSTEIN, P.E.  
License No. PA: PE074556



**HOLSTEIN WHITE, INC.**  
CONSULTING ENGINEERS  
210 E. STREET ROAD SUITE 2D FEASTERTVILLE, PA 19053  
TEL # (215)322-7711 FAX # (215)322-7709

**Clarke Catton Hintz**  
ARCHITECTS  
PLANNING  
ENGINEERS  
100 Berman Street  
Yardley, PA 19087  
TEL (215) 861-8333  
WWW.CLARKECATTONHINTZ.COM

OWNER:  
Township of Lower Makefield  
1100 Edgewood Road  
Yardley, PA 19087  
(215) 274-1100

SITE (CIVIL, GEOTECHNICAL/ENVIRONMENTAL):  
Bocher & Jones, Inc.  
1456 Ferry Road, Building 500  
Dobsonville, PA 18901  
(215) 345-9450 www.bjengineers.com

STRUCTURAL:  
Harrison/Hammitt, P.C.  
40 Knowles Street  
Perkasie, PA 19054  
(610) 818-1808 www.hhpcos.com

MEP / FP:  
Holstein White, Inc.  
210 E. Street Road, Suite 2d  
Feasterville, PA 19053  
(215) 322-7711 www.holsteinwhite.com

SUBMISSIONS

NO.	DATE	DESCRIPTION
1	3/04/16	ISSUED FOR CONSTRUCTION

REVISIONS

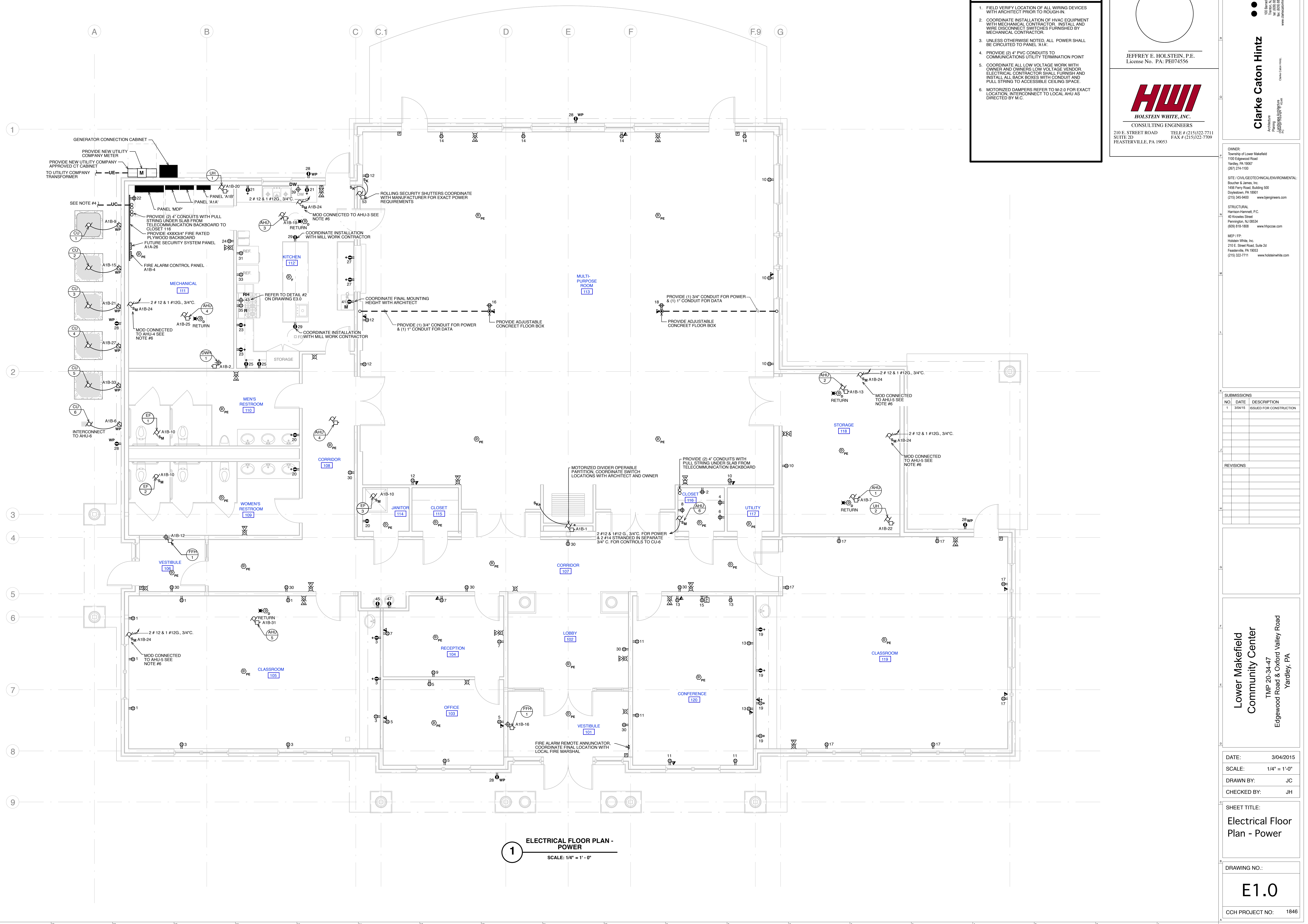
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**Lower Makefield Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/04/2015  
SCALE: 1/4" = 1'-0"  
DRAWN BY: JC  
CHECKED BY: JH

SHEET TITLE:  
**Electrical Floor Plan - Power**


DRAWING NO.:  
**E1.0**  
CCH PROJECT NO.: 1846



**1 ELECTRICAL FLOOR PLAN - POWER**  
SCALE: 1/4" = 1'-0"

- DRAWING NOTES**
1. FIELD VERIFY LOCATION OF ALL WIRING DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.
  2. FIELD VERIFY EXACT LOCATIONS OF ALL LIGHTING FIXTURES WITH ARCHITECT PRIOR TO ROUGH-IN.
  3. UNLESS OTHERWISE NOTED ALL LIGHTING SHALL BE CIRCUITED TO PANEL 'A1A'.
  4. EMERGENCY LIGHTING AND EXIT SIGNS SHALL BE CONNECTED TO LINE SIDE OF LOCAL LIGHTING CONTROL.
  5. CONNECT EXTERIOR REMOTE HEADS TO CENTRAL BATTERY PACK LOCATED IN MECHANICAL ROOM. COORDINATE WITH MANUFACTURER EXACT WIRE SIZE, PER THE VOLTAGE DROP STANDARDS.
  6. ALL FIXTURES WITH THE DESIGNATION (E) SHALL BE EMERGENCY LIGHTS AND BE PROVIDED WITH THE EMERGENCY BATTERY BALLAST OPTION WHEN PURCHASED. THE BALLAST SHALL BE PROVIDED WITH A SEPARATE CONDUCTOR FROM LINE SIDE OF TIME CLOCK TO PREVENT BALLAST FROM ACTUATING UPON TIME CLOCK SHUTDOWN OF LOCAL LIGHTING CIRCUITS.

JEFFREY E. HOLSTEIN, P.E.  
License No. PA: PE074556



**HOLSTEIN WHITE, INC.**  
CONSULTING ENGINEERS  
210 E. STREET ROAD SUITE 2D FEASTERSVILLE, PA 19053  
TEL # (215)322-7711 FAX # (215)322-7709

**Clarke Catton Hintz**  
Architects  
Planning  
Interior Design  
100 Bank Street  
Yardley, PA 19087  
Tel: (717) 633-8333  
Fax: (717) 633-8334  
www.clarkecattonhintz.com

OWNER:  
Township of Lower Makefield  
1100 Edgewood Road  
Yardley, PA 19087  
(215) 274-1100

SITE / CIVIL / GEOTECHNICAL / ENVIRONMENTAL:  
Bocher & Jones, Inc.  
1456 Ferry Road, Building 500  
Doylestown, PA 19001  
(215) 345-9450 www.bjengr.com

STRUCTURAL:  
Harrison/Hammitt, P.C.  
40 Knowles Street  
Penningsville, NJ 08834  
(609) 818-1808 www.hhpc.com

MEP / FP:  
Holstein White, Inc.  
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Feasterville, PA 19053  
(215) 322-7711 www.holsteinwhite.com

**SUBMISSIONS**

NO.	DATE	DESCRIPTION
1	3/04/15	ISSUED FOR CONSTRUCTION

**REVISIONS**

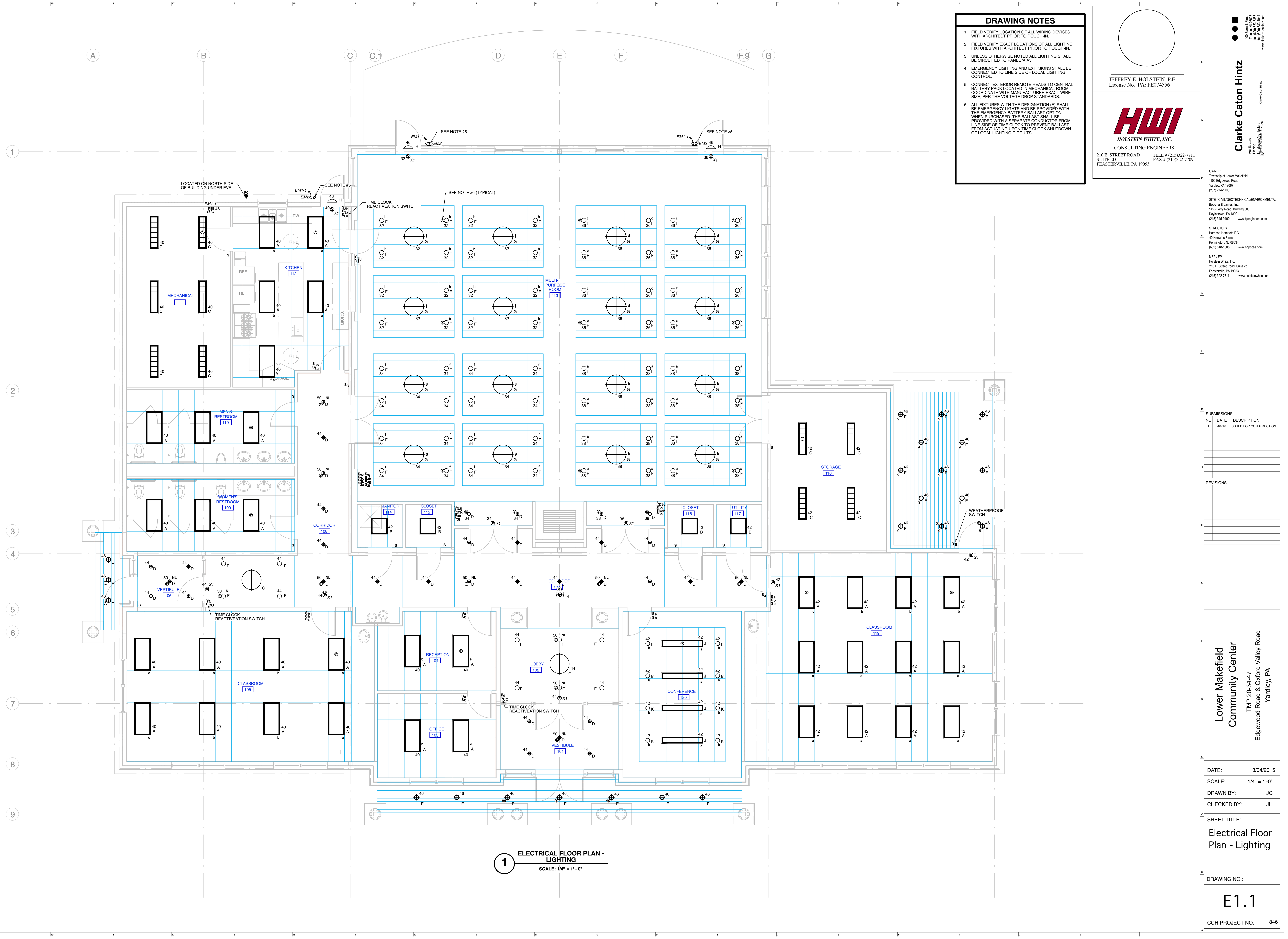
NO.	DATE	DESCRIPTION
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**Lower Makefield Community Center**  
TMP 20-34-47  
Edgewood Road & Oxford Valley Road  
Yardley, PA

DATE: 3/04/2015  
SCALE: 1/4" = 1'-0"  
DRAWN BY: JC  
CHECKED BY: JH

SHEET TITLE:  
**Electrical Floor Plan - Lighting**

DRAWING NO.:  
**E1.1**  
CCH PROJECT NO.: 1846

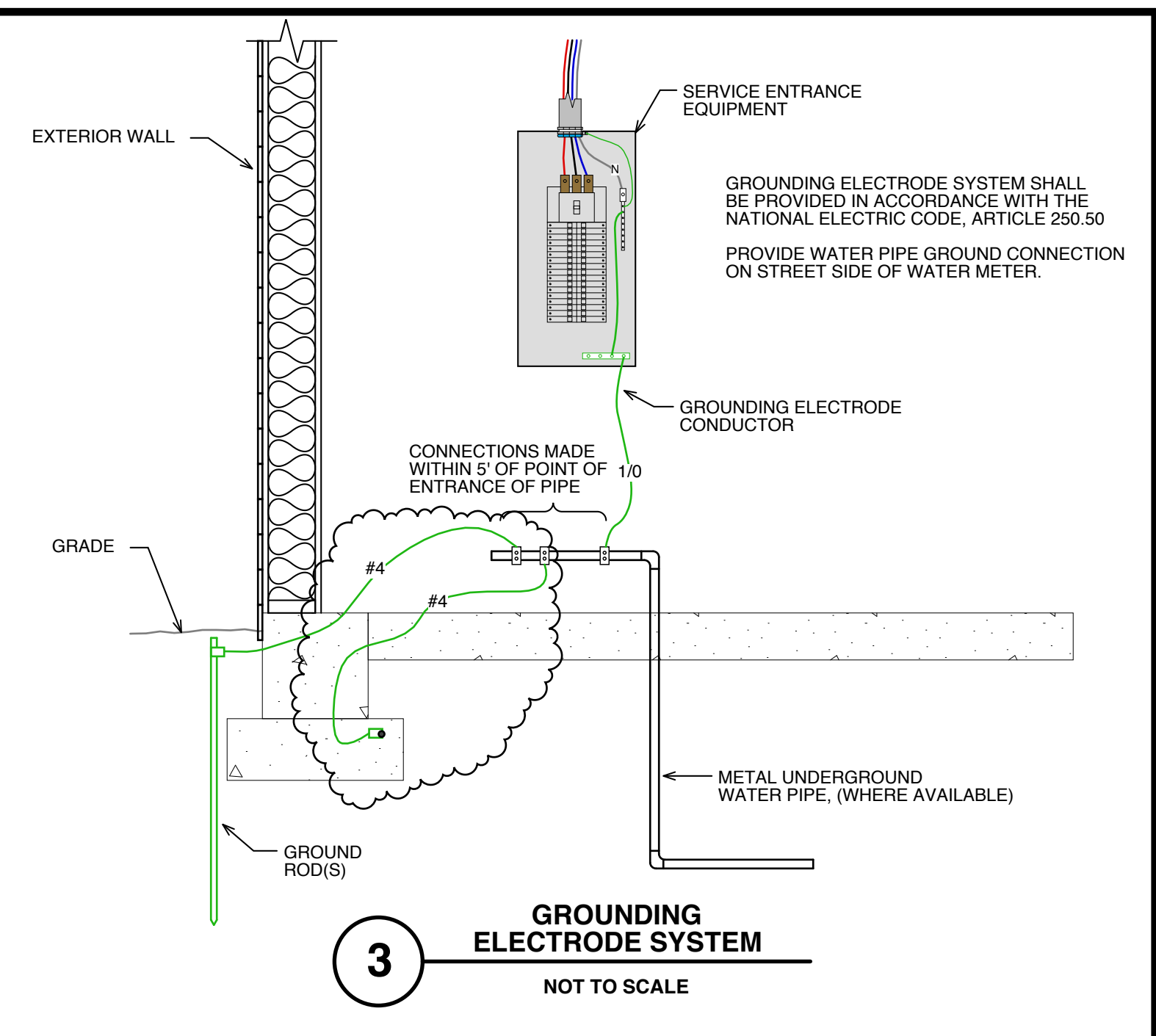


**1 ELECTRICAL FLOOR PLAN - LIGHTING**  
SCALE: 1/4" = 1'-0"

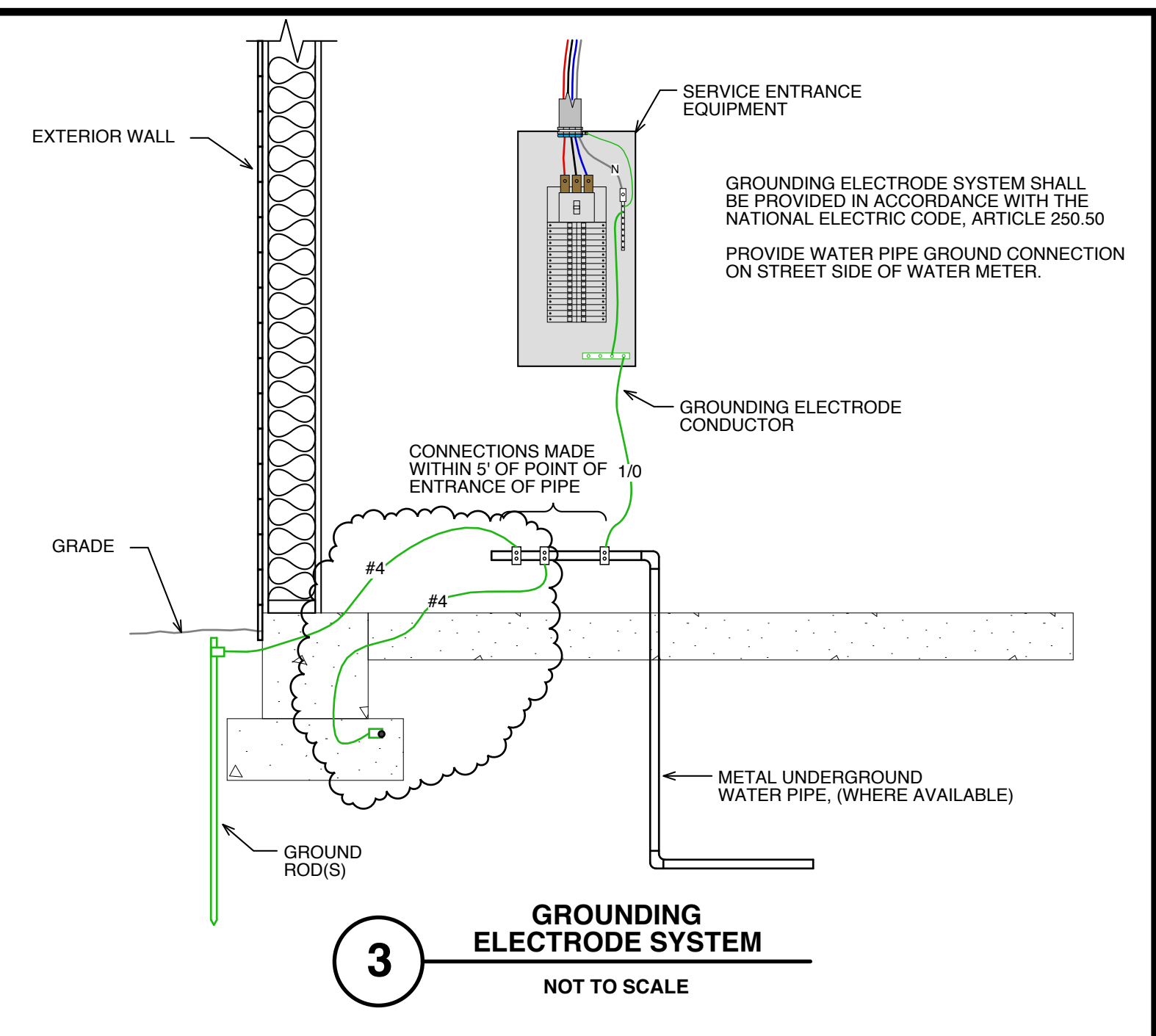
# ELECTRICAL PROJECT REQUIREMENTS

- Contractor shall provide all labor, materials, tools, apparatus and equipment required to complete his work in accordance with the contract documents, codes, laws and applicable trade procedures.
- In preparing his estimate, the contractor shall review all of the contract documents including those of the other trades in order to acquaint himself with existing and related conditions that may, will, or could affect his work. He shall be experienced, skilled, and knowledgeable with this type of construction and shall be expert and proficient in the preparation of estimates and the comprehension, implementation, and interpretation of contract documents such as those prepared for this project.
- The contractor by his acceptance of the contract guarantees that all work installed shall be free from all defects in workmanship and materials and that all apparatus furnished by him shall develop the capacities and characteristics specified. He further guarantees that if, during a period of one (1) year from the date of the certificate of completion and acceptance of the work, any such defects in workmanship, material or performance appear, such defects shall be remedied by him without cost to the owner. If the contractor fails to remedy the defects as outlined within a reasonable length of time, to be specified in a notice from the owner's authorized representative to the contractor, the owner will have such work done, and he will charge the cost to the contractor.
- The contractor shall visit the site before he submits his proposal. He shall examine all existing conditions which affect the work. The submission of the proposal shall be considered evidence that this requirement has been fulfilled. No extra payment will be allowed for additional work made necessary by the failure to visit the site.
- Electrical equipment shall be installed in a neat and workmanlike manner in accordance with latest and best practices of the trade. Only mechanics skilled in this type of Work shall be employed and utilized by Contractor for this Division of this Work.
- The contract drawings are diagrammatic and indicate the general arrangement of all systems and work included in the contract. The contract drawings are not to be scaled. The architectural contract drawings and details together with the other contract documents shall be examined for all dimensional information.
- The contractor shall follow the contract drawings in laying out his work, and he shall also check the contract drawings of the other trades to verify spaces in which his work shall be provided.
- The contractor shall, without additional costs to the owner, make reasonable modifications in the layout of his work in order to prevent conflicts with the work of other trades or for the proper execution of his work.
- The contractor shall provide and maintain in good order a complete set of blueprints of the contract drawings. As the work progresses, the actual location of all work shall be clearly recorded, including all changes to the contract and equipment size and type. These prints shall be available at the site for inspection at all times. At the conclusion of the work, the contractor shall, at his own expense, obtain a set of reproductions of the original contract drawings, and utilizing the symbols on the contract drawings, shall incorporate all "as built" data in a clearly legible and reproducible manner. All schedules shall be corrected to indicate "as built" conditions. All revisions shall be incorporated on these reproducible including all sketches and written directives. All coordinated equipment, mainline, pull and junction boxes, etc. shall be dimensionally located from the building structure. As a condition for acceptance of the work, the "as built" reproductions and one (1) set of prints shall be signed, dated and delivered to the engineer.
- The contractor shall supply all labor required to perform all work which may be claimed by trade organizations within his jurisdiction. All work shall be performed without any additional cost to the owner regardless of which section of the contract documents the work is described. The contractor shall be responsible to verify with all local organizations the extent of any collective bargaining agreements and/or any jurisdictional decisions rendered regarding disputes between the respective trades, and provide and install his work in accordance with the accepted trade practice in the area.
- The entire installation shall conform with all pertinent codes and regulations of the local, municipal, county, state, and federal authorities. The National Board of Fire Underwriters, the codes of the International Codes Council, the codes of the National Fire Protective Association, the Philadelphia Building Construction and Occupancy Code, and all other regulatory bodies having jurisdiction. All materials and equipment shall bear the stamps or seals of the NFPA, ASME, NEMA, IEEE, UL, and other recognized industry regulatory groups.
- The contractor shall give all necessary notices, obtain all permits, pay all governmental taxes, fees and other costs in connection with his work. He shall file all necessary plans, and prepare all other documents including additional detailed plans that are required for compliance with all applicable laws, ordinances, rules and regulations.
- Before starting any work under this Contract, file for inspection with the Middle Department Inspection Agency or other certified Agency. Upon completion of the work, file for inspection with the Middle Department Inspection Agency for all electrical equipment and systems installed or furnished and installed as part of the work.
- The contractor shall at all times keep the premises free from the accumulation of waste materials or rubbish caused by his employees or work. At the completion of the work, leave the premises free from all waste materials, equipment and debris resulting from the work.
- All branch and feeder wiring shall be soft drawn copper of 98% conductivity, installed in code conforming raceways or cable assemblies. All wiring (except fixture wire) shall be copper, thermoplastic covered insulated Type 75° C, THW or 90° C, Type THHN, 600 volt rating. Wire No. 8 AWG and smaller shall be solid. Wire larger than No. 8 shall be stranded.
- Note Not Used.
- Where conductors connect directly to equipment, the insulation temperature rating of the conductor shall meet or exceed the equipment temperature rating.
- Color code conductors to designate neutral conductor and phases.
- 120 Volt Switches shall be quiet toggle type with totally enclosed case, rated 20 ampere, specification grade, color as selected by Architect.
- Standard duplex receptacles shall be polarized, duplex, parallel blade, U-grounding slot, specification grade, rated 15 or 20 ampere as required, 125 volts, color as selected by Architect.
- Dimmers shall be flush mounted slide type as manufactured by Lutron with positive off, rating and size as required to serve the type of lighting load indicated.
- Plates for Flush Devices shall be beveled type with smooth rolled outer edge, plastic, color to match device.
- Grounding shall comply with Article 250 of NEC and to approval of local Underwriters inspection authorities.
- Provide all interior lighting fixtures complete with sockets, reflectors, diffusers, shades, holders, lamps, energy saving ballasts, protective devices and all other required appurtenances.
- Electrical panelboards, load centers, meter centers, circuit breakers and disconnect switches shall be as manufactured by Square D or Siemens.
- Panelboards shall be dead front type with plated aluminum bus, bolt-on breakers, fully rated neutral bus and grounding bus block. Cabinet shall be code gauge galvanized steel, NEMA 1, minimum 20" wide, 5-3/4" deep. Cover shall have door and trim and adjustable clamps, gray baked finish, and turnbuckle type key lock. Directories shall be typed. "Spaces" shall be fully bussed and drilled, ready for breaker installation.
- All load centers shall be dead front type with plug-on circuit breakers. Mains shall be lugs only or main circuit breaker. Neutral bus bar fully rated. Buses shall be suitably plated aluminum. Load centers shall be listed and labeled in accordance with UL Standard 87, and shall comply with the requirements of NEC.
- Each load center shall be equipped with an equipment-grounding bus block, with lugs and terminals for each branch circuit's equipment-grounding conductor.
- Cabinets shall be code-gauge galvanized steel, NEMA 1 unless indicated otherwise, for surface or flush mounting. Panel cover shall have door and screwdriver adjustable trim.
- Covers shall be gray baked enamel finish. Doors to have directory frame with plastic cover on inside and flush hinges. Flush cylinder turnbuckle-type lock master keyed to Owner's system in all doors.
- Where required panel shall be approved for use as service entrance equipment.
- "Spaces" shall be fully bussed and drilled, ready for breaker installation. Load Centers shall include a UL short circuit current rating label on the drawings. Load Centers rated 240 volts or less shall have short circuit current ratings not less than 10,000 ampere RMS symmetrical or as shown on the drawings.
- Provide all labor, materials and equipment required to provide electric power to meet the requirements for heating, ventilating, air-conditioning and plumbing installation. Fully bonded and grounded installation of electrical wiring and equipment with electrically operated mechanical equipment provided by the Mechanical and Plumbing Contractors.
- Test equipment, including panelboards and all other equipment and wiring for unintended grounds, short circuits, open circuits, continuity, current leakage, and that equipment will operate as specified. Test feeders for insulation resistance, for load balance of the final installation, and for overall operation of systems. Furnish labor and material required for making such tests and make corrections necessary to balance the load and to obtain proper operation.
- Provide for each telephone and TV outlet a 4x4 outlet box with single gang trim ring. Communications and Cable TV wiring and device coverplate shall be by owner's low voltage contractor and is not within the scope of these plans.
- Provide 120volt power as required for Security System.
- Provide, in trench containing electric and communication duct systems, an underground utility marking tape. Tape shall be buried 1 foot below grade and run continuous the entire length of duct trench. Tape shall be brightly colored polyethylene long life type with printed warning to read "CAUTION, BURIED ELECTRIC LINE BELOW".
- Provide all required excavation trenching, backfilling, compacting in accord with this Division. Refer to general contract specifications, and comply with all requirements.
- Underground feeders and branch circuits shall be installed in schedule 40 PVC conduit. Provide approved grounding conductor in all nonmetallic conduit.
- Provide all excavation, trenching and backfilling including shoring, sheeting, pumping, grading, barricading and other related work necessary for installation of electrical work.
- Excavation shall be performed on an unclassified basis and shall include the removal of materials encountered.
- Trenches shall be of sufficient depth to meet NEC requirements and allow adequate cover over raceways. Bottoms of trenches shall be instrument graded in direction of flow. Earth shall be scooped out so raceways will have solid bearings on undisturbed earth. Where raceways are installed in filled ground concrete envelope encasement shall span full width of trench.
- Backfill shall be made with clean earth free of rocks, frozen earth, debris or other foreign material. Deposit backfill in uniform layers not over 6" thick. Tamp each layer before applying next layer. Conduits or backfill are prohibited.
- Excavated material remaining after the backfilling operation shall be deposited on the site by the contractor as directed by the architect.
- Where sleeves containing a single conduit penetrate FIRE RATED walls, floors, partitions or slabs, fill and seal conduit to the sleeve with a 1-part intumescent caulking/sealant creating a fire stop equal to or exceeding the rating of construction material being penetrated. Fire sealant shall prevent spread of flame, smoke, air and water through the sleeve and shall pass 3 hour test per ASTM E814 and UL 1479. Fire sealant shall be installed in accordance with manufacturer's written instructions. Where sleeves contain multiple conduits penetrate FIRE RATED walls, floors, partitions, or slabs, fill and seal spaces between the conduits or cables and the sleeve with 2-part intumescent foam sealant creating a fire stop equal to or exceeding the rating of construction material being penetrated. Fire sealant shall prevent spread of flame, smoke, air and water through the sleeve and shall pass 3 hour test per ASTM E814 and UL 1479. Fire sealant shall be installed in accordance with manufacturer's written instructions. Where sleeves penetrate exterior walls, fill and seal ends around conduits and cables with duct sealant compound equal to Solortite KN-1146, or Link Seal. Install seals in accordance with the manufacturer's recommendations to provide air-tightness above ground and hydrostatic sealing below grade. Caulking or other type of plastic is not acceptable. Where wiring devices are placed in fire rated construction, the rating of installed assembly shall meet or exceed the rating of the construction.
- Lay out all work from approved building and property lines and benchmarks. Verify and be responsible for the correctness of all measurements in connection with work. Any changes made in major overall dimensions as shown which affect the physical size, shape, or location of any part of the Work, whether due to field check or changes due to the use of equipment of a manufacturer other than that used as the basis of design shall not cause any interference with other work.
- Electrical equipment shall not interfere in any way with other material or equipment and shall provide adequate working space; see Requirements for Electrical Installations, Article 110 and other related articles of the National Electrical Code.
- Fully coordinate installation, wiring and connection of service and distribution systems with the owner, Power Company and all contractors.
- Coordinate with Power Company, inform them of the proposed work, obtain their approval before beginning work; comply with their requirements for details of installation and materials used.
- Determine and pay any and all charges required by Power Company. Have electrical service available when required by construction schedule.
- Verify locations of existing underground services in the area of construction. Verify existing locations of underground electrical services, natural gas piping, water services and sanitary piping which may affect work.
- Identify each safety switch, motor starter, equipment cabinet, panelboard, junction box, switchgear, control cabinets, motor control centers and other electrical equipment as to nature, service and purpose, by means of permanently attached, approved size, laminated plastic nameplates.

## 2 RANGE HOOD CONTROL DETAIL NOT TO SCALE



## 3 GROUNDING ELECTRODE SYSTEM NOT TO SCALE



# ELECTRICAL STANDARD MOUNTING HEIGHTS

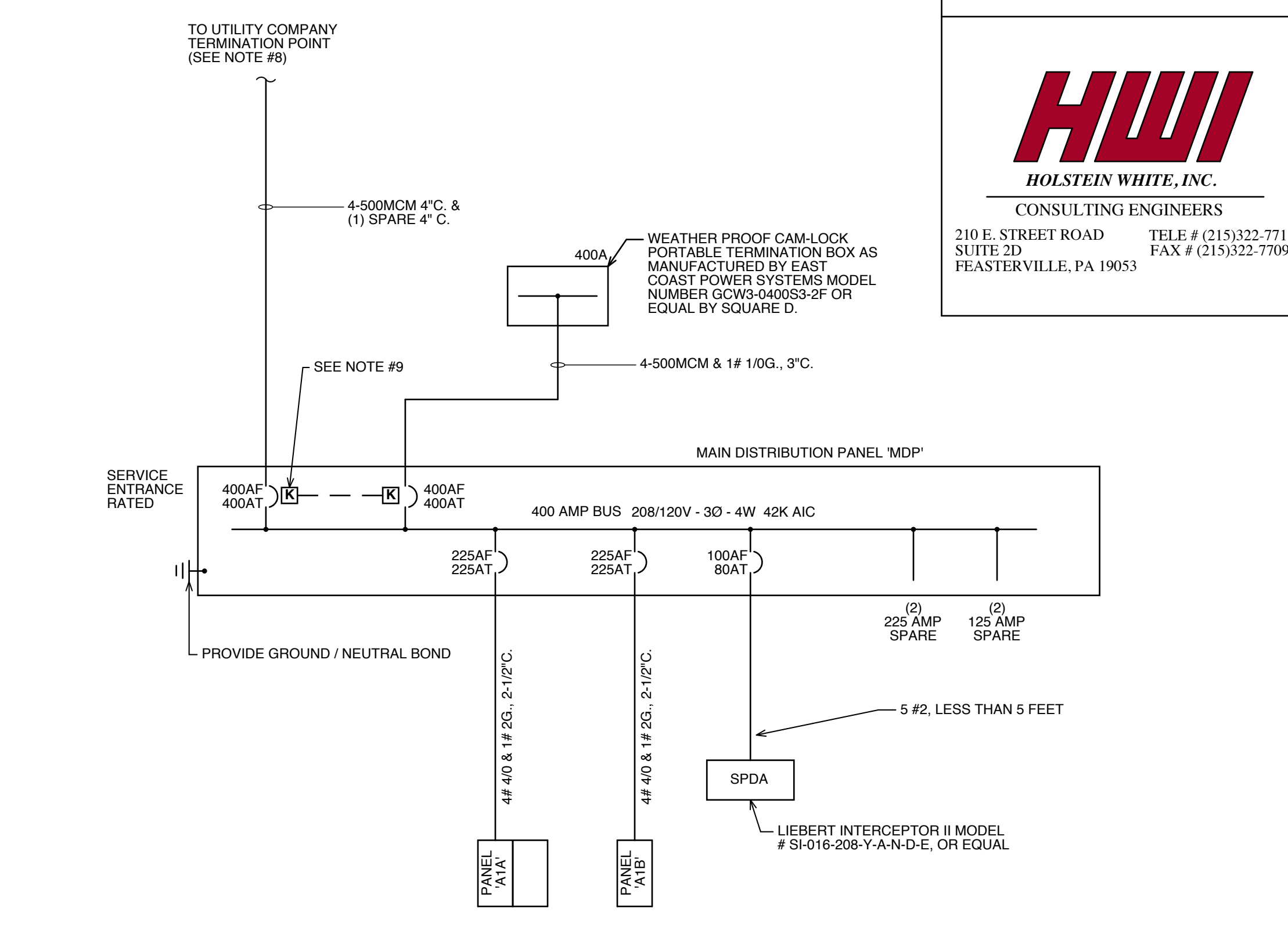
- 0" Below Finished Ceiling: Wall-Mounted Clocks, Program Bells, Fire Alarm Bells and Horns
  - 10'-0": Battery Lighting Units and Remote Wall Mounted Lighting Heads (Or 1'-0" Below Finished Ceiling)
  - 8'-6": Pendant Hung Industrial and Strip Lighting Fixtures
  - Center Above Door or Window Opening: Warning and Signaling Fixtures/Signs
  - 6'-8" or 6" Below Finished Ceiling: Fire Alarm Illuminated Flashing Lights (Lowest of the two Heights)
  - 6'-6": Top of Flush and Surface Mounted Electrical Panelboards and Communication System Cabinets
  - 6'-3": Top of Back-Mounted Wall Exit Signs (Not Mounted Above Doors)
  - 6'-0": Top of Highest Electrical Safety Disconnect Switches, Magnetic Motor Starters and Contactors
  - 4'-6": Wall Mounted Telephones and Pay Stations (3'-6" at Handicap Locations)
  - 3'-6": Fire Alarm Pull Stations
  - 3'-4": Wall Mounted Electrical Device Lighting Switches
  - 2'-0": Electrical Receptacles in Mechanical Spaces, Electrical and Elevator Rooms
  - 1'-6": Electrical Receptacles, Television Outlets, Telephone Outlets, and Computer Outlets
  - 1'-0": Finished Floor
- Mounting Heights to center of outlets unless otherwise noted. In masonry construction the mounting heights shall be used for reference to the nearest block or brick coursing. The above mounting heights shall be adhered to unless specifically noted or detailed on the Architectural drawings or specifications.

# ELECTRICAL SYMBOLS

- Incandescent, Fluorescent or High Intensity Discharge Lighting Fixture
- Telephone Outlet [Telephone Function] W - Wall
- Single Pole Switch
- Three Way Switch
- Manual Motor Switch
- Switch Controlling Device Indicated
- Duplex Receptacle - 125V, 2P, 3W
- GFI Duplex Receptacle - 125V, 2P, 3W
- Single Receptacle - 250V, 2P, 3W
- Solid Connection to Equipment
- Device Mounted Above Counter Top
- Photocell Control Switch
- Weatherproof
- Amp Frame
- Amp Trip
- Motor
- Electrical Panel
- Unfused Disconnect Switch
- Fused Disconnect Switch
- Utility Company Meter
- Current Transformer
- Circuit Breaker
- UnderGround Electric
- UnderGround Communication
- Circuit Breaker
- Television Provision
- Ground Rod
- Proposed UnderGround Secondary Conduit and Pull String
- Dishwasher
- Range Hood
- Range
- Microwave
- Key Interlocked Devices
- Emergency Battery Pack
- Dual Remote Lighting Heads
- Automatic Detector [Detector Control Function] F - Thermal, Fixed Temperature PE - Smoke PhotoElectric
- Fire Alarm Manual Pull Station
- Fire Alarm Horn
- Fire Alarm Flashing Light
- Remote Condition Light
- Concrete Floor Box

# SINGLE LINE DIAGRAM NOTES

- UNLESS OTHERWISE NOTED, ALL DEVICES AND SPACES ARE 3 POLE.
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER TYPE THW, RATED 75°C.
- UNLESS OTHERWISE NOTED, ALL CONDUIT SHALL BE EMT.
- ALL EQUIPMENT SHALL BE SERIES RATED TO WITHSTAND THE AVAILABLE SHORT CIRCUIT CURRENT.
- PANEL BOARDS AND SWITCHBOARD SHALL BE AS MANUFACTURED BY SQUARE D.
- BRANCH CIRCUIT PANEL SHALL BE AS MANUFACTURED BY SQUARE D, TYPE NO MAIN CIRCUIT BREAKER SERIES RATED PANELBOARD.
- PANEL MDP SHALL BE AS MANUFACTURED BY SQUARE D, TYPE LINE, OR APPROVED EQUAL.
- COORDINATE WITH PECC AND ROUTE SERVICE CONDUCTORS TO SECONDARY OF TRANSFORMER AS DIRECTED.
- KEY INTERLOCK SHALL PREVENT SIMULTANEOUS CLOSING OF INDICATED BREAKERS.



PANEL A1A		225A MLO 42KAIC			3Ø POLE			208/120V - 3Ø - 4W Section 1 of 2				
Cir. No.	Cir. Bkr.	Wire Size	Description	A	B	C	A	B	C	Description	Wire Size	Cir. No.
2	201	#12	Classroom 105 Receptacles	0.9	0.9		0.4	0.4		Classroom 105 Receptacles	#12	201
3	201	#12	Classroom 105 Receptacles							Classroom 105 Receptacles	#12	201
5	201	#12	Office 105 Receptacles	0.5	0.7		0.4	0.4	0.4	Office 105 Receptacles	#12	201
7	201	#12	Reception 104 Receptacles	0.5			0.4	0.7		Reception 104 Receptacles	#12	201
9	201	#12	Reception 104 Receptacles	0.5	0.2					Reception 104 Receptacles	#12	201
11	201	#12	Conference 120 Receptacles	0.7	0.7		0.7	0.7	0.7	Multi-Purpose Rm 113 Receptacles	#12	201
13	201	#12	Conference 120 Receptacles	0.7						Multi-Purpose Rm 113 Receptacles	#12	201
15	201	#12	Conference 120 TV Receptacles	0.7	0.5	1.1	0.4	0.4	0.4	Multi-Purpose Rm 113 Receptacles	#12	201
17	201	#12	Classroom 119 Receptacles	0.7			0.5	0.4	0.4	Multi-Purpose Rm 113 Receptacles	#12	201
19	201	#12	Classroom 119 Receptacles	0.7			0.5	0.4	0.4	Restrooms / Janitors Classroom Receptacles	#12	201
21	201	#12	Kitchen Counter Receptacle	0.4	0.4	0.4	0.4	0.2	0.2	Telecommunication backboard Receptacle	#12	201
23	201	#12	Kitchen Counter Receptacle	0.4			0.5	1.1	1.4	Exterior Receptacles	#12	201
25	201	#12	Kitchen Counter Receptacle	0.4	0.4	0.4				Future Security System	#12	201
27	201	#12	Kitchen Counter Receptacle							Corridor Receptacles	#12	201
29	201	#12	Kitchen Counter Receptacle							Corridor Receptacles	#12	201
Total				3.2	2.8	3.2	2.5	2.9	3.1	Total		

Phase (KW)	Load Summary by Type	Options and Accessories - (X) Indicates Selection
A	5.7 Connected Appliance KW	<input type="checkbox"/> Feed Through Lugs
B	3.2 Connected Lighting KW	<input type="checkbox"/> Subfeed Main Lugs
C	6.3 Connected Motor KW	<input type="checkbox"/> Split Bus
Total	17.2 Connected Heating KW	<input type="checkbox"/> Contactor Controlled
	17.2 Connected Air Conditioning KW	<input type="checkbox"/> Top
	Total 17.2 KW	<input type="checkbox"/> Insulated
		<input type="checkbox"/> Ground Bus
		<input type="checkbox"/> Bottom

PANEL A1A		225A MLO 42KAIC			3Ø POLE			208/120V - 3Ø - 4W Section 2 of 2				
Cir. No.	Cir. Bkr.	Wire Size	Description	A	B	C	A	B	C	Description	Wire Size	Cir. No.
31	201	#12	Refrigerator Kitchen 112	1.0	1.0		1.2	1.2	1.2	Lighting Multi-Purpose Room 113	#12	201
33	201	#12	Refrigerator Kitchen 112							Lighting Multi-Purpose Room 113	#12	201
35	201	#12	Range	0.5	0.5		1.2	1.2	1.2	Lighting Multi-Purpose Room 113	#12	201
37	201	#12	Space				1.2	1.5	1.1	Lighting Multi-Purpose Room 113	#12	201
39	201	#12	Microwave	1.0	1.0		1.2	1.5	1.1	Lighting Classroom Rec/Off Restrm Kit	#12	201
43	201	#12	Range Hood	0.5	0.5	1.0	1.2	0.6	0.5	Lighting Corridor Vestibule Lobby	#12	201
45	201	#12	Watercooler Receptacle	0.5	0.5	0.5	0.8	0.6	0.5	Lighting Exterior Building	#12	201
47	201	#12	Watercooler Receptacle	0.5	0.5	0.5	0.8	0.6	0.5	Lighting Exterior Building	#12	201
49	402	#6	Dishwasher	2.5	2.5		0.8	0.6	0.5	Night Light in Corridors	#12	201
51	201	#12	Space							Space	#20	51
53	201	#12	Security Shutters	1.0						Space	#20	50
55	201	#12	Space							Space	#20	56
57	201	#12	Space							Space	#20	59
59	201	#12	Space							Space	#20	60
Total				4	4	3.0	4.4	3.3	2.8	Total		

Phase (KW)	Load Summary by Type	Options and Accessories - (X) Indicates Selection
A	8.4 Connected Appliance KW	<input type="checkbox"/> Feed Through Lugs
B	7.2 Connected Lighting KW	<input type="checkbox"/> Subfeed Main Lugs
C	5.8 Connected Motor KW	<input type="checkbox"/> Split Bus
Total	21.5 Connected Heating KW	<input type="checkbox"/> Contactor Controlled
	21.5 Connected Air Conditioning KW	<input type="checkbox"/> Top
	Total 21.5 KW	<input type="checkbox"/> Insulated
		<input type="checkbox"/> Ground Bus
		<input type="checkbox"/> Bottom

PANEL A1B		225A MLO 42KAIC			42 POLE			208/120V - 3Ø - 4W Section 1 of 2				
Cir. No.	Cir. Bkr.	Wire Size	Description	A	B	C	A	B	C	Description	Wire Size	Cir. No.
1	203	#12	Motor Divider partition	0.5			0.5	0.5	1.5	Fire Alarm Control Panel	#12	201
3	-	-	-		0.5	0.5				Fire Alarm Control Panel	#12	201
7	201	#12	AHU-1	1.9	2.4	2.4	1.5	0.7	1.5	AHU-001S	#12	201
11	402	#8	CU-1				1.5	0.7	1.5	FFH-1	#12	201
13	201	#12	AHU-2	1.9	2.4	2.4	1.5	2.4	2.4	FFH-2	#12	201
15	402	#8	CU-2				1.5	2.4	2.4	FFH-1	#12	201
17	201	#12	AHU-3	1.9	2.4	2.4	0.5	0.5	2.4	UH-1	#12	151
21	402	#8	CU-3				0.5	0.5	2.4	UH-2	#12	151
23	201	#12	AHU-4	1.9	2.4	2.4	0.3	0.3	0.5	Motor Operated Damper	#12	201
27	402	#8	CU-4				0.3	0.3	0.5	Site Lighting	#8	202
29	201	#12	AHU-5	1.9	2.4	2.4				Site Lighting	#8	202
31	402	#8	CU-5				0.3	1.0	1.0	Site Sign	#8	202
33	402	#8	CU-5							Space	#20	34
37	201	#12	Space							Space	#20	36
39	201	#12	Space							Space	#20	38
41	201	#12	Space				4.6	5.4	10.0	Space	#20	42
Total				10.0	12.3	12.3	4.6					