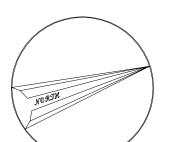
1511 LINDENHURST ROAD SUBDIVISION

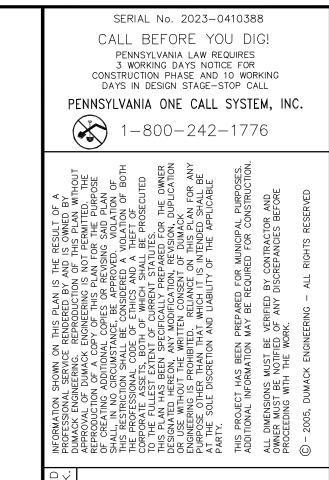
LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

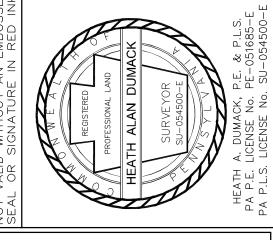


LOCATION MAP SCALE : 1"= 200'

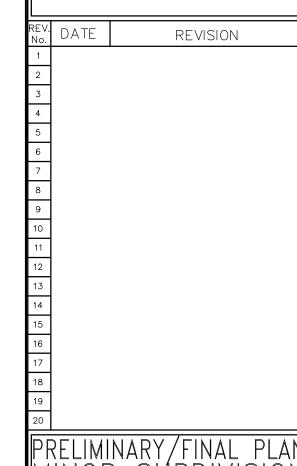


INDEX OF DRAWINGS DESCRIPTION **COVER SHEET** RECORD PLAN EXISTING FEAURES PLAN EROSION CONTROL PLAN EROSION CONTROL DETAILS POST CONSTRUCTION STORMWATER MANAGEMENT PLAN POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS LANDSCAPE PLAN LANDSCAPE DETAILS CONSTRUCTION DETAILS









PRELIMINARY/FINAL PLAN MINOR SUBDIVISION

XISTING PARCEL INFO: T.M.P. No. 20-003-017 DEED BOOK: 5029 PAGE No. 1855

CURRENT ZONING: R-1 OWNER of RECORD: JOSEPH SMITH & CYNTHIA MCDONOUGH 1511 LINDENHURST ROAD YARDLEY, PA 19067

SAME AS ABOVE



1511 LINDENHURST ROAD

LOWER MAKEFIELD TOWNSHIP BUCKS COUNTY, PA

ZONED: R-1, RESIDENTIAL LOW-DENSITY DISTRICT USE: SINGLE FAMILY DWELLING PROPOSED PROPOSED COVERED PATIO **SECTION REQUIRED** EXISTING REQUIREMENT LOT 1 LOT 2 200-16 34,000 SF** 197,999 SF 76,675 SF 121,324 SF POOL HOUSE MINIMUM LOT AREA 200-18 110 FT** 514.21 FT 243.53 FT. 133.70 FT. MINIMUM LOT WIDTH AT FRONT BUILDING LIN 200-18 80 FT 427.42 FT 96.19 FT 80 FT. GRAVEL MINIMUM FRONT YARD 200-18 25 FT 20.57 FT.* 20.57 FT.* 25 FT. MINIMUM SIDE YARD 200-18 105.79 FT 105.79 FT. 70 FT. 70 FT MINIMUM REAR YARD 7.61% 15.39% 200-19 18% 6.59% MAXIMUM IMPERVIOUS SURFACE RATIO 200-18 35 FT <35 FT. <35 FT. <35 FT. MAXIMUM BUILDING HEIGHT 200-16 1.40 DU/AC. MAXIMUM DENSITY N/A 0.82 DU/AC *INDICATES AN EXISTING NON-CONFORMITY **WITH ON-LOT PRIVATE WATER AND/OR ON-LOT SEWAGE FACILITIES, THE MINIMUM LOT AREA PERMITTED SHALL BE 34,000 SQUARE FEET WITH A MINIMUM LOT WIDTH AT THE BUILDING LINE OF 110 FEET ON THE _____ DAY OF ______, 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA. THE FOLLOWING VARIANCES FROM THE LOWER MAKEFIELD TOWNSHIP ZONING ORDINANCE WERE GRANTED BY THE ZONING HEARING BOARD AT A PUBLIC MEETING HELD ON FEBRUARY 7, 2023: PERSONALLY APPEARED ______, WHO ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF PROPERTY SHOWN THEREON, SITUATE IN THE TOWNSHIP OF LOWER MAKEFIELD, COMMONWEALTH OF PENNSYLVANIA AND DESIRED TO PERMIT A DISTURBANCE OF 12% OF THE 200-51.B.(4)(d) WETLAND BUFFER WHERE 100% PROTECTION IS THAT THIS PLAN BE RECORDED ACCORDING TO LAW. ______. OTHERWISE REQUIRED. 200-51 (5)(c)[3] TO PERMIT A DISTURBANCE OF 10.3% OF CLASS III TO ALL TO WHOM THESE PRESENTS MAY COME, WE, (>25%) STEEP SLOPES WHERE 100% PROTECTION IS OTHERWISE REQUIRED. SEND GREETINGS. KNOW YE THAT WE HAVE LAID OUT UPON OUR LAND SITUATE ON TO PERMIT THE MINIMUM BUILDING SETBACKS TO 200-61.C THE TOWNSHIP OF LOWER MAKEFIELD, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA BE MEASURED FROM LOT LINES INSTEAD OF THE CERTAIN LOTS AND DEVELOPMENTS ACCORDING TO THE ACCOMPANYING PLAIN WHICH IS SPECIAL SETBACK REQUIREMENT TO MEASURE HEREWITH INTENDED TO BE RECORDED. WITNESS OUR HAND AND SEAL THIS FROM THE LIMIT OF RESOURCE PROTECTED LANDS. _____, DAY OF ______, 20____. THE FOLLOWING WAIVERS FROM THE LOWER MAKEFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ARE REQUESTED: FO PERMIT THE EXISTING RIGHT-OF-WAY & CARTWAY CORPORATION SEAL WIDTHS TO REMAIN. 178-47.A. TO NOT REQUIRE SIDEWALKS. TO NOT REQUIRE BIKE PATHS. 178-48.A. TO NOT RQUIRE THE LANDSCAPE PLAN TO BE SIGNED 178-80. AND SEALED BY A REGISTERED LANDSCAPE ARCHITECT. APPROVED BY THE LOWER MAKEFIELD TOWNSHIP BOARD OF SUPERVISORS ON THIS

178-93.B(2)(b)

178-93.B(2)(c)

178-93.F.(3)(c)

178-93.F.(3)(h)

178-93.F.(5)(g)

∽Mon. Fnd.

WALKS/CONC. PORCH TOTAL (SF) DECK IMPERVIOUS RATIO DRAINAGE PLAN CERTIFICATION: I, <u>HEATH DUMACK, P.E.</u> ON THIS DATE_ DATE SIGNATURE OWNERS ACKNOWLEDGMENT: ALL FUTURE LAND OWNERS. SURVEYORS CERTIFICATION: I, <u>heath a dumack, psls</u>, on this date<u></u> GREATER THAN ONE PART IN 10,000.

Mon. formet-

TO NOT REQUIRE TEST PITS TO BE A MINIMUM DEPTH

GEOLOGIST OR, ARCPACS OR PAPSS CERTIFIED SOIL

SCIENTIST SHALL CREATE A CONCEPTUAL MODEL OF

THE SURFACE AND SUBSURFACE DRAINAGE PATTERNS

TO ALLOW A MINIMUM PIPE COVER OF 1 FOOT INSTEAD

N/F LOWER MAKEFIELD TOWNSHIP TAX MAP PARCEL 20-073-014 ZONED: R-1

00 L=206.14'

TO NOT REQUIRE A PENNSYLVANIA LICENSED

TO ALLOW THE USE OF 6' PIPES INSTEAD OF THE

TO PERMIT INLETS OTHER THAN THOSE THAT

CONFORM TO PENNSYLVANIA DEPARTMENT OF

OF THE SITE.

REQUIRED 18" PIPES.

OF THE REQUIRED TWO FEET.

TRANSPORTATION SPECIFICATIONS.

TOTAL (SF) 11,797 IMPERVIOUS RATIO 15.39% 6.59% REVIEWED AND HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE NESHAMINY CREEK WATERSHED ACT 167 STORMWATER MANAGEMENT ORDINANCE OR PLAN AND LOWER MAKEFIELD TOWNSHIP STORMWATER ORDINANCE. (LAND OWNER), HEREBY ACKNOWLEDGES THAT THE STORMWATER MANAGEMENT SYSTEM, INCLUDING ALL BMP's, ARE A PERMANENT FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE TOWNSHIP OF A REVISED PLAN, WHICH SHALL BE RECORDED WITH THE RECORD PLAN AND WHICH SHALL BE APPLICABLE TO

EXISTING IMPERVIOUS

SURFACE TABULATION

A GIVEN CALENDAR YEAR. SUCH REPORTS SHALL BE DUE ON OR ABOUT THE FIRST DAY OF MARCH OF THE FOLLOWING THE TOWNSHIP AND/OR IT'S AGENTS RESERVES THE RIGHT AND REVIEWED AND HEREBY CERTIFY THAT TO THE BEST OF MY PRIVILEGE TO ENTER UPON SUCH LANDS FROM TIME TO TIME KNOWLEDGE THE THE SITE DOES NOT HAVE A CLOSURE FOR THE PURPOSE OF INSPECTION OF SAID UNDERGROUND STORMWATER MANAGEMENT FACILITY IN ORDER TO ENSURE THAT THE STRUCTURAL AND DESIGN INTEGRITY AND MAINTENANCE REQUIREMENTS ARE BEING MAINTAINED BY THE SIGNATURE OWNERS INDEX OF DRAWINGS No. DESCRIPTION COVER SHEET RECORD PLAN EXISTING FEAURES PLAN EROSION CONTROL PLAN EROSION CONTROL DETAILS POST CONSTRUCTION STORMWATER MANAGEMENT PLAN POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

LANDSCAPE PLAN

LANDSCAPE DETAILS

CONSTRUCTION DETAILS

PROPOSED IMPERVIOUS SURFACE

TABULATION

DWELLING

DRIVE

GRAVEL

WALLS

POOL HOUSE

WALKS/CONC.

LOT 1 LOT 2

5,300 2,446

1,432 3,145

411

4,270

97

Utility Users List Aqua Pennsylvania Wastewater Inc 762 W Lancaster Ave Verizon Business Formerly MCI 7000 Weston Pkwy Cary, NC 27513 Bryn Mawr, PA 19010 Contact: Thomas Waddy Contact: Victor Wood EMAIL: tbwaddy@aquaamerica.com PHONE: (610) 525—1400 EXT. 52105 Email: victor.s.wood@verizon.com PHONE: (919) 414-2782 Lower Makefield Township 1100 Edgewood Rd Yardley, PA 19067 190 Shoemaker Rd Pottstown, PA 19464 Attn: Derek Fuller Contact: Mike Kimberly EMAIL: mike_kimberly@cable.comcast.com EMAIL: derekf@lmt.org PHONE: (267) 274-1131 PECO An Exelon Company C/O USIC 450 S Henderson Rd, Suite B King of Prussia, PA 19406 Contact: Nikkia Simpkins EMAIL: nikkiasimpkins@usicllc.com PHONE: (484) 681-5720 Pennsylvania American Water 171 W Johnson Hwy Norristown, PA 19401

WETLANDS

Buffer

Wooded

SUBSURFACE DRYWELL INSPECTION AND MAINTENANCE

UNDERGROUND STORMWATER MANAGEMENT SYSTEMS

AND LAWN AREAS WITH DIRECT DISCHARGE TO THE

VEGETATION SHALL BE IMMEDIATELY CORRECTED BY

SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

100 PERCENT VEGETATIVE COVER BY HERBACEOUS SPECIES SHALL BE MAINTAINED THROUGHOUT ALL EMBANKMENTS

UNDERGROUND FACILITY, ANY AREA BECOMING VOID OF

REPLANTING OR OTHER ADEQUATE MEASURES NECESSARY

GRASS CLIPPINGS SHALL BE COLLECTED AND REMOVED TO

CHECKED FOR LEAF LITTER AND OTHER DEBRIS, WHICH MAY

FACILITY AT LEAST FOUR TIMES A YEAR, AS WELL AS AFTER

EVERY STORM EXCEEDING 1 INCH. REMOVE CLEANOUT CAPS AND INSPECT FOR DEBRIS. REMOVE ACCUMULATED LEAVES,

TWIGS, SEDIMENT AND OTHER DEBRIS AS REQUIRED TO KEEP

THE ROOF DRAINAGE SYSTEM CLEAN, IF AFTER INSPECTION IT

IS DETERMINED THAT SEDIMENT NEEDS TO BE REMOVED

FROM THE SEEPAGE BED, INJECT SYSTEM WITH WATER,

5. EVALUATE THE DRAIN-DOWN TIME OF THE FACILITY TO

INSURE THE MAXIMUM TIME OF 72 HOURS IS NOT BEING

EXCEEDED. IF DRAIN-DOWN TIMES ARE EXCEEDING THE

6. THE PROPERTY OWNER SHALL SUBMIT AN ANNUAL REPORT

TO THE TOWNSHIP DETAILING THE MAINTENANCE WORK,

INCLUDING REPAIRS, IF ANY, THAT ARE CARRIED OUT DURING

MAXIMUM, DRAIN THE FACILITY BY PUMPING AND CLEANING

PREVENT CLOGGING OF THE FACILITY. FALLEN LEAVES

SHALL BE COLLECTED AND REMOVED FROM THE SITE A

MINIMUM OF ONE (1) TIME PER WEEK DURING THE FALL

SEASON. ROOF DRAINS AND DEBRIS TRAPS SHALL BE

4. INSPECT UNDERGROUND STORMWATER MANAGEMENT

CLOG PERFORATED PIPES AND/OR STONE BEDS.

SUSPEND SILT AND PUMP CHAMBER.

Contact: Siti Yearwood

CHANCE J & LURLEEN G WORTHINGTON
TAX MAP PARCEL 20-003-018-001
ZONED: R-1

EMAIL: siti.yearwood@amwater.com PHONE: (610) 292-3575

OUT PERFORATED PIPE.

OF THE SYSTEM. AT NO TIME SHALL MULCH BE USED ON

SLOPES OF DIRECT DRAINAGE TO THE UNDERGROUND

TO PREVENT EROSION THAT MAY JEOPARDIZE THE POROSITY

. INSPECTION, MAINTENANCE AND REPAIR OF THE

SITE CAPACITY CALULATION FOR DETERMINING THE NET BUILDABLE SITE AREA, THE FOLLOWING FORM SHALL BE USED: A. <u>CALCULATION FOR BASE SITE AREA.</u>
(1). DETERMINE GROSS SITE AREA BY ACTUAL ON—SITE SURVEY: 6.100 AC

(2). SUBTRACT THE FOLLOWING: (a). LAND WITHIN EXISTING ROADS AND THEIR ULTIMATE RIGHTS-OF-WAY AND UTILITY TRANSMISSION RIGHTS-OF-WAY: 1.555 AC

(b). LAND WITHOUT DEVELOPMENT OPPORTUNITIES DUE TO RESTRICTIONS SUCH AS RESTRICTIVE COVENANTS AND CONSERVATION EASEMENTS. 0.00 AC

B. CALCULATION FOR LAND WITH RESOURCE RESTRICTIONS AND RESOURCES PROTECTION.

(3). EQUALS BASE SITE AREA : 4.545 AC

(1) DETERMINE LAND SUBJECT TO NATURAL RESOURCES. EACH SITE HAS UNIQUE NATURAL FEATURES. ALL APPLICATIONS SHALL INCLUDE MAPS SHOWING THE LOCATIONS OF THE RESOURCES TOGETHER WITH THE CALCULATIONS ON THE FOLLOWING CHART. IN THE EVENT THAT TWO OR MORE RESOURCES OVERLAP, ONLY THE RESOURCE WITH THE HIGHEST PROTECTION RATIO SHALL BE USED:

	DATA MAPS	NATURAL RESOURCES	MINIMUM REQUIRED RESOURCE PROTECTION RATIO I	LAND IN NATURAL RESOURCES II (Ac.)	RESOURCE PROTECTION LAND (COLUMN I x COLUMN II)
	DROLOGIC RFACE FEATURES	FLOODPLAINS FLOODPLAIN SOILS LAKES OR PONDS WETLANDS LAKE AND POND SHORELINE	1.00 0.50 1.00 1.00 1.00	0.000 0.000 0.000 0.522 0.000	0.000 0.000 0.000 0.522 0.000
		WETLAND AND WATERCOURSE BUFFER	1.00	1.001	1.001
SLC	LOPES	CLASS STEEP SLOPES	0.50	0.292	0.146
		(8% - 15%) CLASS II STEEP SLOPES (15% - 25%)	0.70	0.070	0.049
		CLASS III STEEP SLOPES (GREATER THAN 25%)	1.00	0.078	0.078
	ODLAND SOCIATIONS	WOODLANDS	0.80	0.397	0.318

(2) DETERMINE PERCENTAGE OF BASE SITE AREA CLASSIFIED AS RESOURCE-PROTECTED LAND: TOTAL RESOURCE-PROTECTED LAND DIVIDED BY BASE SITE AREA = % OF BASE SITE AREA CLASSIFIED AS RESOURCE-PROTECTED LAND:

TOTAL NATURAL RESOURCE PROTECTION LAND

C. <u>DETERMINE SITE CAPACITY</u>.

(1). FOR ALL RESIDENTIAL SUBDIVISIONS AND LAND DEVELOPMENTS THE FOLLOWING CALCULATIONS SHALL APPLY:

(a) SINGLE-FAMILY DETACHED DEVELOPMENTS AND TWO-FAMILY DEVELOPMENTS

[1] FIND NET BUILDABLE SITE AREA FOR SINGLE-FAMILY DETACHED AND TWO-FAMILY DEVELOPMENTS

BASE SITE AREA MINUS TOTAL RESOURCE PROTECTED LAND (DETERMINED IN STEP II) = NET BUILDABLE SITE AREA:

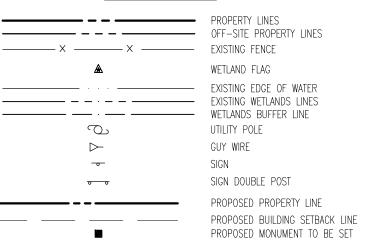
[2] FIND MAXIMUM NUMBER OF PERMITTED DWELLING UNITS FOR ALL SINGLE—FAMILY DETACHED AND TWO—FAMILY DEVELOPMENTS:

LOWER MAKEFIELD FARMLAND PRESERVATION INC TAX MAP PARCEL 20-074-021 ZONED: R-1

121,324 SF – Grass Area —

PROP. 4' HIGH CODE COMPLIANT FENCE

PROPOSED DWELLING **2,446** SF /



EXISTING TREE LINE

3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING PENNSYLVANIA ONE CALL SYSTEM, INC. LOCATION MAP

GENERAL NOTES:

LOT 1 76,675 SF

PORCH

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES CONTAINED ON THESE PLANS HAVE BEEN OBTAINED BY FIELD SURVEY. COMPLETENESS OR ACCURACY OF THE LOCATION OF UTILITIES CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT

2. NO PORTION OF THE SITE IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY AS IDENTIFIED ON FEMA MAP 42017C0344J, EFFECTIVE DATE MARCH

3. TOPOGRAPHY AND ELEVATIONS BASED ON A FIELD SURVEY PERFORMED BY DYNAMIC SURVEY, LLC IN OCTOBER & NOVEMBER OF 2020.

4. ALL PROPOSED UTILITIES SHALL BE PLACE UNDERGROUND.

5. PROPOSED DWELLING SHOWN ON LOT 2 IS SCHEMATIC ONLY.

6. SITE TO BE SERVICED BY PRIVATE WATER AND ON-LOT SEWER.

7. THE SITE IS LOCATED WITHIN THE NESHAMINY CREEK WATERSHED DISTRICT. THE SITE DRAINS TO AN UNNAMED TRIBUTARY TO CORE CREEK WITH A CHAPTER 93 CLASSIFICATION OF COLD WATER FISHES (CWF) AND MIGRATORY FISHES (MF).

8. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

1-800-242-1776 SCALE: 1"=800'

SERIAL No. 2023-0410388

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES

DAYS IN DESIGN STAGE-STOP CALL

DATE REVISION

RELIMINARY/FINAL PLAN MINOR SÚBDIVISION

XISTING PARCEL INFO: T.M.P. No. 20-003-017 DEED BOOK: 5029 PAGE No. 1855

CURRENT ZONING: R-1 WNER of RECORD: JOSEPH SMITH & CYNTHIA MCDONOUGH 1511 LINDENHURST ROAD YARDLEY, PA 19067

PPLICANT: SAME AS ABOVE

EASEMENT

OU & SEREY PARCEL 20-PANED: R-

GRAPHIC SCALE

1511 LINDENHURST ROAD

LOWER MAKEFIELD TOWNSHIP BUCKS COUNTY, PA

HAD 1'' = 50'MAY 17, 2023

SANITARY SEWER EASEMENT LINDENHURST ROAD, S.R. 2069 CLEAR SIGHT-TRIANGLE (TYP.) TOWNSHIP CLASSIFICATION: MAJOR COLLECTOR ROAD -PROPOSED 345.24' S13[°] 24′ 00″W VARIABLE WIDTH VARIABLE WIDTH L=246.53' ACCESS (40 MPH) R=2,000.00' EASEMENT

BUCKS COUNTY PLANNING COMMISSION NUMBER: _____ PROCESSED AND REVIEWED. REPORT PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPAL PLANNING CODE. RECORDING CERTIFICATION - COUNTY OF BUCKS THIS PLAN WAS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF BUCKS AT DOYLESTOWN, PENNSYLVANIA IN PLAN RECORDER OF DEEDS

APPROVED BY THE LOWER MAKEFIELD TOWNSHIP PLANNING COMMISSION ON THIS

REVIEWED BY THE LOWER MAKEFIELD TOWNSHIP ENGINEER ON THIS _____ DAY OF

TOWNSHIP ENGINEER_____

_____ DAY OF _______, 20____.

SECRETARY____

DR

Q

ATHE

CB=S08° 37' 53"W CD=615.09'

WETLAND BUFFER

 $\Delta = 7^{\circ}03'45"$ CB=S16°55′53"W

CD=246.37'

WETLAND BUFFER

PROPOSED-

STONE

DRYWELL #2

6'x115'x1.5'

PROPOSED STONE

DRYWELL #1

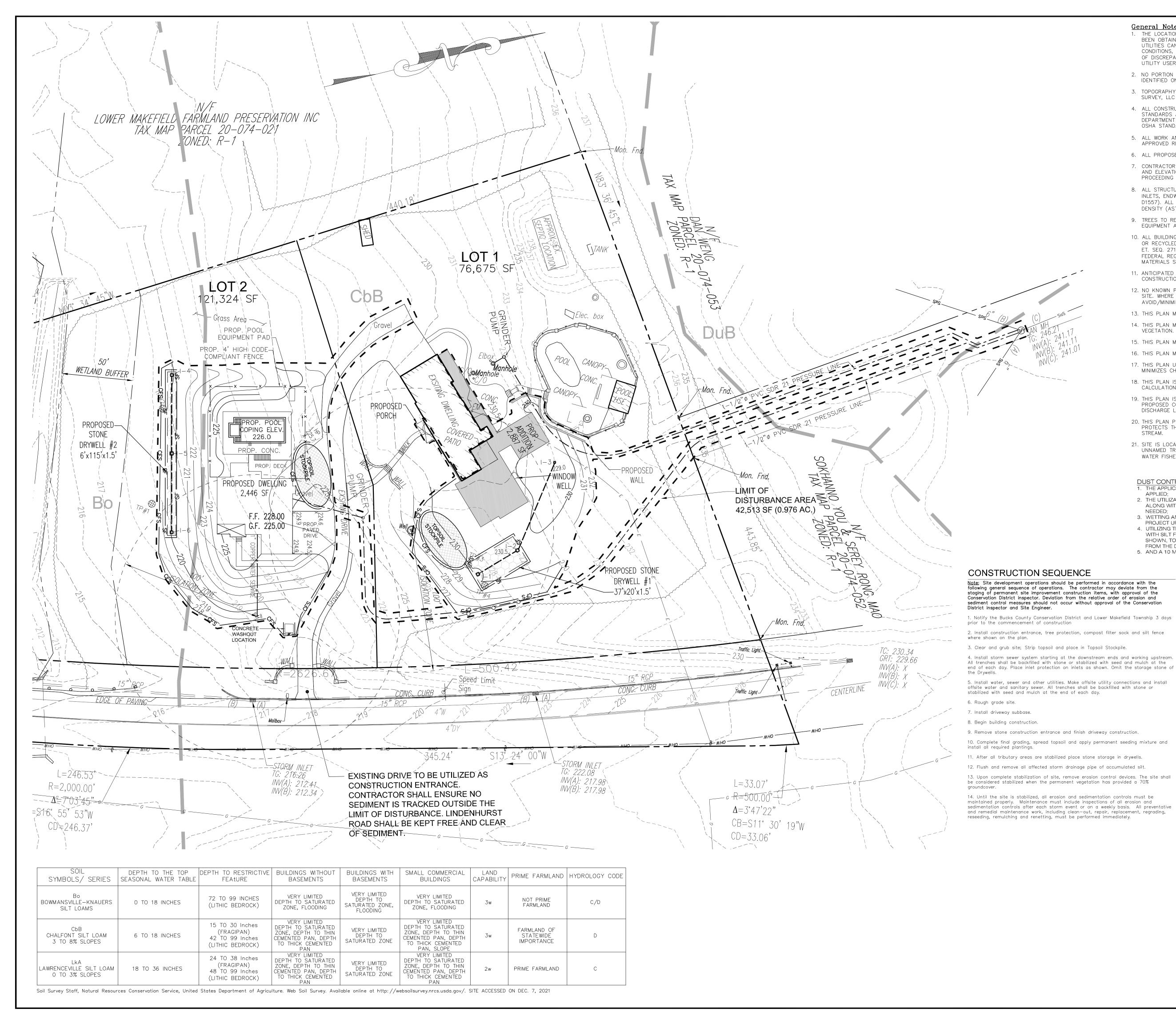
—37'x20'x1.5'

VARIABLE WIDTH

R=500.00'— Δ=3°47'22" CB=S11° 30' 19"W CD=33.06'

L=33.07'

LEGEND PROPERTY LINES OFF-SITE PROPERTY LINES OFF-SITE PROPERTY LINES	SOIL DEPTH TO THE TOP DEPTH TO RESTRICTIVE BUILDINGS WITHOUT BUILD SYMBOLS/ SERIES SEASONAL WATER TABLE FEATURE BASEMENTS BA	DINGS WITH SMALL COMMERCIAL LAND PRIME FARMLAND HYDROLOGY CODE CAPABILITY	SERIAL No. 2023-0410388 GENERAL NOTES: CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR PLANS HAVE BEEN OBTAINED BY FIELD SURVEY. COMPLETENESS OR SERIAL No. 2023-0410388 CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING
230 EXISTING MAJOR CONTOUR & ELEVATION 8-15% Steep Slopes	Bo BOWMANSVILLE-KNAUERS O TO 18 INCHES (LITHIC BEDROCK)	RY LIMITED EPTH TO RATED ZONE, FLOODING VERY LIMITED DEPTH TO SATURATED ZONE, FLOODING NOT PRIME FARMLAND C/D	ACCURACY OF THE LOCATION OF UTILITIES CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT
WETLAND FLAG >25% Steep Slopes	CHALFONT SILT LOAM 6 TO 18 INCHES 43 TO 00 Japan COME, DEP PAR DEPTH DI	VERY LIMITED DEPTH TO SATURATED ZONE, DEPTH TO THIN CEMENTED PAN, DEPTH TO THICK CEMENTED VERY LIMITED FARMLAND OF STATEWIDE IMPORTANCE D IMPORTANCE	MECCHANTON SHOWN ON THIS PLAN IS THE RESULT OF A PRICE MALL BY OND SHOWS ON THIS PLAN IS THE RESULT OF A PRICE MALL BY OND SHOWS ON THIS PLAN IS THE RESULT OF A PRICE MALL BY OND SHOWS ON THIS PLAN IS THE RESULTION OF THIS PLAN IS THE PROPOSED WAS CONSTRUCTORY. 3. TO DOUGHER THE THIS PLAN IS THE RESULTION OF THIS PLAN IS THE PROPOSED WAS CONSTRUCTORY. ON THIS PLAN IS THE PROPOSED WAS CONSTRUCTED BY OND SHOWS ON THIS PLAN IS THE PROPOSED WAS CONSTRUCTED BY OND SHOWS ON THIS PLAN IS THE PROPOSED WAS CONSTRUCTED BY OND SHOWS ON THE PLAN FOR
== == == == == == == == == == == == ==	LAWRENCEVILLE SILT LOAM 18 TO 36 INCHES 24 TO 38 Inches DEPTH TO SATURATED VER ZONE, DEPTH TO THIN DISTRIBUTION OF THE PROPERTY OF THE PROPERT	PAN, SLOPE VERY LIMITED RY LIMITED ZONE, DEPTH TO THIN CEMENTED PAN, DEPTH TO THICK CEMENTED PRIME FARMLAND C PRIME FARMLAND	TOPOGRAPHY AND ELEVATIONS BASED ON A FIELD SURVEY PERSONED BY SOLVED TO SOLVE THE PROPERTY OF DIMANAL SOLVE THE PROPERTY OF THE PROPE
SIGN SIGN DOUBLE POST "M"-INLET "C"-INLET	Soil Survey Staff, Natural Resources Conservation Service, United States Department of Agriculture. Web Soil Survey. Available onl NATURAL RESOURCE CALCULATION TABLE:	ine at http://websoilsurvey.nrcs.usda.gov/. SITE ACCESSED ON DEC. 7, 2021	I ON THIS PLAN ICE RENDERED I CK. ENGINEGRINCY COPY OF THIS NOAL COPIES OF CODE OF THIS ONAL COPIES OF CODE OF THIS CODE O
MANHOLE FLARED END SECTION HEADWALL DECIDUOUS TREE	NATURAL RESOURCE NATURAL RESOURCE TO BE PROTECTED NATURAL RESOURCE TO BE PROTECTED NATURAL RESOURCE DEBUTTORED TOTAL AREA REQUIRED RESOURCE PROTECTION (AC.) TOTAL AREA REQUIRED RESOURCE PROTECTED RESOURCE PROTECTED (AC.) ACTUAL AREA OF RESOURCE PROTECTED DISTURBED OD (AC.)	CTUAL AREA F RESOURCE STURBED (%)	RMATION SHOWN FESSIONAL SERV ACAC ENGUERA ACACL OF DUERAN ACACL OF DUERAN ACACLOTION OF A ACACLOTIC OF
EVERGREEN TREE SHRUB FIRE HYDRANT WATER VALVE	FLOODPLAIN 100% 0% 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000	0.00% 0.00% 0.00%	S. S
WWO WATER METER GV → GAS VALVE GM □ GAS METER EM □ ELECTRIC METER	SHORELINE 100% 0% 0.0000 0.0000 0.0000 0.0000 0.0000 WETLANDS 100% 0% 0.5222 0.5222 0.5222 0.000% 0.0000 WETLAND AND WATERCOURSE BUFFER 100% 0% 1.0010 1.0010 0.8805 88.0% 0.1205	0.00% 0.00% 12.0%	JT AN EMBC JRE IN RED STERED AN UNMACK AN DUMACK ASSOOLE 34500
ELECTRIC BOX WELL C/O C CLEAN OUT WSO C WATER SHUT OFF VALVE	STEEP SLOPES (CLASS I) 50% 50% 0.5457 0.2728 0.4877 89.4% 0.0580 STEEP SLOPES (CLASS II) 70% 30% 0.1519 0.1063 0.1454 95.7% 0.0065 STEEP SLOPES (CLASS III) 100% 0% 0.0777 0.0777 0.0697 89.7% 0.0080 WOODLANDS (R-1) 80% 20% 1.0781 0.8625 1.0781 100.0% 0.0000	10.6% 4.3% 10.3% 0.0%	SURV SURV SURV SURV SURV SURV SURV SURV
DS O DOWN SPOUT TEL TELEPHONE BOX VUK VALVE UNKNOWN EXISTING TREE LINE	* Natural resource chart treats each resource irrespective of other resources, the site capacity calculations utilize the resource with the highest protectio the case of overlap	n ratio in	S S S S S S S S S S S S S S S S S S S
SOIL BOUNDARY LINE			
			MEET SHAM ROAD X 487 PA 18 PARK, PA 18 15) 598-1232 URVEYOR
		LOWED MAYERIEU EADINAND PRESERVATION INC	ESTA 677 DUI 9-0. BO PENNS PHONE FAX: (2
Mon, Find.	CHANCE J & LURLEEN G WORTHINGTON TAX MAP PARCEL 20-003-013-001 ZONED: R-1	LOWER MAKEFIELD FARMLAND PRESERVATION INC TAX MAP PARCEL 20-074-021 ZONED: R-1	T ENGINE
TC: 226.94 GRT: 226.24 INV: 216.17	Lge	EXISTING SHED. TO BE REMOVED	CORPORATION WWW WWW
	Bo	16" 15" 15" 18" 18" 18" 18" 18" 18" 18" 18" 18" 18	ANUCEL POLICY REPORT OF THE PO
TC: 224.72 Mon. Fnd. GRT: 224.02 INV(A): 215.72 INV(B): 215.72	Mon. Fnd.	CbB Grass Area	Sos (B) (C) 565
A / A A	PeB	WETLAND BUFFER EXISTING TREES TO BE REMOVED ROOF WETLAND BUFFER TO BE REMOVED	AND 241.17 REVISION 1 241.01 1 2 3 3 3 3 3 3 3 3 3
TOWER MARKET D. TOWNSHIP	Mon. Fnd.	CAMOPY CONCRETE CONCR	Poor 205 G. Mon. Fnd. EX. 30' WIDE SANITADY SENIED
LOWER MAKEFIELD TOWNSHIP TAX MAP PARCEL 20-073-014 ZONED: R-1	100° M	EXISTING GRAVEL & TREES TO BE REMOVED	EASEMENT EASEMENT TO BE REMOVED Mon. Frid.
	WETLANDS BUFFER Wefooded Wooded	BO EXISTING TREE TO BE REMOVE	11 12 13 SF (0.976 AC.) 12 13 14
STORM MILT 16: 220.54 INV(A): 216.94 INV(B): 216.94 INV(B): 216.94	Rebar Fnd.	TO BE REMOVED	15 16 17 18
18" RCP (A) (B) (C) 18" RCP (B) (C)	LEGAL RIGHT-OF-MAY LINE J.6: \$\tau L \tau \tau \tau \tau \tau \tau \tau \tau	18" 18" 18" 18" 18" 18" 18" 18" 18" 18"	PRÓPOSED 28" 15" 5" 10" Mon. Find. PRELIMINARY/FINAL PLAN
STORM INLET	STORM INLET 215 STORM INLET 200 24	Speed timit CONG. CURB Sign EDGE OF PAVING (B) (A)	CENTERLINE CONC. CURB To The Light CENTERLINE CENT
STORM INLET IG: 220.91 NV(A): 215.60 NV(B): 215.95 NV(C): 215.60 CB=S08° 37' 53"W CD=615.09'	LINDENHURST ROAD, S.R. 2069 TOWNSHIP CLASSIFICATION: MAJOR COLLECTOR ROAD VARIABLE WIDTH (40 MPH)	218 219 22 4"W 22 22 218 219 22 4"W 22 22 218 219 22 4"W 22 22 22 22 22 22 22 22 22 22 22 22 22	CURRENT ZONING: R-1 OWNER of RECORD: JOSEPH SMITH & CYNTHIA MCDONOUGH 1511 LINDENHURST ROAD YARDLEY, PA 19067
		NV(B): 212.34) NV(B): 2	17.98\\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
		CD=246.37'	CB=S11° 30′ 19″W CD=33.06′ 50 0 25 50
			EXISTING FEATURES PLAN
			1511 LINDENHURST ROAD LOWER MAKEFIELD TOWNSHIP
			BUCKS COUNTY, PA DRAWN BY: HAD SCALE: PROJECT NO:
			1"=50' 7533 PLAN DATE: MAY 17, 2023 SHEET No: 3 of 10



- 1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES CONTAINED ON THESE PLANS HAVE BEEN OBTAINED BY FIELD SURVEY. COMPLETENESS OR ACCURACY OF THE LOCATION OF UTILITIES CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT 2008-121.
- 2. NO PORTION OF THE SITE IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY AS IDENTIFIED ON FEMA MAP 42017C0344J, EFFECTIVE DATE MARCH 16, 2015.
- 3. TOPOGRAPHY AND ELEVATIONS BASED ON A FIELD SURVEY PERFORMED BY DYNAMIC SURVEY, LLC IN OCTOBER & NOVEMBER OF 2020.
- 4. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF BENSALEM TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS.
- 5. ALL WORK AND MATERIALS SHALL BE INSPECTED BY THE TOWNSHIP ENGINEER AND/OR HIS APPROVED REPRESENTATIVES.
- 6. ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.
- 7. CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES, LINES AND ELEVATIONS AND NOTIFYING DUMACK ENGINEERING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- 8. ALL STRUCTURAL FILL IN THE BUILDING AREAS (MATERIAL UNDER CARTWAYS, SLABS, INLETS, ENDWALLS ETC.) SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (ASTM D1557). ALL OTHER STRUCTURAL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (ASTM D698).
- 9. TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM ROOT COMPACTION, EQUIPMENT AND MATERIALS.
- 10. ALL BUILDING MATERIAL AND WASTES MUST BE REMOVE FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET. SEQ. 271.1 ET. SEQ., AND 287.1 ET. SEQ., AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS.. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 11. ANTICIPATED CONSTRUCTION WASTE INCLUDES WOOD, EROSION CONTROL BMPS CONSTRUCTION FENCING, AND MISCELLANEOUS.
- 12. NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITION EXIST ON THIS SITE. WHERE POTENTIAL FOR POLLUTION IDENTIFIED, MEASURES ARE PROVIDED TO AVOID/MINIMIZE/ OR MITIGATE.
- 13. THIS PLAN MINIMIZES IMPERVIOUS SURFACES.
- 14. THIS PLAN MAXIMIZES THE PROTECTION OF DRAINAGE FEATURES AND EXISTING VEGETATION.
- 15. THIS PLAN MINIMIZES LAND CLEARING AND GRADING.
- 16. THIS PLAN MINIMIZES SOIL COMPACTION.
- 17. THIS PLAN UTILIZES STRUCTURAL AND NON-STRUCTURAL BMPs THAT PREVENT OR MINIMIZES CHANGES IN STORMWATER RUNOFF.
- 18. THIS PLAN IS CONSISTENT WITH THE DIMENSIONS AND ELEVATIONS USED IN SUPPORTING
- 19. THIS PLAN IS CONSISTENT WITH EROSION & SEDIMENT CONTROL PLAN IN RELATION TO PROPOSED CONTOURS, IMPROVEMENTS, SOILS, WETLANDS, FLOODWAYS, STREAMS, DISCHARGE LOCATIONS, ETC..
- 20. THIS PLAN PRESERVES THE INTEGRITY OF STREAM CHANNELS AND MAINTAINS AND PROTECTS THE PHYSICAL, BIOLOGICAL AND CHEMICAL EQUALITIES OF THE RECEIVING
- 21. SITE IS LOCATED WITHIN THE NESHAMINY CREEK WATERSHED. SITE DRAINS TO AN UNNAMED TRIBUTARY TO CORE CREEK WITH A CHAPTER 93 CLASSIFICATION OF COLD WATER FISHES (CWF) AND MIGRATORY FISHES (MF).
- DUST CONTROL MEASURES TO INCLUDE:
- THE APPLICATION OF WATER TO THE WORKSITE AFTER SEED IS
- 2. THE UTILIZATION OF A ROCK CONSTRUCTION ENTRANCE, ALONG WITH WETTING AND SWEEPING THE ENTRANCE AS
- 3. WETTING AND COVERING ANY DEBRIS GENERATED FROM THIS PROJECT UPON REMOVAL;
- 4. UTILIZING THE SITE'S NATURAL DRAINAGE FEATURES ALONG WITH SILT FENCE AND OTHER EROSION CONTROL DEVICES, AS SHOWN, TO PREVENT UNCONTROLLED DISCHARGE OF WATER
- FROM THE DUST CONTROL MEASURES; 5. AND A 10 MPH SPEED LIMIT WITHIN THE WORKSITE

LEGEND

OFF-SITE PROPERTY LINES — — — — — — — — — — EXISTING MAJOR CONTOUR & ELEVATION — — — — — — 231— — — — EXISTING MINOR CONTOUR & ELEVATION WETLAND FLAG ------EXISTING EDGE OF WATER EXISTING WETLANDS LINES ----- WETLANDS BUFFER LINE 8" CIP EXISTING SANITARY SEWER ==== EXISTING STORM SEWER UTILITY POLE GUY WIRE SIGN SIGN DOUBLE POST === "M"-INLET "C"-INLET MANHOLE FLARED END SECTION HEADWALL DECIDUOUS TREE EVERGREEN TREE SHRUB FIRE HYDRANT WATER VALVE WATER METER $GV \bowtie$ GAS VALVE GAS METER $GM \square$ ELECTRIC METER $EM \square$ ELECTRIC BOX Elbox \square WELL CLEAN OUT C/O O WATER SHUT OFF VALVE WSO O DS O DOWN SPOUT

 $\mathit{TEL} \square$

VUK 🖂

TELEPHONE BOX

VALVE UNKNOWN

SOIL BOUNDARY LINE

TREE PROTECTION FENCE

EXISTING TREE LINE

INLET PROTECTION

———— COMPOST FILTER SOCK (12")

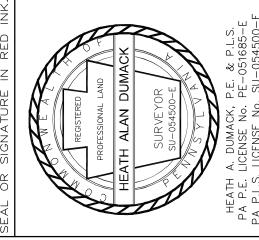
TOPSOIL STOCKPILE

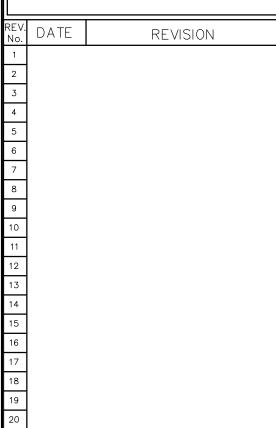
LIMIT OF DISTURBANCE

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE—STOP CALL

SERIAL No. 2023-0410388

PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776





'RELIMINARY/FINAL PLAN MINOR SÚBDIVISION

XISTING PARCEL INFO: T.M.P. No. 20-003-017 PAGE No. 1855 DEED BOOK: 5029 CURRENT ZONING: R-1

WNER of RECORD: JOSEPH SMITH & CYNTHIA MCDONOUGH 1511 LINDENHURST ROAD YARDLEY, PA 19067

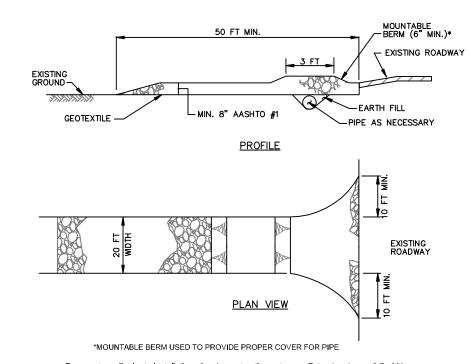
PPLICANT: / SAME AS ABOVE

GRAPHIC SCALE

LOWER MAKEFIELD TOWNSHIP

BUCKS COUNTY, PA

HAD 1"=30



Remove topsoil prior to installation of rock construction entrance. Extend rock over full width

Runoff shall be diverted from roadway to a suitable sediment removal BMP prior to entering Mountable berm shall be installed wherever optional culvert pipe is used and proper pipe cover as specified by manufacturer is not otherwise provided. Pipe shall be sized appropriately for size of ditch being crossed

MAINTENANCE: Rock Construction Entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. All sediment deposited on paved roadways shall be removed and returned to the construction site immediately. If excessive amounts of sediment are being deposited on roadway, extend length of rock construction entrance by 50 foot increments until condition is alleviated or install wash rack. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

INTAKE HOSE

PUMP -

Low volume filter bags shall be made from non-woven geotextile material sewn with high strength, double stitched "J" type seams. They shall be capable of trapping particles larger than 150 microns. High volume filer bags shall be made from woven geotextiles that meet the following

Minimum Standard 60 LB/IN 205 LB 110 LB 350 psi

A suitable means of accessing the bag with machinery required for disposal purposes shall be provided. Filter bags shall be replaced when they

nderlayment and flow path shall be provided. Bags may be placed on filter stone to increase discharge capacity. Bags shall not be placed on

slopes greater than 5%. For slopes exceeding 5%, clean rock or other non-erodible and non-polluting material may be placed under the bag to

No downslope sediment barrier is required for most installations. Compost berm or compost filter sock shall be installed below bags located in HQ

e pump discharge hose shall be inserted into the bags in the manner specified by the manufacturer and securely clamped. A piece of PVC pipe

ımpling rate shall be no greater than 750 gpm or ½ the maxlmum specified by the manufacturer, whichever is less. Pump intakes shall be

Filter bags shall be inspected daily. If any problem is detected, pumping shall cease immediately and not resume until the problem is corrected.

pecome ½ full of sediment. Spare bags shall be kept available for replacement of those that have failed or are filled. Bags shall be placed on straps

80 Sieve

INTAKE HOSE

∠ HEAVY DUTY LIFTING STRAPS

(RECOMMENDED)
PLAN VIEW

FILTER BAG

ELEVATION VIEW

ASTM D-4632 ASTM D-4833

ASTM D-4751

or EV watersheds, within 50 feet of any receiving surface water or where grassy area id not available.

to facilitate removal unless lags come with lifting straps already attached.

WELL VEGETATED, GRASSY AREA

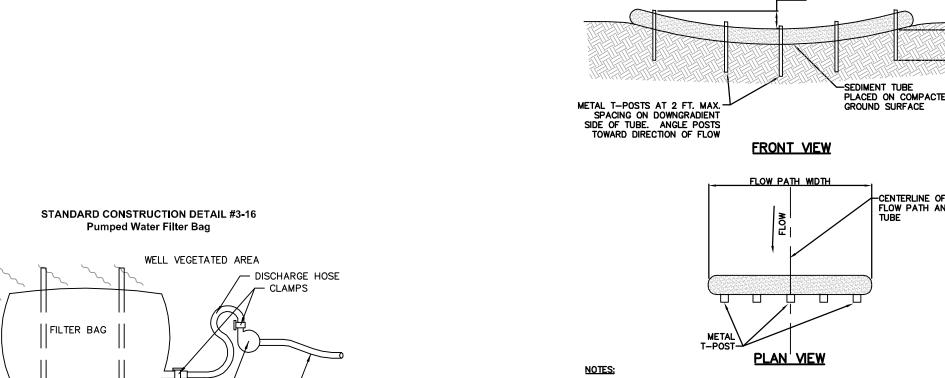
Avg. Wide Width Strength Grab Tensile

is recommended for this purpose.

Mullen Burst

AOS % Retained

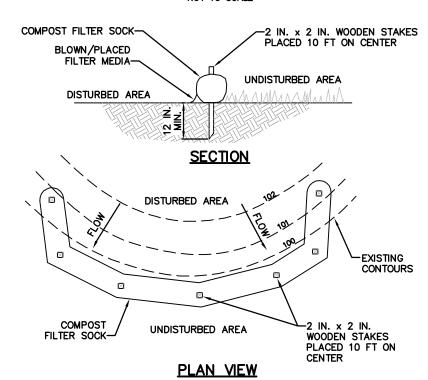
DISCHARGE HOSE



THIS DETAIL APPLICABLE TO FLOW PATHS WITH WIDTHS LESS THAN OR EQUAL TO ONE TUBE METAL T-POSTS SHALL BE INSTALLED AT THE CENTER AND AT EACH END OF THE TUBE. ADDITIONAL T-POSTS SHALL BE INSTALLED AS NEEDED TO MEET THE MAXIMUM 2-FOOT SPACING.

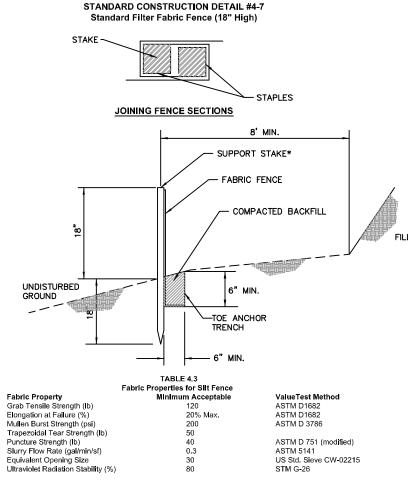
SEDIMENT TUBES SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE TUBE AND DISPOSED AS DIRECTED ELSEWHERE IN THE E&S PLAN. DAMAGED TUBES SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION. A SUPPLY OF TUBES SHALL BE KEPT ON SITE FOR THIS PURPOSE.

STANDARD CONSTRUCTION DETAIL #4-4 WEIGHTED SEDIMENT FILTER TUBE INSTALLATION CONCENTRATED FLOW AREA NOT TO SCALE



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION MANUAL. COMPOST STALL MEET THE STATE AND STATE OF THE COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBÉD ELSEWHERE IN THE PLAN. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS;
PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

> STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK NOT TO SCALE



* Stakes spaced @ 8' maximum. Use 2" x 2" $(\pm \frac{3}{6}")$ wood or equivalent steel (U or T) stakes. Fabric shall have the minimum properties shown in Table 4.3.

Fabric width shall be 30" minimum. Stakes shall be hardwood or equivalent steel (U or T). Silt fence must be placed at level existing grade. Both ends of the barrier must be extended at least 8 feet up slope at 45 degrees to the main barrier alignment

Sediment must be removed when accumulations reach half the above ground height of the fence Any section of silt fence which has been undermined or topped must be immediately replaced with a rock filter outlet Fence shall be removed and properly disposed of when tributary area is permanently stabilized.

NOTES: THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT 2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE 3. THE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR 4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN 5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS 6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS. LOCATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAIN, OPEN DITCHES, OF 8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES. 9. THE CONCRETE WASHOUT BOX SIZE IS 4' x 4' x 14" (CAPACITY: .68 CU.YDS. / 140 GALLONS). **CORRUGATED WASHOUT**

Liutpak Boise, Idaho 208-890-0383 SPECIFICATIONS out outpak.com

<u> ESEEDING REQUIREMENTS</u>

(TAKEN FROM 1992-3 AGRONOMY GUIDE, PENN STATE UNIVERSITY) DURING THE NON-GROWING SEASONS MULCH ALONE MAY BE APPLIED, AT THE RATE OF 3 TONS/ACRE, TO DISTURBED AREAS.

1.APPLY AGRICULTURAL LIMESTONE, EQUIVALENT TO 50 % CALCIUM PLUS MAGNESIUM OXIDES, AT A RATE OF 1 TON PER ACRE, PLUS FERTILIZER AT A RATE OF 50-50-50- (50 LBS N, 50 LBS. P205, 50 LBS. K20) PER ACRE.

2.WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES MINIMUM 3.INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED. THE AREA MUST BE RETILLED.

4.SEEDING TYPES AND RATES: ANNUAL RYEGRASS 40 LB/AC

SPRING OATS (WILL WINTER KILL) 96 LB/AC (3 BU.) WINTER WHEAT, OR 180 LB/AO (3 BU.) WINTER RYE 166 LB/AC (3 BU.) 5. MULCHING (SEE BELOW).

1.FOR BEST RESULTS, PERMANENT SEEDING SHOULD BE MADE IN THE SPRING (MARCH, APRIL AND EARLY MAY). FALL SEEDING CAN ALSO BE MADE, REALIZE THAT GRASSES REQUIRE AT LEAST 4-6 WEEKS OF GROWTH PRIOR TO HARD FROSTS. DO NOT SEED DURING HOT SUMMER MONTHS THE SUBSOIL SHALL BE GRADED AND UNIFORMLY COMPACTED SO THAT IT WILL BE PARALLEL TO PROPOSED FINISHED. GRADE. THE SUBGRADE MATERIAL SHALL BE LOOSENED AND MIXED TO A DEPTH OF 2 TO 4 INCHES AND ALL STONES OVER TWO INCHES IN SIZE, STICKS AND RUBBISH REMOVED. NO HEAVY OBJECTS EXCEPT LAWN ROLLERS SHALL BE MOVED OVER LAWN AREAS AFTER THE SUBGRADE SOIL HAS BEEN PREPARED, UNLESS THE SUBGRADE SOIL IS AGAIN GRADED AND

LOOSENED AS SPECIFIED ABOVE BEFORE TOPSOIL IS SPREAD. 3.FINISHED GRADING - LAWN AREAS. AFTER THE SUBGRADE SOIL HAS BEEN PREPARED, 4" MIN. TOPSOIL MUST BE SPREAD EVENLY THEREON AND LIGHTLY COMPACED. NO TOPSOIL SHALL BE SPREAD IN A FROZEN OR MUDDY CONDITION. AREAS TO BE SEEDED SHALL BE BROUGHT TO FINISHED GRADE AND SMOOTHED. ALLOWANCE FOR SETTLEMENT SHALL BE MADE. RASS SEED SHALL BE FRESH, RECLEANED SEED OF THE LATEST CROP, DELIVERED TO THE SITE IN THE ORIGINAL, UNOPENED CONTAINERS WHICH SHALL BEAR THE VENDOR'S NAME AND GUARANTEED ANALYSIS. GRASS SEED SHALL BE MIXED IN THE FOLLOWING PROPORTIONS AND SHALL CONFORM TO THE FOLLOWING PERCENTAGES OF PURITY AND GERMRINATION.

KENTUCKY BLUEGRASS CREEPING RED FESCUE 20% "TURF-TYPE"-PERENNIAL RYE-GRASS

5.REMOVE FOR A DEPTH OF 6 INCHES ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, CABLE, TREE MATERIAL, AND DISPOSE PROPERLY. DO NOT BURY ON-SIT 6.APPLY AGRICULTURAL LIMESTONE AT A RATE OF 2 TONS PER ACRE. APPLY FERTILIZER AT THE RATE OF 50-100-100 PER ACRE. 7. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 8 INCHES. THE FINAL OPERATION WILL CONFORM TO THE 8.INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND

9.APPLY THE FINAL SEED MIXTURE AT THE RATE OF 5 LBS PER 1,000 S.F. TO DEPT OF 1/4 "TO 1/2 " USING MECHANICAL SEEDER. FIRM SEED WITH ROLLER OR LIGHT DRAG.

11.PERMANENT SEEDING MAY ALSO BE APPLIED BY HYDROSEEDING, AT A RATE OF 1,000 GAL/ACRE.

MULCHING 1.MULCH WITH UNROTTEN GRASS HAY, OR SMALL CERAL STRAW AT THE RATE OF 3 TONS PER ACRE. HAY IS RECOMMENDED FOR SLOPES.

LIQUID MULCH-BINDERS

1.APPLICATION SHOULD BE HEAVIER AT EDGES (WHERE WIND CATCHES THE MULCH), IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF ARE SHOULD BE UNIFORM IN APPEARANCE. 2.ONE OF THE FOLLOWING MAY BE USED: A.EMULSIFIED ASPHALT -(SS-1, CSS-1, CMS-2, MS-2RS-1, RS-2, CRS-1 AND CRS-2)

B.CUTBACK ASPHALT - RAPID CURNING (RC-70, RC-250 AND RC-800) OR MEDIUM CURIN(MC-250) APPLY AT A MINIMUM RATE OF 150 GAL/AC, MORE ON STEEP/LONG SLOPES. C. SYNTHETIC OR ORGANIC BINDERS - CURASOL, DCA-70, PETRO-SET, AND TERRA-TACK OR EQUAL MAY BE USEDAT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS.

,–Existing Grade

1.) Erect Tree Protection Fence at the Dripline of the Tree or at least Fifteen (15) Feet from the trunk

2.) Attach Tree Protection Fence to wooden posts spaced eight (8) Feet on center.

3.) Any damage to the Tree Protection Fencing shall

be replaced or repaired before further construction.

Standard Tree Protection Detail

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION DRAWING REAR CURB GUARD FLAP WITH MAGNETIC TYPICAL ROUND INLET FILTER TYPICAL RECTANGULAR INLET FILTER 0 0 0 NOTES: 1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED OR GALVANIZED) FOR 7 YEAR . INDENTIFY YOUR FRAME STYLE AND SIZE SPECIFICATIONS FOR STANDARD BAGS BY NOMINAL SIZE MINIMUM SERVICE LIFE. Frame P/N FRAME STYLE AND SIZE minal Bag | Solids Storage | Filtered Flow Rate at 50% Max (CFS Small Round (up to 20.0" dia grates (A) dim) . UPON ORDERING CONFIRMATION OF THE (CuFt) FX (Woven) IL (NonWoven) Med Round (20.1" - 26.0" dia grates (A) up to 25" dia openings (B)) DOT CALLOUT, PRECAST OR CASTING Large Round (26.1" - 32.0" dia grates (A) up to 30" openings (B)) MAKE AND MODEL, OR DETAILED XL Round (32.1" dia - 39" dia grates (A) up to 37" dia openings (B)) 62XLRD DIMENSIONAL FORMS MUST BE PROVIDED Small Rect / Square (up to 16" (B) x 16" (D) openings or 64" perimeter) TO CONFIGURE AND ASSEMBLE YOUR Med Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter) CUSTOMIZED FLEXSTORM INLET FILTER. Large Rect / Square (up to 36" (B) x 24" (D) openings or 120" perimeter) PART NUMBER ALONE IS NOT SUFFICIENT. XL Rect / Square (side by side <u>2 pc set</u> to fit up to 48" (B) x 36" (D) openings) Small Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps) 3. FOR WRITTEN SPECIFICATIONS AND Med Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps) MAINTENANCE GUIDELINES VISIT 62MCB Large Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps) WWW.INLETFILTERS.COM XL Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps) 62XLCB 12" diameter Nyloplast castings (Stainless Steel Framing standard) 15" diameter Nyloplast castings (Stainless Steel Framing standard) 6215NY 18"diameter Nyloplast castings (Stainless Steel Framing standard) 24" diameter Nyloplast castings (Stainless Steel Framing standard) " diameter Nyloplast castings (Stainless Steel Framing standard) INSTALLATION: (22" depth) (12" depth) Clean Water Flow Min A.O.S 1. REMOVE GRATE STD Bag P/N Short Bag P/N Rate (GPM/SqFt) (US Sieve) DROP FLEXSTORM INLET IDOT Non-Woven Bag ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC FILTER ONTO LOAD BEARING LIP OF CASTING OR A DIVISION OF ADS, INC. CONCRETE STRUCTURE 3. CREATE YOUR FLEXSTORM IN LET FILTER PART NUMBER WWW.INLETFILTERS.COM 866) 287-8655 PH 3. REPLACE GRATE INFO@INLETFILTERS.COM Frame P/N from Step 1. Filter Bag P/N from Step 2 FLEXSTORM_CATCH_IT EROSION / SEDIMENT CONTROL PLAN STANDARD NOTES

STOCKPILES MUST NOT EXCEED 35 FEET; STOCKPILE SLOPES MUST NOT EXCEED

THE OPERATOR /RESPONSIBLE PERSON(O/RP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND / OR SEDIMENT POLLUTION, THE SHALL IMPLENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE

POTENTIAL FOR ACCELERATED EROSION AND/ OR SEDIMENT POLLUTION. THE O/RP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT,

AND IS BEING IMPLEMENTED AND MAINTAINS FOR ALL SOIL AND/ OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS. ALL PUMPING OF SEDIMENT - LADEN WATER SHALL BE THROUGH A SEDIMENT

UNDISTURBED AREAS. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE

CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER

AVAILABLE ON THE PROJECT SITE ALL TIMES. EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND

FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPERATE EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

AT LEAST SEVEN DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE O/RP SHALL INVITE ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARED AND THE BUCKS COUNTY CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATIONS.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH.

TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70 PERCENT VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY.IF EROSION AND

SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR

MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.

ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTED REGULATIONS (25 PA CODE 260.1 ET SEQ., 271,1 ET SEQ., AND 287.1 ET SEQ., AND /OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE

SOIL CONSERVATION STANDARD NOTES:

1.BEFORE EARTH DISTURBANCES BEGIN, THE LANDOWER SHALL BE THOROUGLY PENNSYLVANIA DEPARTMENT OF ENVIROMENT PROTECTION

2.AT LEAST THREE WORKING DAYS BEFORE STARTING ANY EARTH DISTURBANCE, THE LANDOWNER SHALL NOTIFY THE BUCKS COUNTY CONSERVATION DISTRICT. AT LEAST THREE DAYS BEFORE EARTH DISTURBANCE BEGINS, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE-CALL SYSTEM, AT 1-800-242-1776, TO OBTAIN INFORMATION ON BURIED UTILITY LOCATIONS.

3.A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED AT THE SITE AT ALL TIMES.

4.ANY REVISIONS TO THIS PLAN, OR TO ANY OTHER PLANS THAT MAY AFFECT IT, MUST

HAVE PRIOR APPROVAL OF THE BUCKS COUNTY CONSERVATION DISTRICT. 5.EROSION AND SEDIMENT CONTROL PLANS MUST BE PREPARED FOR ALL OFF-SITE BORROW AND SPOIL AREAS. THESE PLANS MUST HAVE PRIOR APPROVAL OF THE BUCKS COUNTY CONSERVATION DISTRICT.

6.THE LANDOWNER SHALL PROPERLY IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.

7.UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE LANDOWNER SHALL INSTALL, OPERATE AND MAINTAIN THE SPECIFIED EROSION AND SEDIMENT CONTROLS. FOR PROJECTS THAT REQUIRE FEDERAL NPDES PERMITS, THE LANDOWNER WILL MAINTAIN WRITTEN INSPECTION LOGS AND WILL MAKE THEM AVAILABLE TO EPRESENTATIVES OF BUCKS COUNTY CONSERVATION DISTRICT. ALL REQUIRED WORK, INCLUDING CLEANNING, REPAIR, REPLACEMENT, RE-GRADING, RE-STABILIZATION SHALL BE DONE INMEDIATELY.

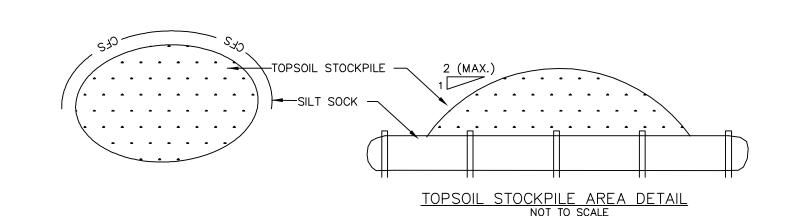
8.UPON DISCOVERY OF CIRCUMSTANCES THAT COULD CAUSE ACCELERATED EROSION AND SEDIMENT POLLUTION, THE LANDOWNER SHALL IMMEDIATELLY INSTALL ADDITIONAL APPROPRIATE CONTROL MEASURES.

9.EARH DISTURBANCE AND CONSTRUCTION MUST PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE. EACH STAGE IN THE SEQUENCE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE BEGINS. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.

10.UNCONTAMINATED SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL AREAS SHALL BE DISPOSED OF ON THE SITE, IN LANDSCAPED AREAS OR IN TOPSOIL STCKPILE, AND SHALL BE STABILIZED IMMEDIATELY. SEDIMENT WILL NOT BE PLACED ON STEEP SLOPES OR IN WETLANDS, FLOODPLAINS OR DRAINAGE SWALES.

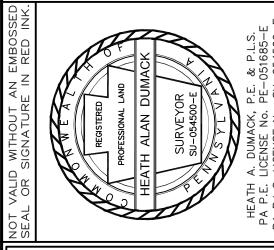
11.PUMPED WATER MUST BE DISCHARGED THROUGH A FILTER BAG OR OTHER APPROPIATE CONTROL MEASURE, LOCATED ON AN UNDISTURBED PART OF THE SITE.

12.THE LANDOWNER SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OFF A BUILDING MATERIALS AND WASTES IN ACCORDACE WITH PENNSYLVANIA DEPARTMENT OF ENVIROMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS. THE LANDOWNER SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIALS OR WASTES AT THE SITE.



SERIAL No. 2023-0410388 CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING

DAYS IN DESIGN STAGE-STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776





DATE REVISION

> RELIMINARY/FINAL PLAN MINOR SÚBDIVISION

XISTING PARCEL INFO: T.M.P. No. 20-003-017 DEED BOOK: 5029 PAGE No. 1855

CURRENT ZONING: R-1 WNER of RECORD: JOSEPH SMITH & CYNTHIA MCDONOUGH

1511 LINDENHURST ROAD

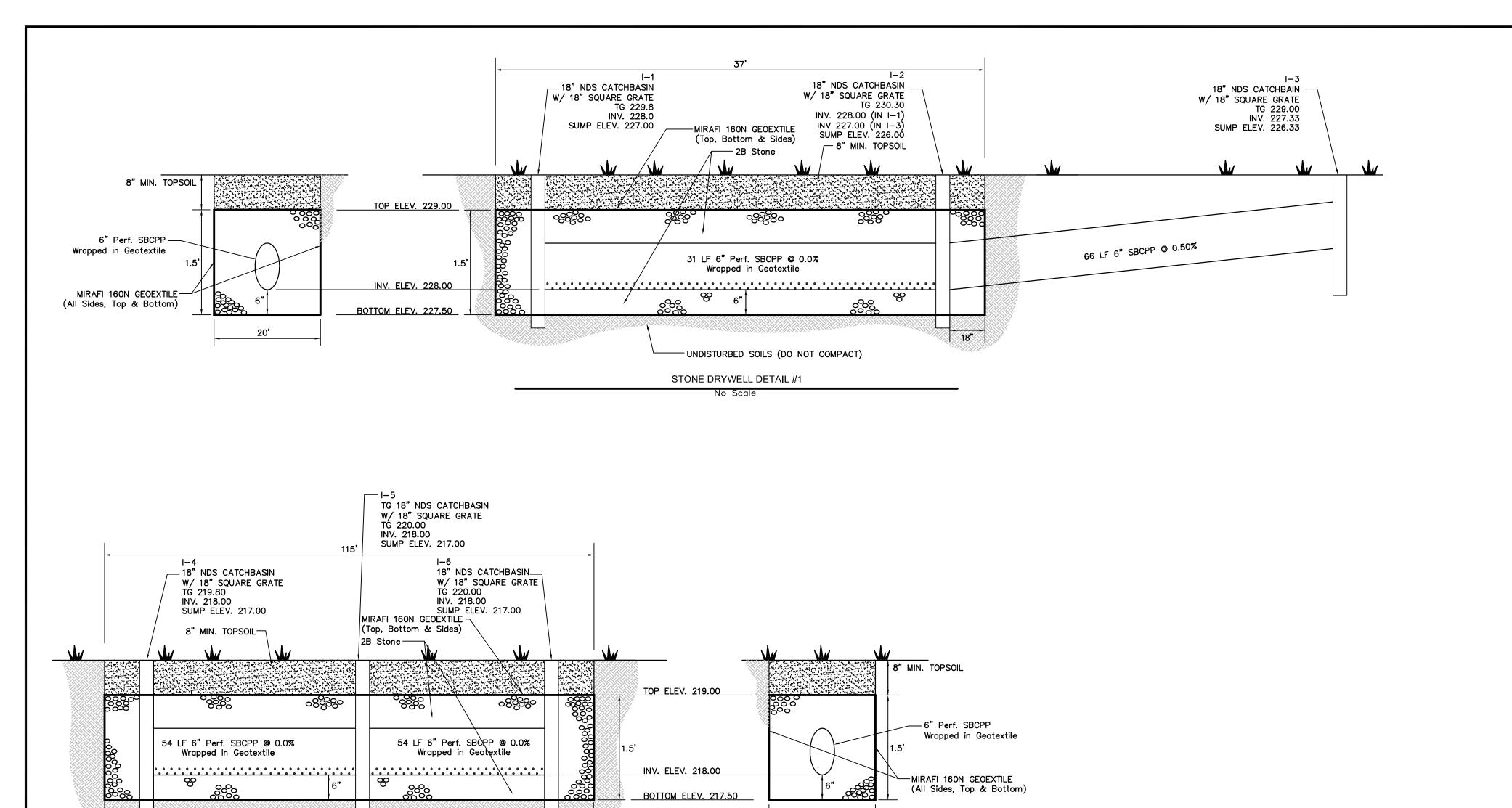
YARDLEY, PA 19067 PPLICANT: SAME AS ABOVE

511 LINDENHURST

LOWER MAKEFIELD TOWNSHIF BUCKS COUNTY, PA

AS NOTED

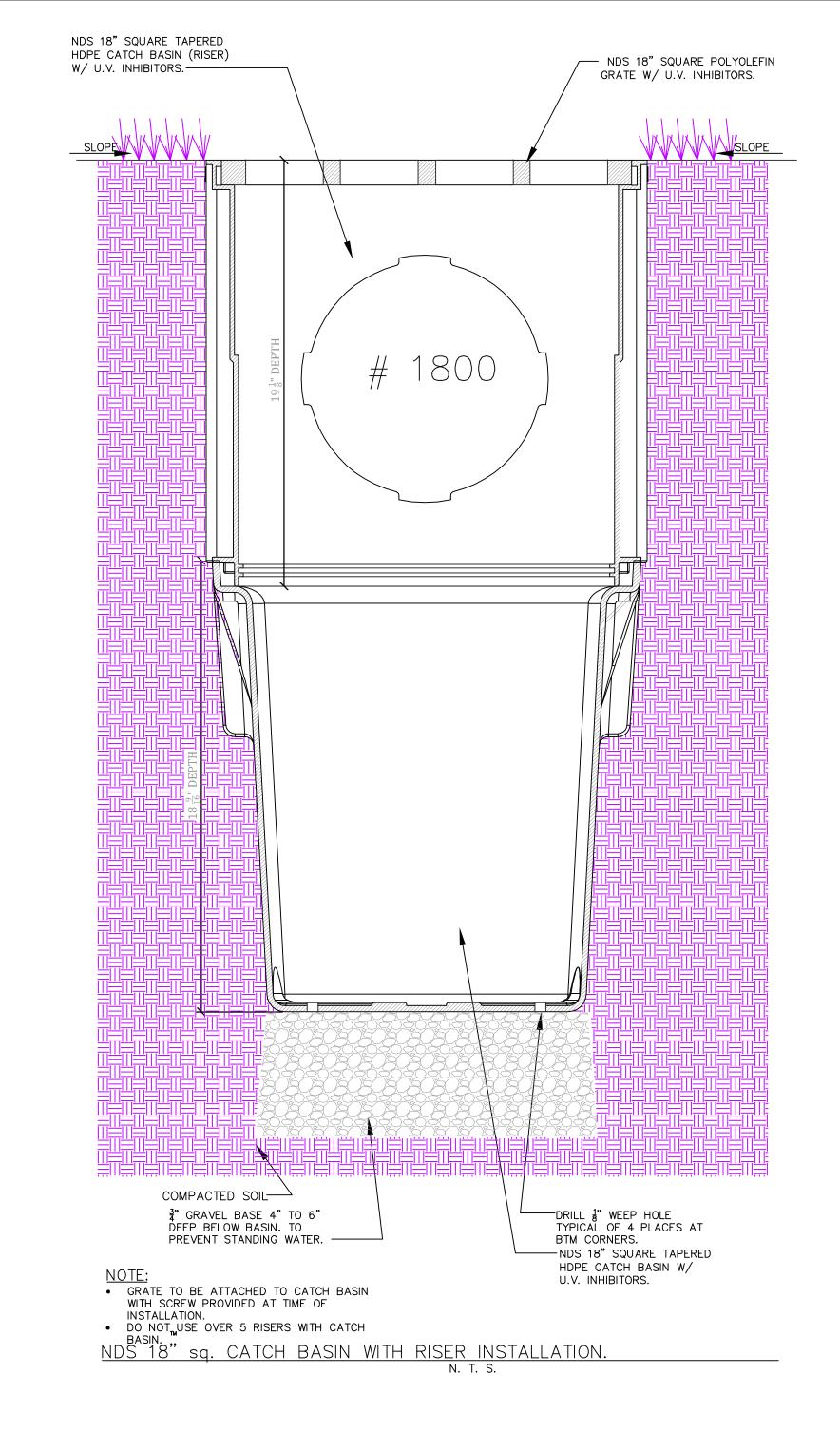
_						SERIAL No. 2023-0410388
PROPERTY LINES OFF-SITE PROPERTY LINES	SUBSURFACE DRYWELL INSPECTION AND MAINTENANCE SCHEDULE 1. INSPECTION, MAINTENANCE AND REPAIR OF THE UNDERGROUND STORMWATER	SYMBOLS / SERIES SEASONAL WATER TABLE FEATU	ESTRICTIVE BUILDINGS WITHOUT BUILDINGS WITH SMALL BASEMENTS BUILDINGS BUILDINGS BUILDINGS WITH SMALL	COMMERCIAL LAND UILDINGS CAPABILITY PRIME FARMLAND HYDROLOGY CODE	General Notes 1. The location of existing underground utilities contained on these plans have been obtained by field survey. COMPLETENESS OR ACCURACY OF THE LOCATION OF UTILITIES CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT	CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE—STOP CALL
EXISTING WASON CONTOUR & ELEVATION	2. 100 PERCENT VEGETATIVE COVER BY HERBACEOUS SPECIES SHALL BE	BO BOWMANSVILLE-KNAUERS O TO 18 INCHES (LITHIC BEI	DEPTH TO SATURATED CATURATED TONE DEPTH TO	RY LIMITED TO SATURATED E, FLOODING TO SATURATED TO SATU	2008-121. 2. NO PORTION OF THE SITE IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY AS IDENTIFIED ON FEMA MAP 42017C0344J, EFFECTIVE DATE MARCH 16, 2015.	PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776
WETLAND FLAG ———————————————————————————————————	MAINTAINED THROUGHOUT ALL EMBANKMENTS AND LAWN AREAS WITH DIRECT DISCHARGE TO THE UNDERGROUND FACILITY. ANY AREA BECOMING VOID OF VEGETATION SHALL BE IMMEDIATELY CORRECTED BY REPLANTING OR OTHER ADEQUATE MEASURES NECESSARY TO PREVENT EROSION THAT MAY	CUAL SOUT COME COME (FRAGIP	Inches DEPTH TO SATURATED VERY LIMITED DEPTH TO SATURATED VERY LIMITED ZONE, DEPTH TO THIN DEPTH TO ZONE, DEPTH TO THIN DEPTH TO ZONE, DEPTH ZONE, DEP	RY LIMITED TO SATURATED TO SATURATED FARMLAND OF DEPTH TO THIN STATEWIDE DEPTH 3w STATEWIDE D	3. TOPOGRAPHY AND ELEVATIONS BASED ON A FIELD SURVEY PERFORMED BY DYNAMIC SURVEY, LLC IN OCTOBER & NOVEMBER OF 2020.	HOUT THE OF OF OF NWER SATION SATION SATION OSES.
### WETLANDS BUFFER LINE #### WETLANDS BUFFER LINE ###################################	JEOPARDIZE THE POROSITY OF THE SYSTEM. AT NO TIME SHALL MULCH BE USED ON SLOPES OF DIRECT DRAINAGE TO THE UNDERGROUND FACILITY. 3. GRASS CLIPPINGS SHALL BE COLLECTED AND REMOVED TO PREVENT CLOGGING	3 TO 8% SLOPES (LITHIC BEI	DROCK) VERY LIMITED CEMENTED PAN, DEPTH SATURATED ZONE TO THICK PAN VERY LIMITED VERY	CK CEMENTED IMPORTANCE IN, SLOPE RY LIMITED	4. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF BENSALEM TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS.	SULT OF A OWNED BY OWNED BY S PLAN WITH PURPORT OF E PROSECUT S. FOR THE O'S NOWNED SHALL E APPLICABL CONSTRUCTOR AND SHALL E APPLICABL CONSTRUCTOR AND SHESTERVED S RESERVED
== == == == == == == == == == == == ==	OF THE FACILITY. FALLEN LEAVES SHALL BE COLLECTED AND REMOVED FROM THE SITE A MINIMUM OF ONE (1) TIME PER WEEK DURING THE FALL SEASON. ROOF DRAINS AND DEBRIS TRAPS SHALL BE CHECKED FOR LEAF LITTER AND	LKA LAWRENCEVILLE SILT LOAM 0 TO 3% SLOPES 24 TO 38 (FRAGIP 48 TO 99 (LITHIC BED	AN) ZONE, DEPTH TO THIN Inches CEMENTED PAN, DEPTH DEPTH TO CEMENTED CEMENT	TO SATURATED DEPTH TO THIN ED PAN, DEPTH CK CEMENTED CK CEMENTED CK CEMENTED	5. ALL WORK AND MATERIALS SHALL BE INSPECTED BY THE TOWNSHIP ENGINEER AND/OR HIS APPROVED REPRESENTATIVES. 6. ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.	S THE RESI AND IS O N OF THIS S NOT PER LAN FOR THIS S NOT PER REVISING S SHALL BE STATUTES ON REVISION T IS IN TENU TY OF THE CONTRAC SCREPANDIC SCREPANDIC TOR MUNICI
SIGN SIGN DOUBLE POST "M"-INLET	OTHER DEBRIS, WHICH MAY CLOG PERFORATED PIPES AND/OR STONE BEDS. 4. INSPECT UNDERGROUND STORMWATER MANAGEMENT FACILITY AT LEAST FOUR TIMES A YEAR, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH.	Soil Survey Staff, Natural Resources Conservation Service, United States Departme	PAN	PAN	7. CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES, LINES AND ELEVATIONS AND NOTIFYING DUMACK ENGINEERING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.	HIS PLAN IS ADERED BY ADERED BY ADERED BY ADER DE ADER DE ADER ADER ADER ADER ADER ADER ADER AD
"C"-INLET MANHOLE	REMOVE CLEANOUT CAPS AND INSPECT FOR DEBRIS. REMOVE ACCUMULATED LEAVES, TWIGS, SEDIMENT AND OTHER DEBRIS AS REQUIRED TO KEEP THE ROOF DRAINAGE SYSTEM CLEAN. IF AFTER INSPECTION IT IS DETERMINED THAT SEDIMENT NEEDS TO BE REMOVED FROM THE SEEPAGE BED, INJECT SYSTEM				8. ALL STRUCTURAL FILL IN THE BUILDING AREAS (MATERIAL UNDER CARTWAYS, SLABS, INLETS, ENDWALLS ETC.) SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (ASTM D1557). ALL OTHER STRUCTURAL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (ASTM D698).	DOWN ON THE ERVICE REFERING. REFERING. REFERING. PAR COPY OF TOWN AND THE WRITTH
FLARED END SECTION HEADWALL	WITH WATER, SUSPEND SILT AND PUMP CHAMBER. 5. EVALUATE THE DRAIN-DOWN TIME OF THE FACILITY TO INSURE THE MAXIMUM		ATER MANAGEMENT CALCULATION ALL PROJECT STORMWATER MANAGEMENT (SWM) SITE PL		9. TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM ROOT COMPACTION, EQUIPMENT AND MATERIALS. 10. ALL BUILDING MATERIAL AND WASTES MUST BE REMOVE FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH	AATION SHOUS SSIONAL SISTEMBLE SISTEMBLE STATEMBLE ADDITION OF DECENTION OF THE STATEMBLE SISTEMBLE SOLE DISTEMBLE SOLE DISTEMBLE SISTEMBLE SOLE DISTEMBLE S
DECIDUOUS TREE EVERGREEN TREE SHRUB	TIME OF 72 HOURS IS NOT BEING EXCEEDED. IF DRAIN-DOWN TIMES ARE EXCEEDING THE MAXIMUM, DRAIN THE FACILITY BY PUMPING AND CLEANING OUT PERFORATED PIPE.		WABLE IMPERVIOUS SURFACE = 5,000 S.F. RVIOUS = 4,732 S.F.		DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET. SEQ. 271.1 ET. SEQ., AND 287.1 ET. SEQ., AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.	PROFEE DUMAC PROFEE DUMAC REPRO OF CRI SHALL THE PF THE
FIRE HYDRANT W/M WATER VALVE WM O WATER METER	6. THE PROPERTY OWNER SHALL SUBMIT AN ANNUAL REPORT TO THE TOWNSHIP DETAILING THE MAINTENANCE WORK, INCLUDING REPAIRS, IF ANY, THAT ARE CARRIED OUT DURING A GIVEN CALENDAR YEAR. SUCH REPORTS SHALL BE DUE ON OR ABOUT THE FIRST DAY OF MARCH OF THE FOLLOWING YEAR.	TOTAL VOLUME	RUNOFF (S.F) = 5,000 S.F. * 2 IN. *(1/12) = 833 C.F.		11. ANTICIPATED CONSTRUCTION WASTE INCLUDES WOOD, EROSION CONTROL BMPS CONSTRUCTION FENCING, AND MISCELLANEOUS. 12. NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITION EXIST ON THIS SITE. WHERE POTENTIAL FOR POLLUTION	BOSSED ED INK K K A I. S. 85-E 500-E
GV ⋈ GAS VALVE GM □ GAS METER EM □ ELECTRIC METER	THE TOWNSHIP AND/OR IT'S AGENTS RESERVES THE RIGHT AND PRIVILEGE TO ENTER UPON SUCH LANDS FROM TIME TO TIME FOR THE PURPOSE OF INSPECTION OF SAID UNDERGROUND STORMWATER MANAGEMENT FACILITY IN ORDER TO		WELL #1 WELL: 37' x 20' x 1.5' WELL STORAGE: 37' x 20' x 1.5' x 0.4 = 444 C.F.		IDENTIFIED, MEASURES ARE PROVIDED TO AVOID/MINIMIZE/ OR MITIGATE. 13. THIS PLAN MINIMIZES IMPERVIOUS SURFACES.	AN EM E IN R DUMAO OR O-E OR V R V R SU-0516 SU-054
Elbox □ ELECTRIC BOX WELL	ENSURE THAT THE STRUCTURAL AND DESIGN INTEGRITY AND MAINTENANCE REQUIREMENTS ARE BEING MAINTAINED BY THE OWNERS.	*ASSUMED 40% \PROPOSED DRY\			 THIS PLAN MAXIMIZES THE PROTECTION OF DRAINAGE FEATURES AND EXISTING VEGETATION. THIS PLAN MINIMIZES LAND CLEARING AND GRADING. 	SURVEY SU
C/O ○ CLEAN OUT WSO ○ WATER SHUT OFF VALVE DS ○ DOWN SPOUT		PROPOSED DRY\ PROPOSED DRY\	WELL: 6' x 115' x 1.5' WELL STORAGE: 6' x 115' x 1.5' x 0.4 = 414 C.F. D VOLUME = 444 C.F. + 414 C.F. = 858 > 833 C.F.		16. THIS PLAN MINIMIZES SOIL COMPACTION. 17. THIS PLAN UTILIZES STRUCTURAL AND NON-STRUCTURAL BMPs THAT PREVENT OR MINIMIZES CHANGES IN STORMWATER RUNOFF.	ALID WING SIGN SIGN SIGN SIGN SIGN SIGN SIGN S
TEL□ TELEPHONE BOX VUK ⋈ VALVE UNKNOWN EXISTING TREE LINE		TOTAL PROVIDED	J VOLUIVIE = 444 C.F. + 414 C.F. = 656 > 655 C.F.		18. THIS PLAN IS CONSISTENT WITH THE DIMENSIONS AND ELEVATIONS USED IN SUPPORTING CALCULATIONS. 19. THIS PLAN IS CONSISTENT WITH EROSION & SEDIMENT CONTROL PLAN IN RELATION TO PROPOSED CONTOURS, IMPROVEMENTS,	NOT V SEAL HEA PA P P
SOIL BOUNDARY LINE PROPOSED STORM SEWER PROPOSED MAJOR CONTOUR & ELEVATION					SOILS, WETLANDS, FLOODWAYS, STREAMS, DISCHARGE LOCATIONS, ETC 20. THIS PLAN PRESERVES THE INTEGRITY OF STREAM CHANNELS AND MAINTAINS AND PROTECTS THE PHYSICAL, BIOLOGICAL AND CHEMICAL EQUALITIES OF THE RECEIVING STREAM.	₩ 5
—————————————————————————————————————						64 S 8943 RS
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	Мол. Ти	7		LOWER NAVEGIELA EARWAND DRESERVATION INC	236	INGINI umack
				LOWER MAKEFIELD FARMLAND PRESERVATION INC TAX MAP PARCEL 20-074-021 ZONED: R-1		ION RAL E
	Mon, Frid.	ZONED: R-1			Mon. Find.	UCTUI
TC: 226.94 GRT: 226.24 INV: 216.17				AND THE PROPERTY OF THE PROPER	18 St.	SSIONAL C
8					NAME OF THE PARTY	CIVIL
70: 724 72 Man Ford			Bo	LOT 2	LOT 1 76,675 SF	
GRT: 224:02 - 100 11			Mon. Fnd.	121,324 SF COB	PER (C) 505	REV. DATE REVISION
Ma /		Pop		PROP. POOL EQUIPMENT PAD PROP. 4' HIGHI CODE— COMPLIANT FENCE	BUB Elbor 246.21.17 16: 241.11 NV(8): 241.11 NV(8): 241.01	1 4
			216216	TLAND BUFFER	Conc. Poor 20571 SDR 27 PRESSURE LINE	5 6
	N/F	Mon. Fnd.		PROPOSED PROPOSED POOL PORCH	THE 21 PRESSURE LINE	7 8 9
	LOWER MAKÉFIELD TOWNSHIP TAX MAP PARCÉL 20-073-014 -ZONED: R-1	NO3 04 00"W 13491 186		STONE RYWELL #2 x115/x1.5' PROP. CONC. PROP. DECK	PAINO PICO S	10 11
(36, 38)		Soi aufit		PROPOSED DWELLING 2,446 SF	WINDOW WELL WALL	12 13 14
			WETLANDS BUFFER	F.F. 228.00 PROP.50 PAVED PROP.50 PAVED PROP.50 PAVED PROP.50 PAVED PROP.50 PAVED PROP.50 PAVED PROP.50		15 16
STORM MET		* LkA	Wooded Area	2224.5.5.5.5.5.5.5.5.5.5.5.5.5.5.5.5.5.5	Description of the second status	17 18
16: 220.54 NN(A): 216.94 NN(B): 216.94 PK Nailm Finel	R=1340.00 L=206.14	Repar Fnd.	2/2		PROPOSED STONE DRYWELL #1" 37'x20'x1.5'	DDFIIMINIADY / FINIAL DIANI
18" RCP (B) (C)	36" RCP 219	LEGAL RIGHT-OF-WAY LINE L6: 727	FER OF THE PERSON OF THE PERSO		Mon. Fng.	MINOR SUBDIVISION
(B) (C) (C) (B) (C) (B) (C) (B) (C) (B) (C) (B) (C) (C) (C) (C) (C) (C) (C) (C) (C) (C	STORM INIFT	N N	(B) = 36" RCP (A) (B)	X=2626.6X	Tathe Light TC: 230.34 230 GRT: 229.66 INV(A): X	T.M.P. No. 20-003-017 DEED BOOK: 5029 PAGE No. 1855
STORM INLET = 619.48's MINO 1701 1800 00' MINO 1801 1800 00' MINO 1800	TG: \$16.88 TG: \$1	306.77' MHO 8 MHO 8 MHO 27' ARMED 209.24 MHO 8 MHO 8 MHO 27' ARMED 209.24	STORM INLET IG: 213.62	EDGE OF PAVING (A) (5" RCP	S. CURB Sign CONC. CURB CENTERLINE (A) CENTERLINE (A) CENTERLINE (A) CENTERLINE (C): X	CURRENT ZONING: R-1 OWNER of RECORD: JOSEPH SMITH & CYNTHIA MCDONOUGH
16: 220.97 WV(A): 216.61 MHO WV(B): 215.80 A=23°39'45" WV(C): 215.60 CB=S08° 37' 53"W	C): 212.54	LINDENHURS	ROAD, S.R. 2069	Maibox 210 X19	4"DY AHO MHO AHO	JOSEPH SMITH & CYNTHIA MCDONOUGH 1511 LINDENHURST ROAD YARDLEY, PA 19067
CD=615.09		TOWNSHIP CLASSIF	L=246.5.		345.24' S13'-24' 00"W STORM INLET TG: 222.08 INV(A): 217.98 I = 33.07'	SAME AS ABOVE
			(70 MPH)	""(b). 212.34 /	W(B): 217.98 α=500.00° Δ=3°47′22"	50 0 25 50
			CD=246.37		CB=S11' 30' 19"W CD=33.06'	50 0 25 50 GRAPHIC SCALE
						PCSWM PLAN
						1511 LINDENHURST ROAD
						LOWER MAKEFIELD TOWNSHIP BUCKS COUNTY, PA
						DRAWN BY: CHECKED BY:
						SCALE: PROJECT No:



UNDISTURBED SOILS (DO NOT COMPACT)

STONE DRYWELL DETAIL #2

No Scale



SERIAL No. 2023-0410388

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL

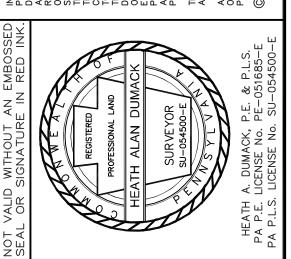
DENNSYLVANIA ONE CALL SYSTEM INC.

PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776

OFESSIONAL SERVICE RENDERED BY AND IS OWNED BY WACK ENGINEERING. REPRODUCTION OF THIS PLAN WITHOU PROVAL OF DUMACK ENGINEERING. IS NOT PERMITTED. THE PRODUCTION OF A COPY OF THIS PLAN FOR THE PURPOSE OREALING SAID PLAN GRAING ADDITIONAL COPIES OR REVISING SAID PLAN ALL, IN NO CIRCUMSTANCE, BE APPROVED. VIOLATION OF IS RESTRICTION SHALL BE CONSIDERED A VIOLATION OF BY REVERSIONAL CODE OF ETHICS AND A THEFT OF THE OWNESSIONAL CODE OF ETHICS AND A THEFT OF THE OWNESSIONAL CODE OF ETHICS AND A THEFT OF THE OWNESSIONAL CODE OF ETHICS AND A THEFT OF THE OWNESSIONAL CODE OF THE CONNENT OF DUMACK GINEERING IS PROHIBITED. RELIANCE ON THIS PLAN FOR AN REPOSE OTHER THAN THAT WHICH IT IS INTENDED SHALL BE THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE RITY.

IS PROJECT HAS BEEN PREPARED FOR MUNICIPAL PURPOSE: DIMONAL INFORMATION MAY BE REQUIRED FOR CONSTRUCTIC LDIMENSIONS MUST BE VERFIFED BY CONTRACTOR AND NIER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE OCCEDING WITH THE WORK.



ESTABLISHED IN 1904
677 DURHAM ROAD
P.O. BOX 487
PENNS PARK, PA 18943
PHONE: (215) 598-1230
FAX: (215) 598-1232

A PROFESSIONAL CORPORATION

CIVIL - STRUCTURAL ENGINEER

WWW.Dumack.co

PRELIMINARY/FINAL PLAN MINOR SUBDIVISION

EXISTING PARCEL INFO:

T.M.P. No. 20-003-017
DEED BOOK: 5029

CURRENT ZONING: R-1

CURRENT ZONING: R-1

OWNER of RECORD:

JOSEPH SMITH & CYNTHIA MCDONOUGH
1511 LINDENHURST ROAD
YARDLEY, PA 19067

APPLICANT: SAME AS ABOVE

GRAPHIC SCALE

PCSWM DETAILS 1511 LINDENHURST ROAD

LOWER MAKEFIELD TOWNSHIP BUCKS COUNTY, PA

CHECKED BY:

HAD

SCALE:

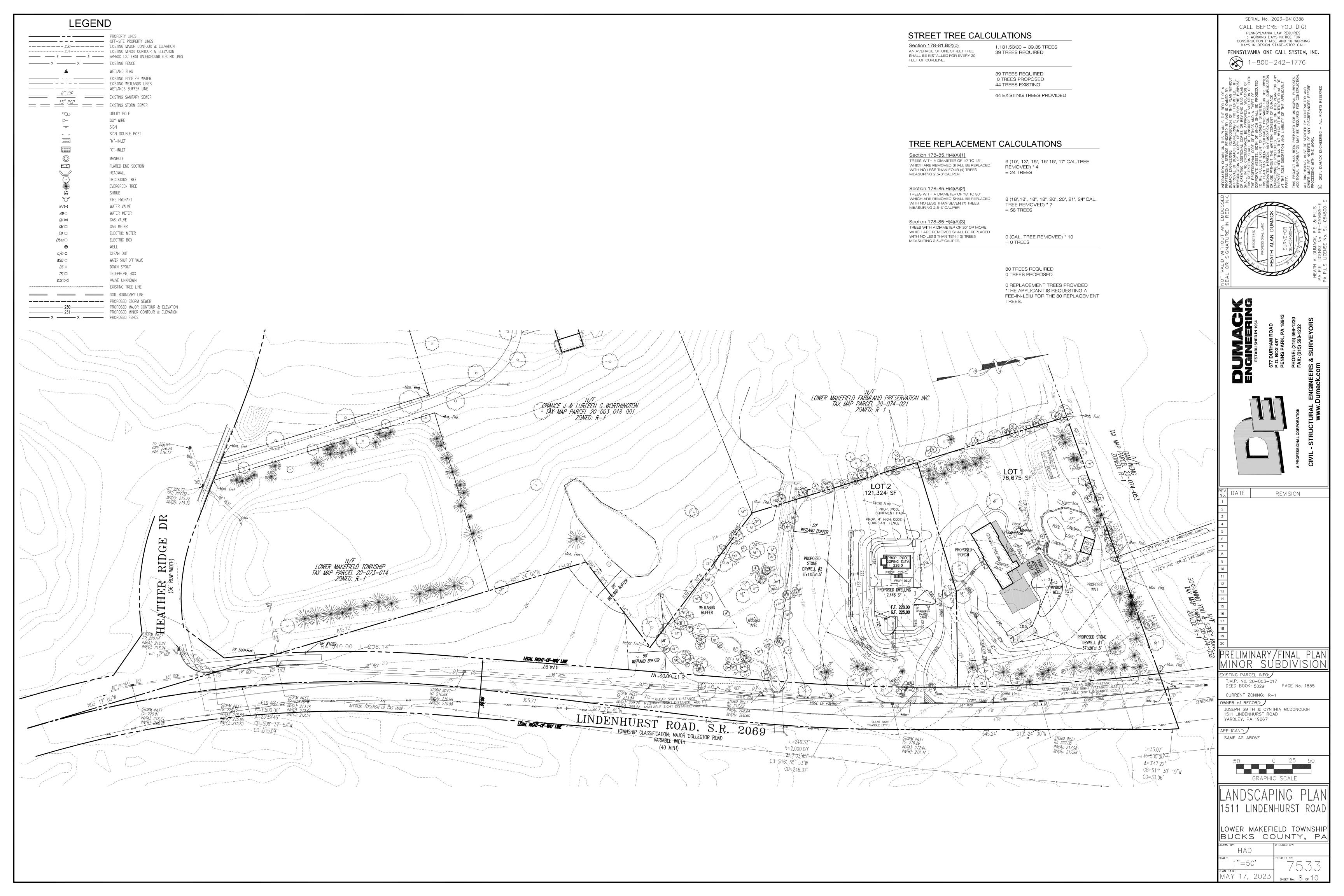
AS NOTED

PLAN DATE:

MAY 17, 2023

PROJECT No:

753



Landscape Materials, Planting - Seeding - Sodding Specifications

PART 1 - GENERAL

- 1. DESCRIPTION OF WORK
- A. Furnish, deliver and plant new plant material to the extent shown on drawings and in the plant list schedules. The term "plant material" shall mean trees, shrubs, ground cover, other growing plants, grass seeding, and sod.
- cover, other growing plants, grass seeding, and sod.

 B. Maintain and guarantee survival of new plant material for 18 Months from the date all
- C. Provide care and treatment of existing plant material.
- D. Previous Work
- (1) Examine all substrates and other related areas to which the work of this section is to be incorporated. Do not proceed if any conditions will prevent the proper execution of this work.
- (2) Execution of the work of this section shall constitute acceptance of all existing and previously executed work and other conditions as being satisfactory in every respect.
- (3) Contractor shall protect all existing work from damage.

replaced with acceptable plants.

- QUALITY CONTROL
 A. Name of plants shall agree with the nomenclature of "Standard Plant Names" as adopted by the American Joint Committee on Horticulture, 1942 Edition; size and grading standards shall
- of the "U.S.D.A. Standards of Nursery Stock".

 B. All plants shall be typical of their species or variety; they shall have normal, well developed branches and vigorous fibrous root systems. All plants shall be nursery-grown unless otherwise stated; they shall have been growing under the same climate conditions as the Township for at least two (2) years prior to the ate of planting. All plants which are

ound unsuitable in growth or condition or which are not true to name shall be removed and

conform to those specified by the American Association of Nurserymen in the latest edition

- C. Do not make substitutions: If specified landscape material is not obtainable, submit
- D. Sizes: Plants shall be measured as the stand in their natural position. Stock furnished shall be a fair average of the minimum sizes specified or of the range given in the "U.S.D.A Standards for Nursery Stock". Larger plants cut back to sizes specified shall not be accepted.
- E. Inspection: The Owner reserves the right to inspect trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size and quality.

3. PRODUCTS

- A. Topsoil: Shall be a natural, friable, fertile, fine sandy loam possessing the characteristics of representative topsoils in the vicinity. The topsoil shall be free from subsoil, noxious weeds, stones larger than 2" in diameter, lime, cement, ashes, slag or other deleterious matter.
- B. Fertilizer. All fertilizer shall be granular packet or pellet with 35 80% of the total nitrogen in a slowly available form with a minimum analysis of 5-10-5.
- C. Mulch: Material shall be well aged (2 years min.) finely shredded hardwood bark, dark brown in color, or approved equal. Material shall be mulching grade: uniform in size and free of foreign matter and weed seeds.
- D. Lime: Natural limestone containing not less than 85% of total carbonates, ground so that not less than 90% passes a 10-mesh sieve and not less than 50% passes a 100-
- E. Planting Mixture: A thorough mixture of minimum 50% water insoluble nitrogen content and a salt index below 50% is preferred.

4. SUBMITTALS

- Certification: Submit certificates of inspection as required by governmental authorities, and manufacturer's or vendors certified analysis for soil amendments and fertilizer materials. Submit other data-substantiating that materials comply with specified requirements.
- (1) Submit seed vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentages of purity, germination, and weed seed for each grass seed species.
- B. Planting Schedule: Submit planting schedule showing scheduled dates for each type of planting in each area of site.
- C. Maintenance Instructions: Submit typewritten instructions recommending procedures to be established by Owner for maintenance of landscape work for one full year. Submit prior to expiration of the 18 month maintenance & guarantee period.
- DELIVERY, STORAGE AND HANDLING
 Plants shall be packed, transported and handled with the utmost care to insure adequate protection from injury. Each shipment shall be certified by State and Federal authorities
- to be free from disease and infestation.

 B. Packaged Materials: Deliver package materials in containers showing weight, analysis
- and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
- Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strip.

branches or destroy natural shape. Provide protective covering during delivery. Plant

- D. Trees and Shrubs: provide freshly dug trees and shrubs. Do not prune prior to delivery. Do not bend or bind-tie trees in such a manner as to damage bark, break
- trees and shrubs upon delivery

 6. SITE CONDITIONS
- A. Utilities: Determine location of underground utilities and perform work in a manner which will avoid any damage. Hand excavate, as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
- B. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Owner before planting. Plant excavation pit must be not less than 12 inches wider or any deeper than necessary to exceed the belief of the Control of the party.
- to accommodate the ball of a tree (6 inches wider for shrub pits).

 C. Planting Time: Plant or install materials during normal planting seasons for each type of landscape work required. Correlate planting with specified maintenance periods to provide maintenance from date of substantial completion. See Planting Procedures
- D. Coordination with Lawns: Plant trees and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Owner. If planting of trees occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

7. GUARANTEE

- A. Guarantee lawns through 18 months maintenance and guarantee period and until final acceptance.
 B. All plant material shall be guaranteed for a period of 18 Months from date of acceptance.
- following written correspondence from the owner or his representative.

 C. Replacement will be made according to these same specifications and during the
- normal planting period. Replacements shall be subject to the same guarantee and replacement as the original material. The replacements shall be made within 60 days Any plants found to be dead, dying, or diseased during that period shall be replaced at contractor's expense.
- D. In case of any questions regarding the conditions and satisfactory establishment of a rejected plant, the contractor may, if approved by the owner allow such a plant to remain through another growing season at which time the rejected plant, if found to be dead, or in an unhealthy or badly impaired condition, shall be replaced.

PART 2 - PLANTING PROCEDURES

- A. The planting seasons shall be as follows:
- Deciduous Materials Evergreen Materials March 21 - June 2 April 1 - June 1
- All planting materials and planting operations are subject to the requirements of Local Municipal Ordinances.
- C. No trees or shrubs may be planted on drywell berms. Berms shall be maintained
- Fertilizer granular fertilizer shall be incorporated into the soil mix at recommended rates. Pelleted or packed fertilizer to be placed as shown in details.
- E. Trees and shrubs shall bear same relationship to finished grade as they did in the nursery row.
- F. Before placing trees in pits, lightly scarify the existing soil at the bottom of the pit, but not so much that the tree should require stabilization.
- G. All trees shall be placed directly on firm, stable soil.
- H. The plant pit shall be filled with planting mixture as specified and placed in 6" layers around the ball.
- I. Each layer shall be carefully tamped in place in a manner to avoid injury to the roots or ball or disturbing the position of the plant. When approximately two-thirds (2/3) of the plant has been backfilled, the pit shall be filled with water and the soil allowed to settle around the roots. B & B plants shall have all the twine, wire baskets and burlap cut away or folded back from the top 1/3 of the ball and trunks before applying the water. After the water has been absorbed, the plant hole shall be filled with soil mix and tamped lightly
- J. All containerized stock shall be removed from containers and the root mass should either be physically loosened or sliced to prevent strangulation.

in the field and approved by the owner prior to installation

- K. Failure to comply with planting procedures outlined above is basis for rejection of plant material by owner.
- Backfill Material shall be a friable agricultural loam suitable for growing plant material free from sticks, stones and other foreign material.
 Landscape contractor is responsible for watering sufficiently at time of planting and until
- job is completed and turned over to owner.

 N. Plant material locations are approximate, when necessary, adjustments may be made
- At intersections, trees shall be located no closer than thirty (30) feet from the intersection of the street right-of-way lines except when governing standards increase
- intersection of the street right-of-way lines except when governing standards increase the distance for clear sight.
- P. Tree planting shall not take place within 10 feet of any utility line, underground or overhead.
- Q. Planting Ground Cover

 Space plants as shown in plan or on plant schedule. Dig holes large enough to allow for spreading of roots and backfill with planting mixture. Work soil around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water. Water thoroughly after planting taking care not to cover crowns of plants

with wet soil. Mulch areas between ground cover plants; place not less than 2" deep.

R. PRUNING

- Only dead, damaged, or diseased branches should be pruned at the time of planting.
 Pruning shall be restricted in general to the secondary branches
- All plants disfigured by poor pruning practices will be rejected by the Owner.
- All pruning cuts shall remain unpainted.
 MULCHING
 Before mulch is installed, apply pre-emergence weed killer and incorporate into soil

according to manufacturer's directions. All surfaces which are to receive mulch shall be raked

off and smooth and free of all rocks and debris or large pieces of bark prior to application of

mulch. Spread mulch evenly to minimum thickness of 3 inches over entire area of filled excavation

- T. TREE STABILIZATION
 All trees to be stabilized within 48 hours of planting.
- U. REMOVAL OF ALL PLANTING DEBRIS

 Removal of debris is required. The property must be left in a neat and orderly condition in

accordance with good and accepted planting practices

- 1. Begin maintenance immediately after planting.
- 2. Maintain trees, shrubs and other plants until final acceptance by owner.

 3. Maintain trees, shrubs and other plants by pruning, cultivating and weeding as required for healthy growth. Pasters planting saucers.
- Maintain trees, shrubs and other plants by pruning, cultivating and weeding as r
 for healthy growth. Restore planting saucers.
 Re-set trees to proper grades or vertical position as required.
 Spray as required to keep trees and shrubs free of insects and
 disease. Water as needed.
- Maintain lawns by watering, fertilizing, weeding, mowing, trimming, and other operations such as rolling, regrading and replanting as required to establish a smooth, acceptable
- Maintain gravel beds free of weeds.

W. CLEANUP AND PROTECTION

- During landscape work, keep pavements clean and work area in an orderly condition.

 Protect landscape work and materials from damage due to landscape operations,
- Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed.

X. INSPECTION AND ACCEPTANCE

- When landscape work is completed, including maintenance, Owner will make an inspection to determine acceptability.
- Where inspected landscape work does not comply with requirements, replace rejected work and continue specified maintenance until reinspected by Owner and found to be acceptable. Remove rejected plants and materials promptly from project site.

PART 3 - GUARANTEE AND MAINTENANCE

- A. All required plantings shall be guaranteed for a period of eighteen (18) months from the date of plantings and shall be certified to be alive and healthy as determined by a landscape architect at the end of the guarantee period. Should a disagreement arise to whether the planting is alive and healthy, a landscape architect shall be retained by the Township at the expense of the developer to make a final determination.
- B. Maintenance crew with a trained foreman shall visit the site once weekly from spring (blooming of crocus) to fall (killing frost) and once monthly during the winter. A monthly worksheet shall be submitted to the Owner stating work performed during the month, or if none has been required, submit a notation to that effect.
- Where it is necessary to replace plant material or to repair the lawn the Owner shall
 inform the Contractor thereof before such replacement is made.
- D. Maintenance shall include, as determined by Owner, mowing, watering, cultivating, weeding, mulching, control of insects and diseases, pruning, and other horticultural operations for proper growth and appearance of plant materials and beds, and fertilizing.
- E. The Contractor shall guarantee that plants shall be in a vigorous and thriving condition during and at the end of the guarantee period. Should any plants appear to be in poor health or lack normal growth habit, they shall be removed at once and replaced in a manner and time as herein before specified.
- F. During the Maintenance and Guarantee period, damage to planting not caused by the Contractor shall be excluded from the Guarantee. Such damage shall include damage by vehicles, theft, fire, or acts of vandalism.
- G. Where evidence of such damage excluded from guarantee exists, advise the Owner in writing describing the damage. The Owner, upon receipt of such notice, may order the Contractor to correct the damage at the Owner's expense, or exclude the damaged work from the Guarantee provisions and correct the damage by an arrangement deemed by the Owner to be in his best interest.

PART 4. FINAL INSPECTION FOR ACCEPTANCE

- A. The Contractor shall notify the Owner upon completion of guarantee and maintenance
- Should any portion of the work be unacceptable, the Contractor shall make all work acceptable and request a reinspection by the Owner.
- C. The Contractor will be notified by letter of acceptance within five days after inspection or five days after reinspection should the latter be necessary.
- D. Upon notice of final acceptance, the Owner will assume maintenance.

PART 5. SEEDING/SODDING SPECIFICATIONS TOPSOIL

- A. Topsoil shall be stripped and stockpiled in areas on-site as directed by the Owner. Topsoil from wetland areas shall be separately stockpiled and retained for re-use, as needed, in wetland mitigation areas.
- B. The surface of all earth areas shall be finished to a reasonable smooth compact surface. The surface of areas to be topsoiled shall be finished to a level of six (6) inches below finished grade as shown on the drawings and left with a smoothness suitable for application of topsoil.
- C. The subgrade shall be thoroughly loosened to a depth of at least three inches before topsoil is spread. Topsoil previously stockpiled shall be spread over the entire work area to a depth of at least six (6) inches after compaction to a smooth firm seedbed prior to seeding. Additional topsoil shall be provided where adjustments are necessary to attain final true even grades shown on the drawings. Topsoil may be spread during any season, except that no topsoil shall be spread in a frozen or muddy condition. The contractor shall be responsible to restore any damage or loss to the grade surface caused by erosion before planting takes place.

2. FERTILIZATION

- A. For permanent seeding; limestone shall be applied according to soils tests, or worked in deeply at a rate of 2,000 lbs. per acre together with a commercial fertilizer of 10-20-20 (N-P-K) or equivalent dry formulation applied at a rate of 1,000 lbs. per acre. At the time of permanent seeding, work into the surface 1,000 lbs. of 18-24-6 (N-P-K) or equivalent per acre. The fertilizer shall be complete and delivered to the site in the original unopened container which shall bear the manufacturer's guaranteed statement of analysis.
- B. Initial limestone and fertilizer applications are to be blended into the top 2" of topsoil by raking, discing, harrowing or by other acceptable methods. the second fertilizer may be applied together with seeding operations. For temporary seeding, limestone shall be supplied at a rate of 2,000 lbs. per acre together with a commercial fertilizer of 10-20-20 (N-P-K) or equivalent dry formulation supplied at a rate of 1,000 lbs. per acre.

formulation supp 3 SEEDING

- A. Grass seed shall have a minimum purity of 85%, minimum germination (PLS) of 75% and weed content not exceeding a maximum of 1/2%. The seed mixture for fine lawn areas (Seed Mix Type 'A') shall be: Kentucky Bluegrass, creeping red fescue and perennial ryegrass with percent of weight being 70%, 20% and 10% respectively and sown at a rate of 4 lbs./1000 S.F. (175 lbs./acre). Seeding shall occur between the dates of April 1 and June 15 or August 25 and October 1 (November 1 for temporary seeding).
- Temporary seeding shall consist of Annual Ryegrass applied at 40 lbs. per acre with a minimum purity of 85% and germination (PLS) of 80%. Seeding shall occur between April 1 and November 1.

B. Seed shall be spread uniformly, according to the Manufacturer's specified rates and application

4. SODDING

- SODDING
 Sod: Provide strongly rooted sod, not less than 2 years old and free or weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant). Provide sod composed
- B. Lay sod within 24 hours from time of stripping. Do not plant dormant sod or if ground is frozen.
 C. Lightly mist finished topsoil grade with water prior to laying sod.
 Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips- do not overlap. Stagger strips to offset joints in adjacent courses.

Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between

pieces of sod; remove excess to avoid smothering of adjacent grass.

D. Anchor sod on slopes with wood pegs to prevent slippage.

E. Water sod thoroughly with a fine spray immediately after planting.

PART 6. SEED MIX BREAKDOWN:

1. SEED MIX 'A'

FINE LAWN PERMANENT SEED MIX:

POA PRATENSIS

KENTUCKY BLUEGRASS

FESTUCA RUBRA

CREEPING RED FESCUE

LOLIUM PERENNE

"TURF-TYPE"-PERENNIAL RYE GRASS

Seed rate: 4 pounds per 1,000 s.f. (175 lbs. per acre)

PART 7 - EXISTING TREE MAINTENANCE

- A. PRUNING METHODS. ALL FINAL CUTS SHALL BE MADE SUFFICIENTLY CLOSE
 TO THE TRUNK OR PARENT LIMB BUT WITHOUT CUTTING INTO THE BRANCH
 COLLAR OR LEAVING A PROTRUDING STUB, ACCORDING TO THE NATIONAL
 ARBORIST ASSOCIATION STANDARDS. ALL NECESSARY PRUNING CUTS
 MUST BE MADE TO PREVENT BARK FROM BEING TORN FROM THE TREE AND
 TO FACILITATE RAPID HEALING. FLUSH CUTS ARE UNACCEPTABLE.
- B. FERTILIZATION METHODS.

 (a) ALL TREES WHICH HAVE EXPERIENCED ANY DISTURBANCE OR HAVE HAD DAMAGE TO THE ROOTS OR BRANCHES SHALL BE FERTILIZED.
- (b) TREES SHALL BE FERTILIZED IN EARLY FALL (SEPTEMBER-OCTOBER) OR MID-SPRING (APRIL-MAY). FALL APPLICATIONS ARE PREFERRED.

 (c) FERTILIZER SHALL BE BROADCAST OVER THE SOIL SURFACE IN AN AREA

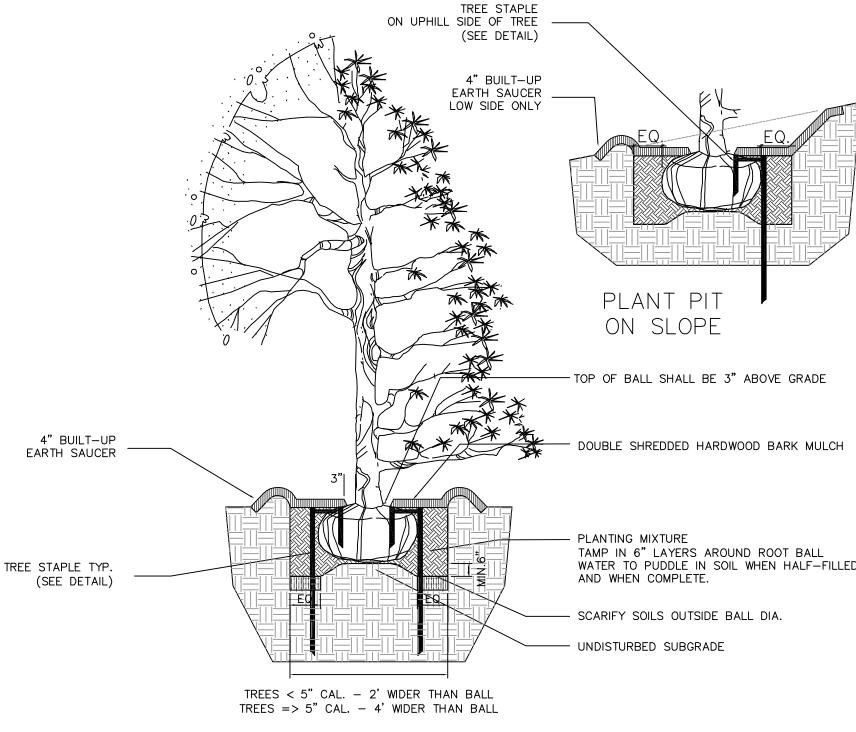
TWICE THE SIZE OF THE TREE PROTECTION ZONE AT THE RATES GIVEN IN

SUBSECTION (e) BELOW. A MINIMUM OF ONE THOUSAND (1,000) SQUARE

(d) FERTILIZER GRADE SHALL HAVE APPROXIMATELY THREE (3) PARTS
NITROGEN TO ONE (1) PART PHOSPHORUS TO ONE (1) PART POTASSIUM

FEET PER TREE WILL RECEIVE FERTILIZATION.

(e) FERTILIZER SHALL BE APPLIED AT A RATE EQUIVALENT TO ONE (1) POUND NITROGEN PER ONE THOUSAND (1,000) SQUARE FEET.



NOTES:

1. ALL TREE PITS SHALL PERCOLATE SUFFICIENTLY FOR PROPER TREE GROWTH. SCARIFY PERIMETER OF PIT BOTTOM AND TEST EACH PIT TO INSURE WATER DRAINS AWAY PRIOR TO PLANTING. CONTACT LANDSCAPE ARCHITECT IF PLANT PIT FAILS TO PERCOLATE.

2. PLANT SHALL SIT ON UNDISTURBED SOIL AT BOTTOM OF PLANT PIT (APPROX. 6" IN HGT.). DO NOT SCARIFY THE

3. PLANT PIT SHALL BE TWO (2') FT. WIDER THAN BALL FOR TREES ≤ 5" CAL.; FOUR (4') WIDER THAN BALL FOR TREES > 5" CAL.

4. TOP & SIDES OF ALL BURLAP COVERING &/OR WIRE

PLANT SEAT.

BASKETS MUST BE COMPLETELY REMOVED FROM ROOT BALL AFTER PLACING THE PLANT IN THE PIT & PRIOR TO BACKFILLING; REMOVE FROM SITE. DO NOT REMOVE BURLAP &/OR BASKET FROM BOTTOM OF THE ROOT BALL.

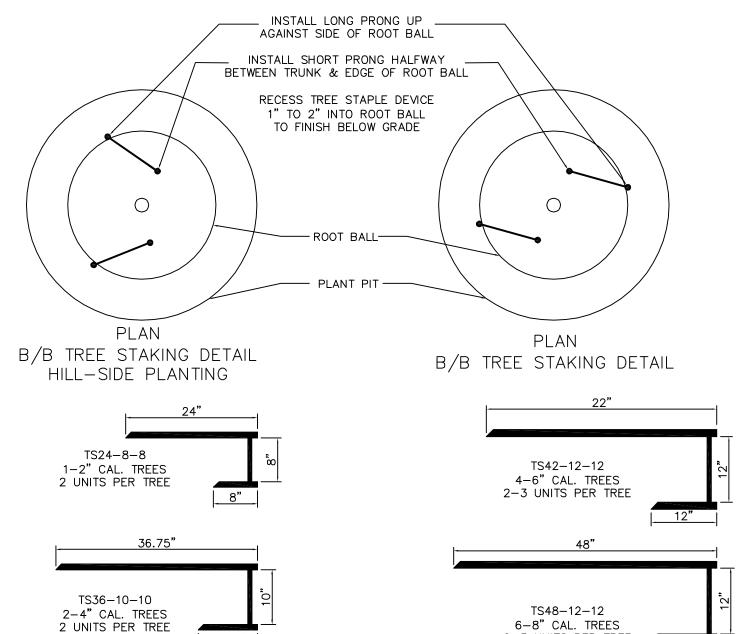
5. PRUNE OUT DEAD & BROKEN BRANCHES; ALWAYS PRUNE TO NODE OR CROTCH. DO NOT CUT LEADER. PLANTS THAT ARE MIS—SHAPEN DUE TO DEAD OR BROKEN BRANCHES WILL

BE REPLACED.

6. SURROUND PLANT PIT WITH EARTH SAUCER OF EXCAVATED SOIL. INSIDE DIAMETER OF SAUCER SHALL BE THE DIAMETER TAMP IN 6" LAYERS AROUND ROOT BALL OF THE PLANT PIT. SAUCER SHALL BE APPROX. 8" WIDE; 4" WATER TO PUDDLE IN SOIL WHEN HALF-FILLED HIGH. DO NOT SAUCER TREES PLANTED WITHIN A PLANTING

7. MULCH PLANT WITH THREE (3") INCHES OF DOUBLE SHREDDED HARDWOOD BARK MULCH OR APPROVED EQUIVALENT. DO NOT PLACE MULCH WITHIN THREE (3") INCHES OF PLEAT TRUNK.

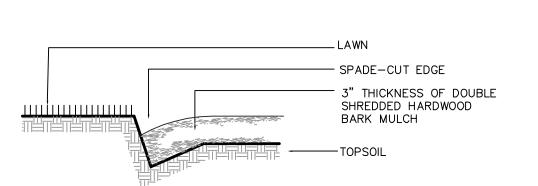
8. MULCH OVER PLANT SAUCER AND TUCK FULL DEPTH OF MULCH INTO SOIL.



SIZE AND QUANTITY SELECTION GUIDE

2-3 UNITS PER TREE





EDGING AT MULCH BED

NOT TO SCALE

SERIAL No. 2023-0410388

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PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL

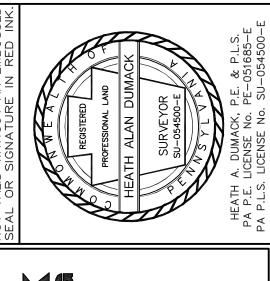
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677 DURHAM ROAD
P.O. BOX 487
PENNS PARK, PA 1894
PHONE: (215) 598-1230

DATE REVISIONAL CO

PRELIMINARY/FINAL PLAN MINOR SUBDIVISION

EXISTING PARCEL INFO:

T.M.P. No. 20-003-017
DEED BOOK: 5029

CURRENT ZONING: R-1

OWNER of RECORD:

JOSEPH SMITH & CYNTHIA MCDONOUGH

1511 LINDENHURST ROAD

APPLICANT:

SAME AS ABOVE

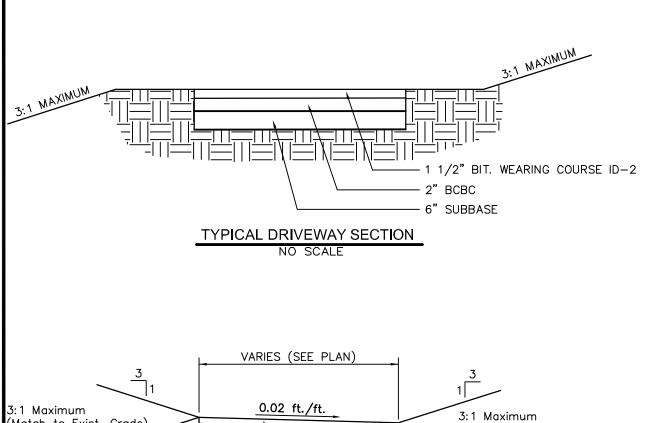
O GRAPHIC SCALE

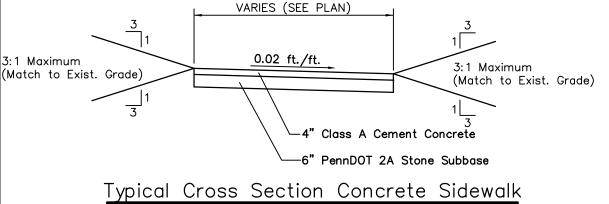
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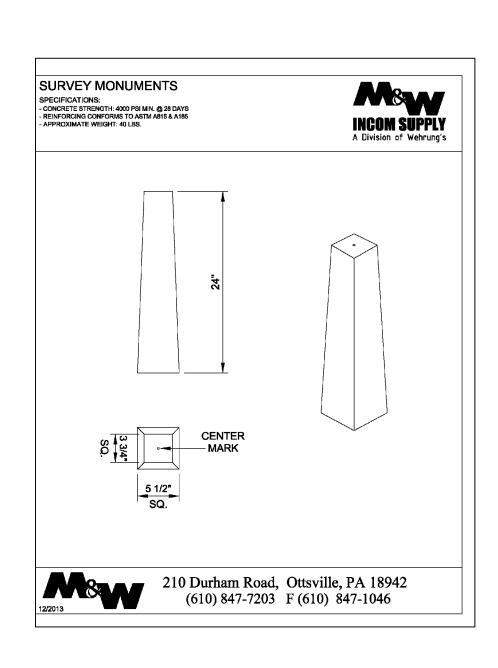
DRAWN BY:
HAD

SCALE:
AS NOTED
PLAN DATE:

PASSING TED
PROJECT NO:
7533



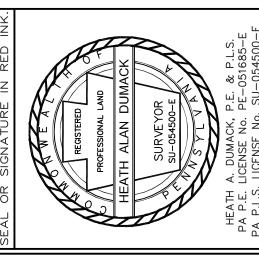




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3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
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REVISION

PRELIMINARY/FINAL PLAN MINOR SUBDIVISION

EXISTING PARCEL INFO:

T.M.P. No. 20-003-017
DEED BOOK: 5029
PAGE No. 1855

CURRENT ZONING: R-1

OWNER of RECORD:

JOSEPH SMITH & CYNTHIA MCDONOUGH
1511 LINDENHURST ROAD
YARDLEY, PA 19067

APPLICANT: SAME AS ABOVE

CONSTRUCTION DETAILS 1511 LINDENHURST ROAD

LOWER MAKEFIELD TOWNSHIP BUCKS COUNTY, PA

AS NOTED PLAN DATE: MAY 17, 2023