

HACIENDA  
DESIGN  
INCORPORATED

Architect

Hacienda Design, Inc  
401 Washington Street  
Morrisville, PA 19067  
Phone: 215.736.8255  
Fax: 215.736.8589

Owner

Marc and Jennifer Modotinsky  
367 Ramsey Road  
Yardley, PA 19067

Project Data

Lower Makefiled Zoning Code  
Residential District R-2  
Commonwealth of Pennsylvania Uniform  
Construction Code  
2018 International Residential Code

Lot Area:

17,676 square feet

Existing Dwelling Area:

1892 square feet

Existing Front Porch Area:

42 square feet

Existing Rear Porch Area:

159 square feet

Proposed Kitchen Area:

233.5 square feet

Building Cover:

Existing: 2093 square feet  
1.8 percent

Proposed: 2326.5 square feet  
13.2 percent

Existing Driveway Area:

1447 square feet

Existing Walkway Area:

173 square feet

Total Impervious Cover:

Existing: 3713 square feet  
21.0 percent

Proposed: 3946.5 square feet  
22.3 percent

18 percent permitted

Minimum Yard Setbacks:

Front:

Required: 40'-0"  
Provided: 43.10'

Side:

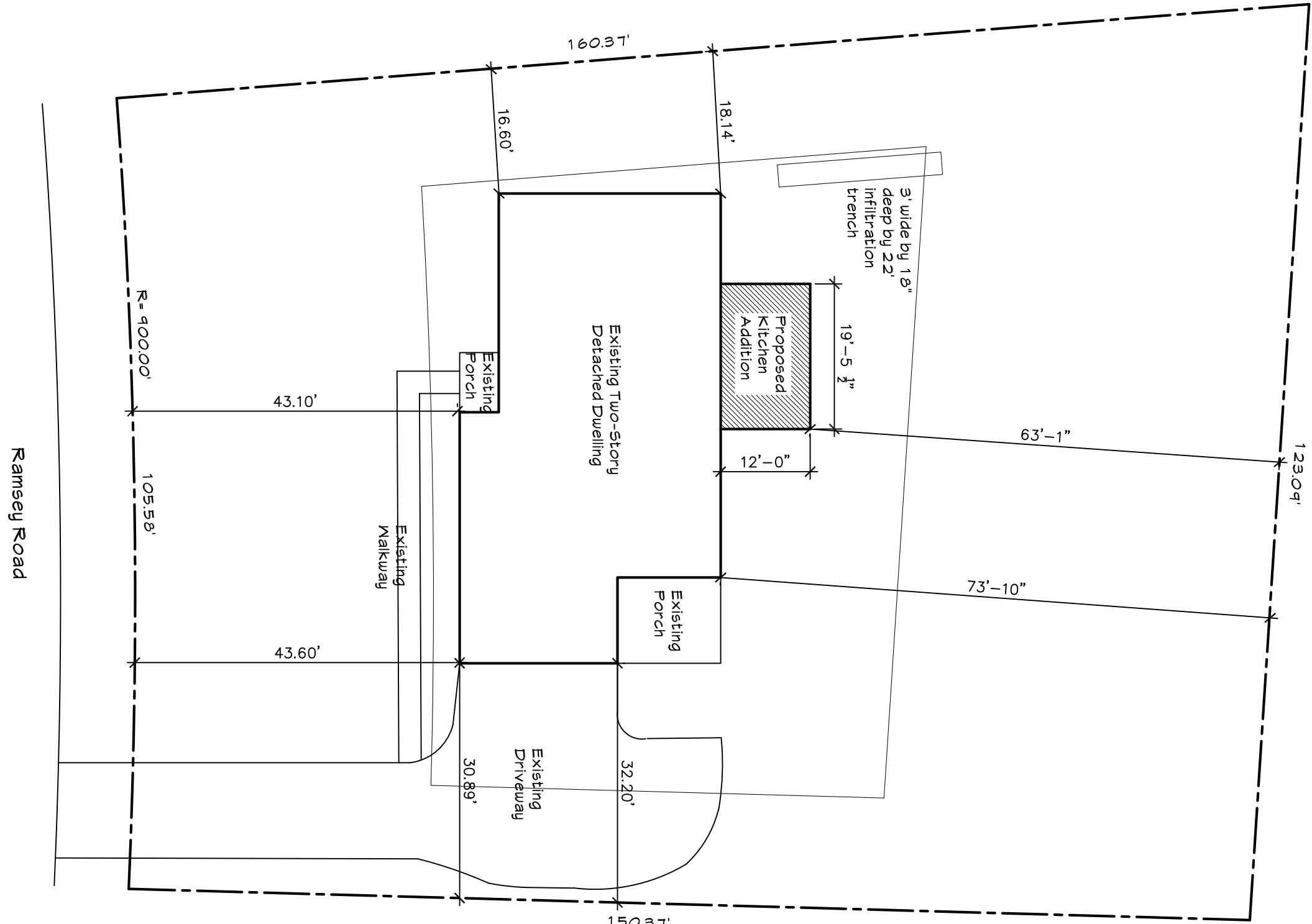
Required: 15'-0" minimum  
Provided: 30.84' to garage  
16.60" opposite

Rear:

Required: 50'-0"  
Existing: 63'-1"

Drawing List

ST-1 Site Plan, Elevations and Project Information



1 PLOT PLAN  
ST-1 SCALE: 1/16" = 1'-0"

Stormwater Management Small Project Volume Control <  
5,000 S.F. of New Impervious Surfaces

Step 1

[Appendix I](#)

234 S.F. Impervious Surface Area to be controlled to mitigate

Step 2

39 C.F. Required Control Volume: (534 in S.F. x 2 inches runoff)/12 inches

Step 3

For Step 3, you need to select a Best Management Practice technique from Appendix I and provide a calculation that demonstrates this requirement is met. This can consist of structural measures such as an infiltration trench, dry well or rain garden, or non-structural measures such as tree planting, preservation or minimization of soil compaction.

Stone Infiltration trench facility (Volume of facility = Depth x Width x Length):

1.5 Feet Set Depth of trench and determine required surface area of trench.  
3 Feet Width of the trench should be greater than 2 times its depth (2 x D)  
22 Feet Set Trench Length

40 C.F. Trench Volume = Depth x Length x Width x 40% voids in stone

Determine the number of tree plantings:

Trees A newly planted deciduous tree can reduce runoff volume by 6 cu. ft.  
Trees A newly planted evergreen tree can reduce runoff volume by 10 cu. ft.

0 C.F. Runoff Volume for trees planted

Calculate the volume reduction credit by preserving existing trees:

S.F. Approximate Area of Trees within 20 feet of impervious cover:

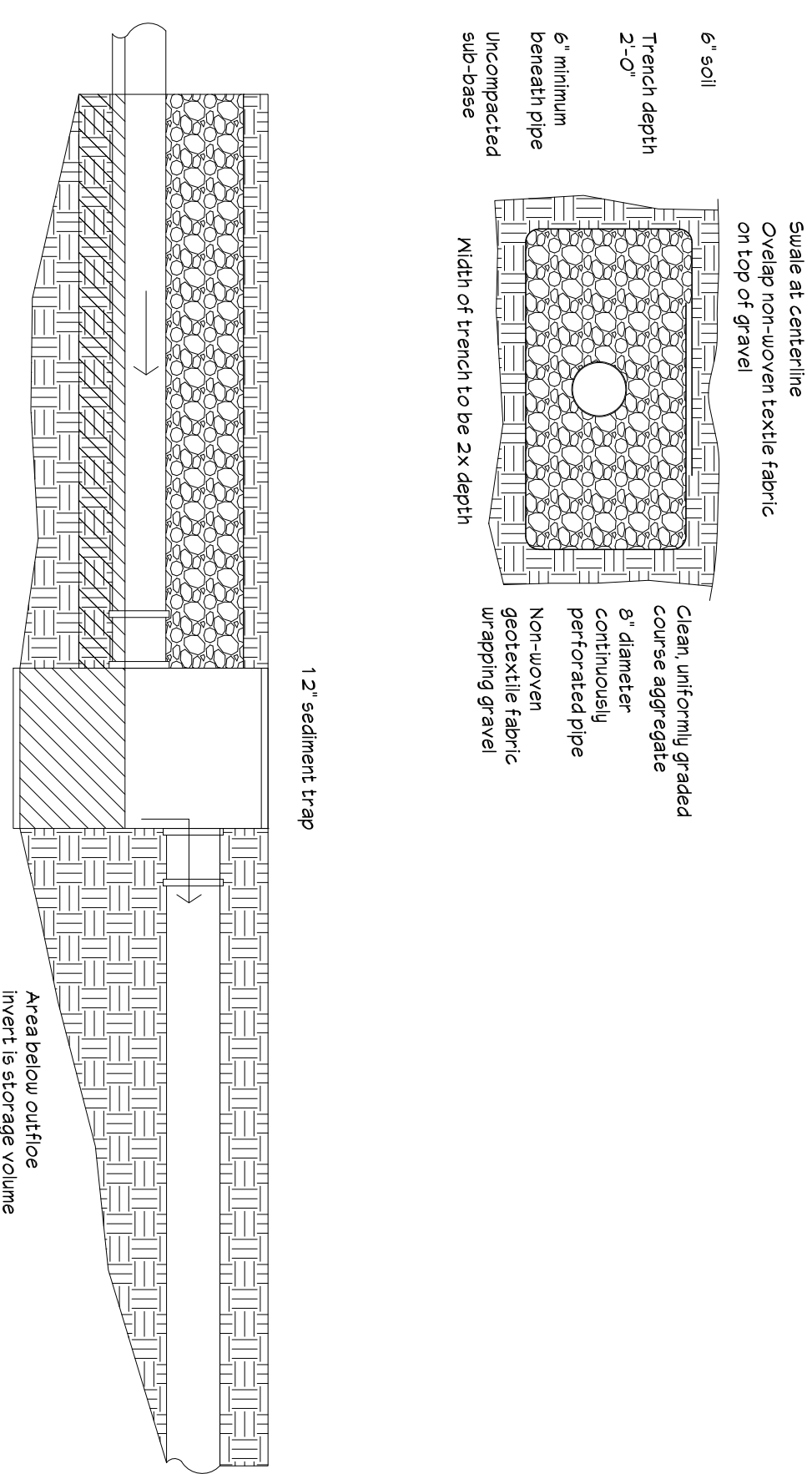
0 C.F. Volume Reduction = (Existing Tree Canopy sq. ft. x 1 inch)/12

S.F. Approximate Area of Trees > 20 feet and within 100 feet of impervious cover:

0 C.F. Volume Reduction = (Existing Tree Canopy sq. ft. x 0.5 inch)/12

40 C.F. Total Runoff Volume Controlled

Re-do if Total Runoff Volume Controlled < Required Control Volume



3 INFILTRATION TRENCH DETAIL  
ST-1 SCALE: NOT TO SCALE



2 REAR RENDERING  
ST-1 SCALE: NOT TO SCALE

Seal:

Tracy L. Miller  
PA R.A. 016689

HACIENDA  
DESIGN  
INCORPORATED

401 Washington Street  
Morrisville, PA 19067

Phone: 215.736.8255  
Fax: 215.736.8589

Project:  
Nodotinsky Residence  
367 Ramsey Road  
Yardley, PA 19067

Drawing Title:  
Cover Sheet

Date:

Revisions:  
Change:

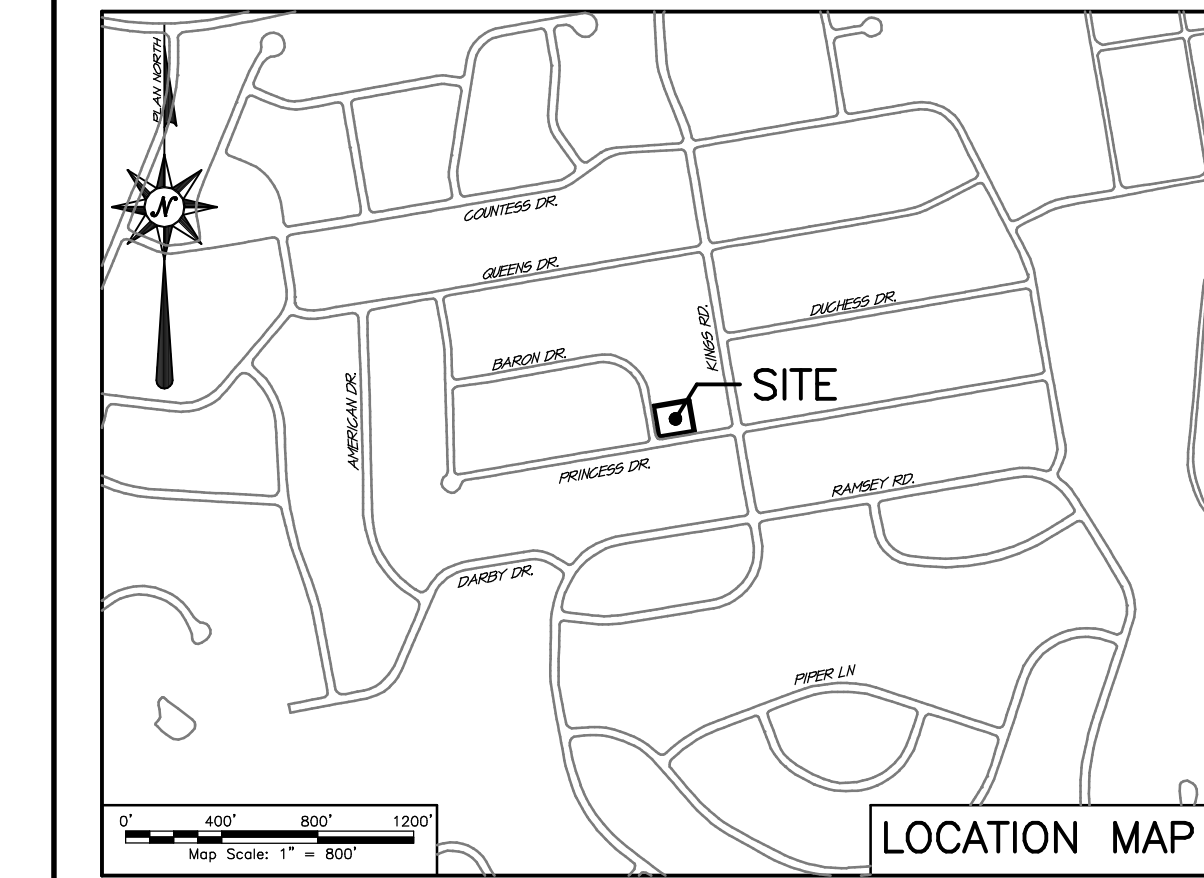
Date: 21 August 2025  
Scale: As Noted  
CAD file: C: 2515 Nodotinsky residence

Drawn by: TLM  
Reviewed by: TLM

ST-1  
Drawing Number:

1 of 1  
Sheet Number:





| ZONING and SITE DATA SCHEDULE                        |                                    |                |            |
|--|------------------------------------|----------------|------------|
| ZONED: R-2 RESIDENTIAL LOW DENSITY                   |                                    |                |            |
| Item   | Requirement                        | Existing:      | Proposed:  |
| Permitted Use:                                       | Single-Family Detached Residential |                |            |
| Lot:   |                                    |                |            |
| Minimum Lot Area:                                    | 19,500 Sq. Ft.                     | 19,500 Sq. Ft. |            |
| Minimum Width at Street Line:                        | 100 Ft.                            | 130 Ft.        |            |
| Yard:  |                                    |                |            |
| Minimum Front Yard:                                  | 35 Ft.                             | 39.7 Ft.       |            |
| Minimum Rear Yard:                                   | 45 Ft.                             | 50.1 Ft.       |            |
| Minimum Side Yard:                                   | 15 Ft.                             | 31.0 Ft.       |            |
| Coverage:  |                                    |                |            |
| Maximum Impervious Coverage:                         | 18 %                               | 29.39% [1]     | 29.39% [2] |
| Height:  |                                    |                |            |
| Maximum Building and Structures:                     | 35 Ft.                             | Existing       | Existing   |
| [1] Existing Non-conforming<br>[2] Variance Required |                                    |                |            |

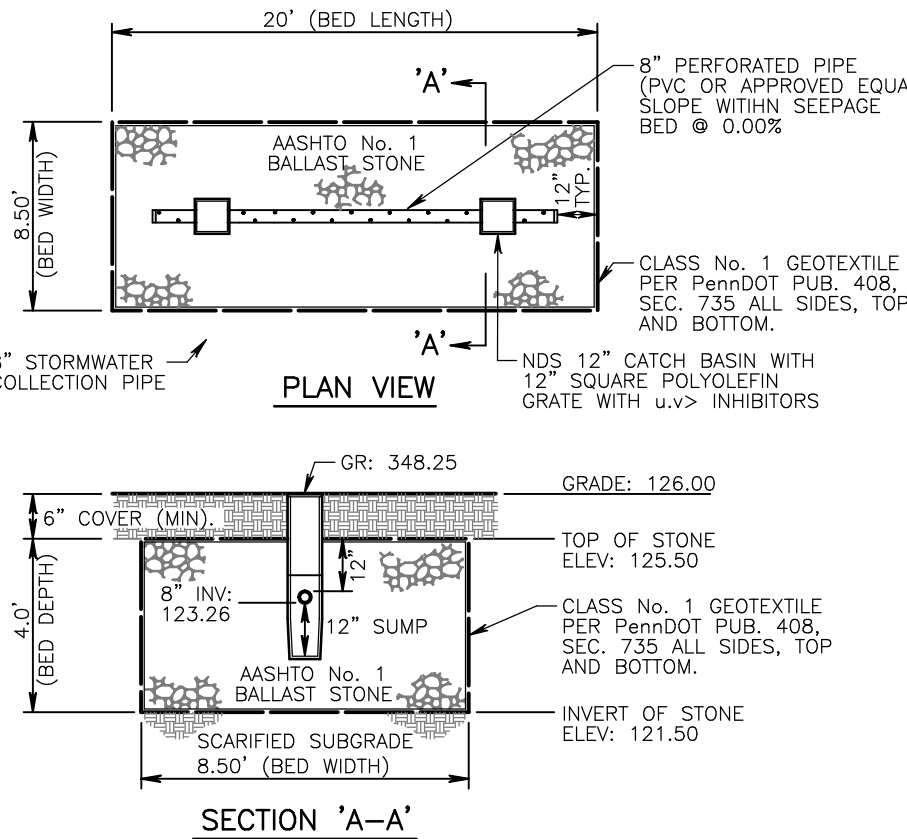
| IMPERVIOUS SURFACE TABULATION: |                             |
|--------------------------------|-----------------------------|
| ZONED:                         | R-2 RESIDENTIAL LOW DENSITY |
| MAX. IMPERVIOUS SURFACE:       | 18%                         |
| LOT AREA:                      | 19,500 Sq. Ft.              |
| EXISTING:                      |                             |
| DWELLING:                      | 2,807 S.F.                  |
| PAVED DRIVEWAY:                | 802 S.F.                    |
| F.WALKWAY:                     | 131 S.F.                    |
| R. PATIO:                      | 551 S.F.                    |
| R. SLAB:                       | 16 S.F.                     |
| SHED:                          | 64 S.F.                     |
| SUBTOTAL:                      | 4,171 S.F.                  |
| BUILDING AND POOL PERMIT PLAN: |                             |
| DWELLING:                      | 3,256 S.F.                  |
| PAVED DRIVEWAY:                | 802 S.F.                    |
| F.WALKWAY:                     | 306 S.F.                    |
| SHED:                          | 64 S.F.                     |
| POOL SURROUND/COPING:          | 1,213 S.F.                  |
| MECH. PAD:                     | 27 S.F.                     |
| WALL:                          | 63 S.F.                     |
| SUBTOTAL:                      | 5,731 S.F.                  |
| NET INCREASE:                  | 1,560 S.F.                  |
| PREDEVELOPMENT:                | 4,171 S.F. or 21.39%        |
| POST DEVELOPMENT:              | 5,731 S.F. or 29.39% [M]    |

## GENERAL NOTES:

- Outbound & topographic survey information was taken from a field survey performed by Efficient Design, LLC, entitled, Ex. Features Survey dated May 30, 2025.
- All proposed fencing shall comply with all applicable Township ordinance standards and specifications. All gates shall open in an outward direction and must be equipped with self closing and latching devices in compliance with 2024 ISPS, Section 27-803.1-8.1.1.d.
- All proposed pool construction shall be in strict accordance with the 2024 International Swimming Pool and Spa Code, Section 305.
- Temporary construction fence must be installed around the pool area once excavated and until such time the pool is filled and final perimeter pool fencing has been installed.
- The Township Engineers Office must be contacted a minimum of 48 hours in advance of installation of Stormwater Management Facilities.
- Any damage within the right of way of Baron Drive caused by the contractor during pool construction shall be repaired/replaced as directed by the Township Engineer at the sole expense of the owner/contractor.
- Each dwelling door that directly accesses the pool area shall be equipped with an alarm that sounds at least thirty (30) seconds when the door is opened and is audible throughout the dwelling. (Pennsylvania Uniform Construction Code - Swimming Pool).
- The contractor shall make end-of-day checks on all Erosion & Sediment Control measures. Any repairs needed shall be corrected immediately.
- During construction no mud may be tracked from the development onto the surrounding roadways whether or not they are dedicated, and no or dirt from construction operations shall be permitted to settle on adjoining properties. Adequate water provisions shall be onsite to help contain dust to within the active work area.
- No water shall be placed in the pool until such time the required pool enclosure is installed and operational.
- The property owner shall sign and record an Operations and Maintenance Agreement with the Town -ship for the proposed Seepage Bed.

## GRADING AND DRAINAGE NOTES:

- All contractors working on this project shall comply with the requirements of P.L. 852, No. 287, December 10, 1974, as amended on December 12, 1985 P.L. 1574, No. 172. Contractors must notify PA One Call System, Inc. three (3) days prior to the start of any construction. 1-(800)-242-1776.
- Contractors shall not encroach onto adjoining properties unless a temporary grading easement has been obtained from the adjoining owners. All property lines must be shall be adequately marked and any area that proposed grading encroaches within live (5) feet of the property line the contractor shall install temporary Orange Construction Fence to prevent encroachment onto adjoining properties.
- All contractors working on this project shall ensure that all construction performed is in accordance with all applicable OSHA (Occupational Safety and Health Administration) standards and specifications.
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work within the tributary area.
- Burying of trees, tree stumps and construction debris is prohibited. All debris shall be removed and disposed of in strict accordance with all Federal, State and Local Municipality standards and specifications. Tree stumps may be ground or chipped and spread on site.
- All construction requirements, methods, materials and specifications shall be in accordance with all Municipal Authority Standards, Municipality Standards and Penn-DOT Form 408 (latest Edition), where in the case of conflict the more stringent requirement shall apply.
- All utility installation must be in accordance with the requirements of the Pennsylvania Uniform Construction Code, as adopted by the Municipality.
- All slopes with grades three (3) foot horizontal to one (1) foot vertical (3:1) shall be stabilized with a North American Green or approved equal Erosion Control Blanket installed in strict accordance with manufactures standards and specifications. See Erosion Control Plans for location and details.
- Any spring encountered during construction of the roadways shall be underdrained to the nearest inlet. Other spring locations found outside the roadway shall be underdrained to the nearest inlet or watercourse.
- The minimum slope in grassed areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
- Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soil, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. Test D-1557, moisture content at time of placement shall be no more than 2% above nor 3% below optimum, contractor shall submit a compaction report prepared by a qualified soils engineer, registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
- Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
- A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
- Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
- Any damage caused within the right of way as a result of construction shall be repaired at the expense of the Owner.
- The Owner agrees to make necessary corrective measures to alleviate any drainage issues that on this property and/or adjacent properties that might arise for a period of 6-months after the improvements have been completed, as deemed necessary by the Township.



SEEPAGE BED CALCULATION

NET SITE IMPERVIOUS INCREASE = (1,560) Sq. Ft.

RUN-OFF CAPTURE STORAGE REQUIRED:

$R_v = 2.00 \text{ in.} \times (\text{Total Impervious area in Sq. Ft.}) = \text{Cu. Ft. of Recharge}$

$R_v = 2.00 \text{ in.} \times (1,560) = (2,600) \text{ Cu. Ft. of Recharge}$

$R_v = (260) / 0.40 \text{ Stone Voids} = (650) \text{ Cu. Ft.}$

$V_p = (8.5) \text{ Ft. Width} \times (20) \text{ Ft. Length} \times (4.0) \text{ Ft. Depth} = (680) \text{ Cu. Ft. Provided}$

## DOUBLE INLET IN-LINE SEEPAGE BED

Not To Scale

## POST CONSTRUCTION MAINTENANCE PROGRAM:

The applicant/owner, its assigns shall be responsible for the ownership and maintenance of the proposed BMP's shown on this plan in perpetuity. All BMP's shall be maintained in accordance with all applicable Township Standards and Specifications as so designated in the Ownership and Maintenance agreement as entered into between the Owner and the Township.

### MAINTENANCE OF THE SEEPAGE BED:

- The applicant/owner, shall ensure that all catch basins within the system are inspected and cleaned after each runoff event. Remove any debris such as lawn, clippings, leaves or accumulated trash that may prohibit runoff from entering the catch basins.
- The applicant/owner, shall ensure that the overlying vegetation of the seepage bed should be maintained in good vegetated conditions, and any bare spots revegetated immediately.
- The applicant/owner, shall ensure that no vehicular traffic is permitted over or on the seepage bed and care should be taken to avoid excessive compaction by lawn equipment.
- The applicant/owner, shall ensure all roof leaders that lead to the seepage bed are free and clear of any debris that may cause clogging of the seepage bed in/low pipe. Quarterly flushing of the catch basins and in/low pipe are required.

Should any of the BMP's shown on this plan fail to function as designed, the applicant/owner shall be responsible for all corrective measures including but not limited to cleaning, flushing, repair or replacement as necessary or directed by the Township Engineers Office.

### OWNER ACKNOWLEDGEMENT:

I/we Steven and Jill Mancio acknowledge that the stormwater management facilities shown on these plans can only be altered or removed after approval of a revised plan by the applicable municipality, owner also agrees to all above listed BMP maintenance program requirements.

Signature:

Date:

### PROJECT SOILS DATA

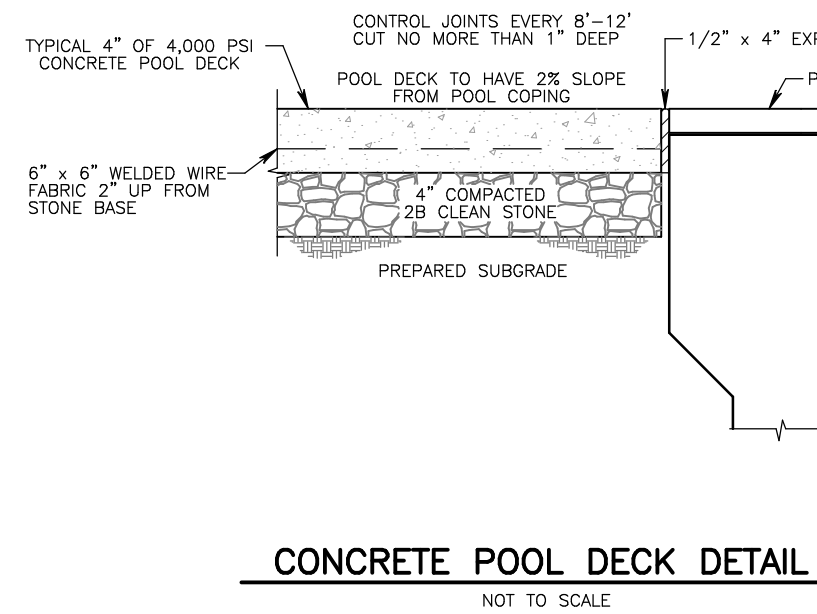
| Soils Type:                     | Slopes:        | Depth to Restrictive Feature: | Depth to Water Table: | Hydrologic Soil Group: |
|---------------------------------|----------------|-------------------------------|-----------------------|------------------------|
| UIB Urban-land-Matapske complex | 0 to 8 percent | 72-99" to lithic bedrock      | >-80"                 | B                      |

### ACKNOWLEDGEMENT:

I, TIMOTHY P. WOODROW, P.E. acknowledge that the PROPOSED GRADING ACTIVITIES SHOWN ON THIS PLAN SHALL NOT SIGNIFICANTLY INCREASE STORMWATER RUNOFF TO, AND/OR OTHERWISE ADVERSELY IMPACT, DOWNSTREAM PROPERTIES, EXCEPT AS MAY BE PART OF AN APPROVED STORMWATER RUNOFF COLLECTION AND MANAGEMENT PLAN.

Signature:

08/12/2025  
Date:



### RAISED BOND BEAM DETAIL

NOT TO SCALE

### PROJECT SHEET INDEX

| SHEET No.: | SHEET DESCRIPTION:             |
|------------|--------------------------------|
| 1 of 2     | SITE IMPROVEMENTS PLAN         |
| 2 of 2     | CONSTRUCTION DETAILS SHEET 'A' |

### PLAN LEGEND

|                                  |                                |  |
|----------------------------------|--------------------------------|--|
| Tract Boundary Line              | Existing Storm Sewer Piping    | Proposed Storm Sewer Piping                        |
| Existing Right-of-Way Line       | Existing Sanitary Sewer Piping | Proposed Roof Leader System                        |
| Existing Right-of-Way Centerline | Existing Gas Main              | Proposed Contour                                   |
| Municipal Boundary Line          | Existing Water Main / Service  | Proposed Clearing                                  |
| Existing Zoning Boundary         | Existing Overhead Wires        | Proposed Limits of Disturbance                     |
| Existing Topographic Contour     | Existing Fence Line            | Proposed 18" Silt Fence                            |
| Existing Soil Series Limits      | Existing Woodlands Dripline    | Proposed Compost Filter Sock                       |
| Mapped Wetlands Limit            |                                | Proposed Orange Construction/Tree Protection Fence |
|                                  |                                | Proposed Pool Fence/Gate                           |

REVISIONS

PLAN NORTH

SEAL

TIMOTHY P. WOODROW  
REGISTERED PROFESSIONAL ENGINEER  
No. 03875-E

PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 811  
A Utility Located with Pennsylvania Corporation

Parcel Information:

N/F: Owner of Record  
20-037-150  
Block 037 Unit 150  
916 Princess Drive

Deed Area: 19,500 Sq. Ft.  
Legal RW: n/a  
Util. RW: n/a  
NET Area: 19,500 Sq. Ft.

Applicant:

Steven and Jill Mancio

916 Princess Drive  
Yardley, PA 19087

Scale in Feet (1" = 15')

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WOODROW & ASSOCIATES, INC.  
MUNICIPAL / CIVIL CONSULTING ENGINEERS  
1108 North Bethlehem Pike / Suite 105 - Lower Merion, PA 19002  
Phone: (215) 242-2948 Web: www.woodrowinc.com

Layer List:

Sh01\_PPP

Job No:

19-501-D25-06

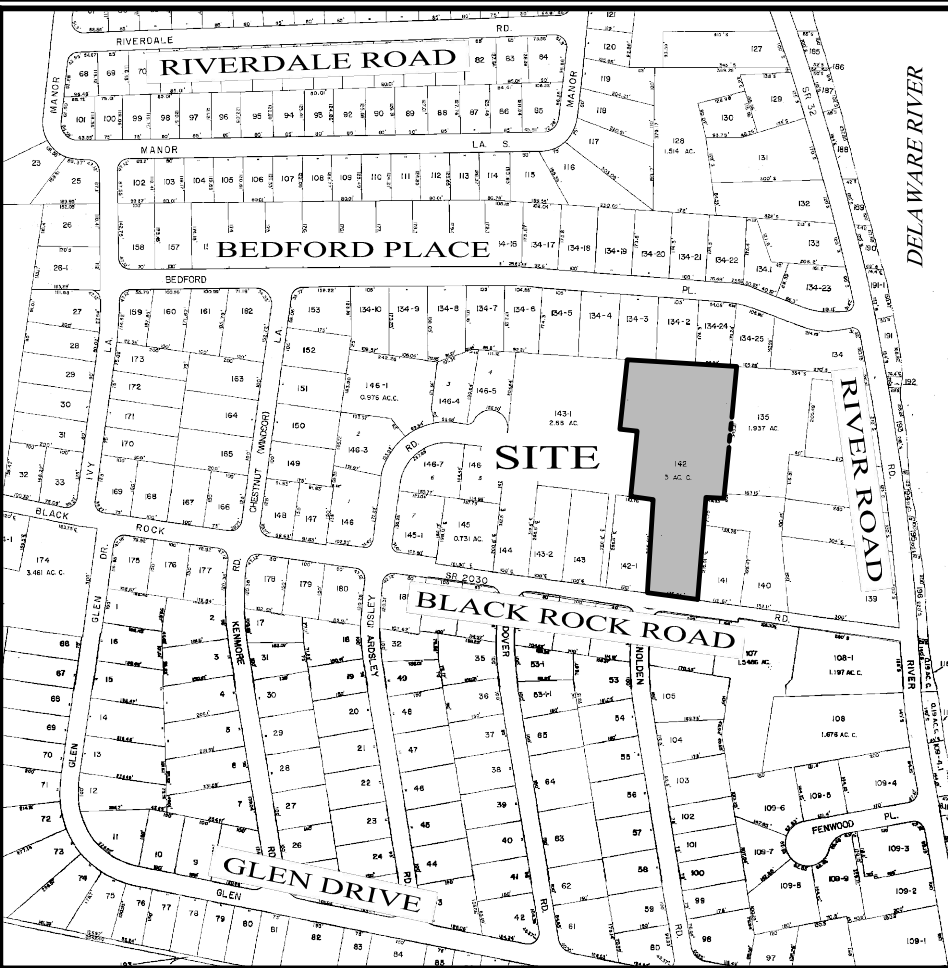
Plan Date:

AUGUST 11, 2025

Sheet No:

1 of 2





**K**

**KELLY ENGINEERS**  
CONSULTING ENGINEERS & SURVEYORS  
30 LaCrue Avenue, Suite 201  
Glen Mills, Pennsylvania 19342  
610.358.9363 fax 610.358.9376

- [illegible]

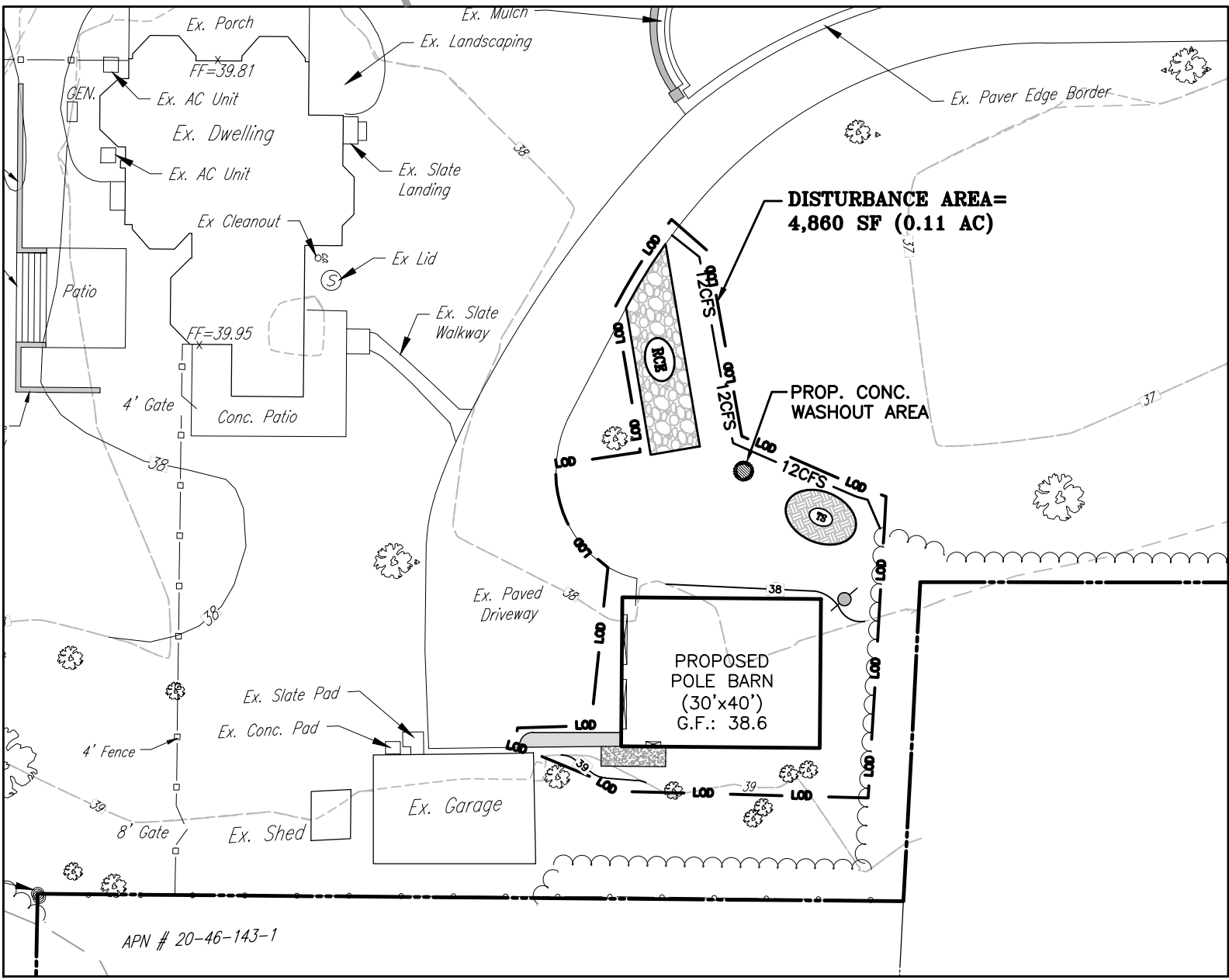
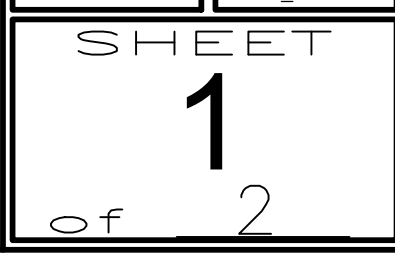
72 BLACK ROCK ROAD  
JUSTIN & CIDNEY GASTALDELLO

LOWER MAKEFIELD TOWNSHIP  
BUCKS COUNTY, PENNSYLVANIA

| ZONING TABLE   |                    |            |            |
|--|--------------------|------------|------------|
| ZONED R-RP: RESIDENTIAL-RESOURCE PROTECTION DISTRICT |                    |            |            |
|  | REQUIRED           | EXISTING   | PROPOSED   |
| MAX DENSITY ON NET BUILDABLE SITE:                   | .33 D.U./AC.       | 1 D.U.     | 1 D.U.     |
| LOT AREA:  | 3.00 AC. (min.)    | 3.0659 AC. | 3.0659 AC. |
| LOT WIDTH AT FRONT BUILDING LINE:                    | 250 ft. (min.)     | 135.58 ft. | 135.58 ft. |
| FRONT YARD SETBACK:                                  | 50 ft. (min.)      |            |            |
| FOR COLLECTOR ROADS (BLACK ROCK ROAD)                | 80 ft. (min.)      | 369.9 ft.  | 369.9 ft.  |
| FOR ARTERIAL ROADS:                                  | 100 ft. (min.)     |            |            |
| SIDE YARD SETBACK:                                   | 25 ft. (min.) each | 69.1 ft.   | 69.1 ft.   |
| REAR YARD:   | 125 ft. (min.)     | 199.2 ft.  | 199.2 ft.  |
| BUILDING HEIGHT:                                     | 35 ft. (max.)      | <35 ft.    | <35 ft.    |
| ACCESSORY BUILDING HEIGHT:                           | 15 ft. (max.)      | <15 ft.    | 18 ft.     |
| MAX. IMPERVIOUS SURFACE RATIO (BY DEVELOPER):        | 10% (max)          | N/A        | N/A        |
| MAX. IMPERVIOUS SURFACE RATIO (BY PROPERTY OWNER):   | 13% (max)          | 11.22%     | 12.17%     |

## LEGEND

# SITE PLAN



## INSET: EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'

IN... **PENNSYLVANIA**

LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION  
PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE  
PENNSYLVANIA ONE CALL SYSTEM, Inc.

L TRENCHING, SHEETING AND SHORING SHALL BE IN STRICT  
ACCORDANCE WITH OSHA STANDARDS.



# SITE PLAN

1299 Yale Dr

Yardley, PA 19067

Parcel ID: 20-022-046

Lot area: 0.45 Acres

Paper Size: 11"x17"



scale 1"=30'

