



LEGEND	
	PROPERTY LINE
	ACCESS EASEMENT
	ROAD CENTERLINE
	PROPOSED CURB
	TOWNSHIP BOUNDARY
	CONCRETE SIDEWALK

NATURAL RESOURCE LEGEND	
	WETLANDS
	POND
	STEEP SLOPES 8%-15%
	STEEP SLOPES 15%-25%
	STEEP SLOPES 25%+
	SOIL TYPE
	AGRICULTURAL SOILS

DRAWING LIST			
SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	LAST REVISED DATE
1	C1.0	OVERALL SITE PLAN	11/14/2025
2	C1.1	DETAILED SITE PLAN	11/14/2025
3	C2.0	GRADING AND DRAINAGE PLAN	11/14/2025
4	C2.1	CONSTRUCTION DETAILS	11/14/2025

APPLICANT:
ELU DELUCA SB LM LLC
370 EAST MAPLE AVENUE
SUITE 101
LANGHORNE, PA 19047

OWNER:
SHADY BROOK AT FLEMINGS INC
931 STONY HILL ROAD
YARDLEY, PA 19067

ZONING DATA TABLE		
ZONING DISTRICT: O/R OFFICE RESEARCH		
ITEM	REQUIRED/ PERMITTED	PROPOSED
Use:		Agriculture
Tract Requirements:		
Min. Net Lot Area	25 Ac.	51.118 Ac.
Max. Impervious Coverage	65%	37.9%
Max. Roadway Accesses	1/300FT (7 Total)	2 Total

IMPERVIOUS COVERAGE CALCULATIONS		
Site Area Calculations		
	SF	AC
Gross Site Area	2,226,699	51.118
ROW Area	0	0.000
Total Lot Area	2,226,699	51.118
Existing Impervious Area		
Existing Buildings	57,557	1.321
Existing Asphalt & Gravel Driveways, Walkways	779,919	17.904
Total Existing Impervious	837,476	19.226
Proposed Impervious Area		
Existing Buildings To Remain	57,557	1.321
Existing Asphalt & Gravel Driveways, Walkways To Remain	753,291	17.293
Proposed Roadway & Curb	29,330	0.673
Proposed Sidewalk	4,129	0.095
Total Proposed Impervious	844,307	19.383
Total Proposed Impervious Coverage		37.9%
Total Change In Impervious		6,831

SOIL TYPES					
Sym	Name	Hydric (Y/N)	Depth to Bedrock (in.)	Depth to Water Table (in.)	HSG
CbA	Chalfont Silt Loam, 0 to 3 Percent Slopes	N	42-99	6-18	D
DuA	Duncannon Silt Loam, 0 to 3 Percent Slopes	N	60-99	> 80	B
DuB	Duncannon Silt Loam, 3 to 8 Percent Slopes	N	60-99	> 80	B
LgA	Lansdale Loam, 0 to 3 Percent Slopes	N	42-72	> 80	B
LgB	Lansdale Loam, 3 to 8 Percent Slopes	N	42-60	> 80	B
LkA	Lawrenceville Silt Loam, 0 to 3 Percent Slopes	N	48-99	18-36	C
LkB	Lawrenceville Silt Loam, 3 to 8 Percent Slopes	N	48-99	18-36	C
PnB	Penn-Lansdale Complex, 3 to 8 Percent Slopes	N	20-40	> 80	B

RESOURCE PROTECTION STANDARDS					
Resource	Min. Required Protection Ratio	Total Area of Land in Resource	Required Resource Protection Land	Actual Resource Protection Land	Actual Protection Ratio
	%	(Ac.)	(Ac.)	(Ac.)	%
Floodplains	100%	0.000	0.000	0.000	N/A
Floodplain Soils (Delaware River)	50%	0.000	0.000	0.000	N/A
Lakes and Ponds	100%	0.887	0.887	0.887	100%
Wetlands	100%	0.133	0.133	0.133	100%
Lake and Pond Shorelines	100%	1.187	1.187	1.187	100%
Wetland and Watercourse Buffers	100%	3.224	3.224	3.224	100%
Steep Slopes 8%-15%	50%	1.586	0.793	1.580	100%
Steep Slopes 15%-25%	70%	0.487	0.341	0.487	100%
Steep Slopes 25%+	100%	0.411	0.411	0.411	100%
Woodland Associations Zoned R-RP	85%	0.000	0.000	0.000	N/A
Woodland Associations Zoned R1	80%	0.000	0.000	0.000	N/A
Woodland Associations Zoned R2	75%	0.000	0.000	0.000	N/A
Woodland Associations All other Zones	70%	0.000	0.000	0.000	N/A

NOTES:

- THE BOUNDARY AND TOPOGRAPHIC INFORMATION IS TAKEN FROM AN EXISTING FEATURES PLAN PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED NOVEMBER 18, 2024.
- LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE GROUND OBSERVATION AT THE SITE. COMPLETENESS OR ACCURACY OF LOCATION CAN NOT BE GUARANTEED.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO THE START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON OCTOBER 9, 2008, PENNSYLVANIA ACT 121.
- THE SITE IS ZONED O/R - OFFICE RESEARCH DISTRICT.
- ELEVATION INFORMATION IS BASED ON THE NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND HORIZONTAL DATUM ID BASED ON 1983 STATE COORDINATE SYSTEM.
- REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 2008. (800-342-1776).
- FLOOD ZONE INFORMATION: SUBJECT PARCEL AREA IS LOCATED OUTSIDE ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 432 OF 532, COMMUNITY MAP NO. 42017C0432J WHICH BEARS AN EFFECTIVE DATE OF MARCH 16, 2015.
- THE PROPOSED STORMWATER FACILITIES AND ALL STORM SEWER LOCATED ON-SITE WILL BE OWNED AND MAINTAINED BY THE OWNER.
- ALL STORMWATER AND DRAINAGE FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED, OR MODIFIED WITHOUT PRIOR APPROVAL FROM LOWER MAKEFIELD TOWNSHIP. OWNERSHIP AND MAINTENANCE OF THE STORMWATER FACILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOWER MAKEFIELD TOWNSHIP CONSTRUCTION STANDARDS.

STATEMENT OF PURPOSE:

THE PURPOSE OF THIS PLAN IS TO PROVIDE A DEDICATED DRIVEWAY TO THE PROPERTY LOCATED WITHIN MIDDLETOWN TOWNSHIP (TMP # 22-031-024). THE DRIVEWAY CONNECTION TO TOWNSHIP LINE ROAD WILL BE PROVIDED VIA AN ACCESS EASEMENT TO THAT MIDDLETOWN PROPERTY. THE STORMWATER RUNOFF FROM THE PROPOSED WORK WILL BE CAPTURED AND TREATED WITHIN MIDDLETOWN TOWNSHIP.

Site Capacity Calculations		
	Area (SF)	Area (AC)
Gross Site Area Determined by Actual On-site Survey	2,226,699	51.118
Land Within Existing Roads and Utility Transmission Rights-Of-Way	0	0.000
Land Without Development Opportunities Due to Restrictive Covenants and Conservation easements	0	0.000
Base Site Area	2,226,699	51.118
Resource Protection Land		
Natural Resource	Protection Ratio	Acres of Land in Resources
Floodplain	1.00	0.00
Floodplain Soils (Delaware River)	0.50	0.00
Lakes and Ponds	1.00	0.89
Wetlands	1.00	0.13
Lakes and Pond Shoreline	1.00	1.16
Wetland and Watercourse Buffers	1.00	2.40
Steep Slopes 8-15%	0.50	1.26
Steep Slopes 15-25%	0.70	0.44
Steep Slopes 25%+	1.00	0.35
Woodland Associations Zoned R-RP	0.85	0.00
Woodland Associations Zoned R-1	0.80	0.00
Woodland Associations Zoned R-2	0.75	0.00
Woodland All Other Zoning Categories	0.70	0.00
Total Land within Resources		6.63
Total Land within Required Resource Protection		5.87
Total Proposed Resource Protection		5.87
Net Buildable Site Area Calculations		
Base Site Area		51.12 Ac.
Subtract Required Resource Protection Land		5.87 Ac.
Net Buildable Site Area		45.25 Ac.
Maximum Building Coverage Calculations		
Net Buildable Site Area		45.25 Ac.
Multiply by Maximum Building Coverage Ratio		0.35
Maximum Permitted Site Impervious Surface		15.84 Ac.

Holmes Cunningham LLC
409 E. Butler Ave., Unit 5
Doylestown, PA 18901
(215) 586-3330
www.hcengineering.net

REVISIONS	Description	Date
1	CONSTRUCTION PHASE AND STAGE	
2	STORY & CALL	
3	UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES PRIOR TO ANY EXCAVATION.	

FARM'S EDGE AT SHADY BROOK
ACCESS ROADWAY
TMP # 22-012-001
LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PA

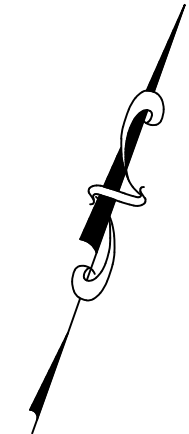
OVERALL SITE PLAN

ROBERT T. CUNNINGHAM, P.E.
PA PE076424

File No.
2000_C1.0 RECORD LM.DWG

HCE Job	2000
Date	11/14/2025
Scale	1"=100'
Designed	RC
Sheet	X of 4

Drawing No.
C1.0



NOTES:

1. THE BOUNDARY AND TOPOGRAPHIC INFORMATION IS TAKEN FROM AN EXISTING FEATURES PLAN PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED NOVEMBER 18, 2024.
2. LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE GROUND OBSERVATION AT THE SITE. COMPLETENESS OR ACCURACY OF LOCATION CAN NOT BE GUARANTEED.
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5. ELEVATION INFORMATION IS BASED ON THE NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND HORIZONTAL DATUM (D) BASED ON 1983 STATE COORDINATE SYSTEM.
6. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 2008. (800-242-1776).
7. FLOOD ZONE INFORMATION: SUBJECT PARCEL AREA IS LOCATED OUTSIDE ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 432 OF 532, COMMUNITY MAP NO. 42017C0432J WHICH BEARS AN EFFECTIVE DATE OF MARCH 16, 2015.
8. THE PROPOSED STORMWATER FACILITIES AND ALL STORM SEWER LOCATED ON-SITE WILL BE OWNED AND MAINTAINED BY THE OWNER.
9. ALL STORMWATER AND DRAINAGE FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED, OR MODIFIED WITHOUT PRIOR APPROVAL FROM LOWER MAKEFIELD TOWNSHIP. OWNERSHIP AND MAINTENANCE OF THE STORMWATER FACILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOWER MAKEFIELD TOWNSHIP CONSTRUCTION STANDARDS.

STATEMENT OF PURPOSE:

THE PURPOSE OF THIS PLAN IS TO PROVIDE A DEDICATED DRIVEWAY TO THE PROPERTY LOCATED WITHIN MIDDLETOWN TOWNSHIP (TWP # 22-031-024). THE DRIVEWAY CONNECTION TO TOWNSHIP LINE ROAD WILL BE PROVIDED VIA AN ACCESS EASEMENT TO THAT MIDDLETOWN PROPERTY. THE STORMWATER RUNOFF FROM THE PROPOSED WORK WILL BE CAPTURED AND TREATED WITHIN MIDDLETOWN TOWNSHIP.

NATURAL RESOURCE LEGEND

- WETLANDS
- POND
- STEEP SLOPES 8%–15%
- STEEP SLOPES 15%–25%
- STEEP SLOPES 25%+
- SOIL TYPE
- AGRICULTURAL SOILS

LEGEND

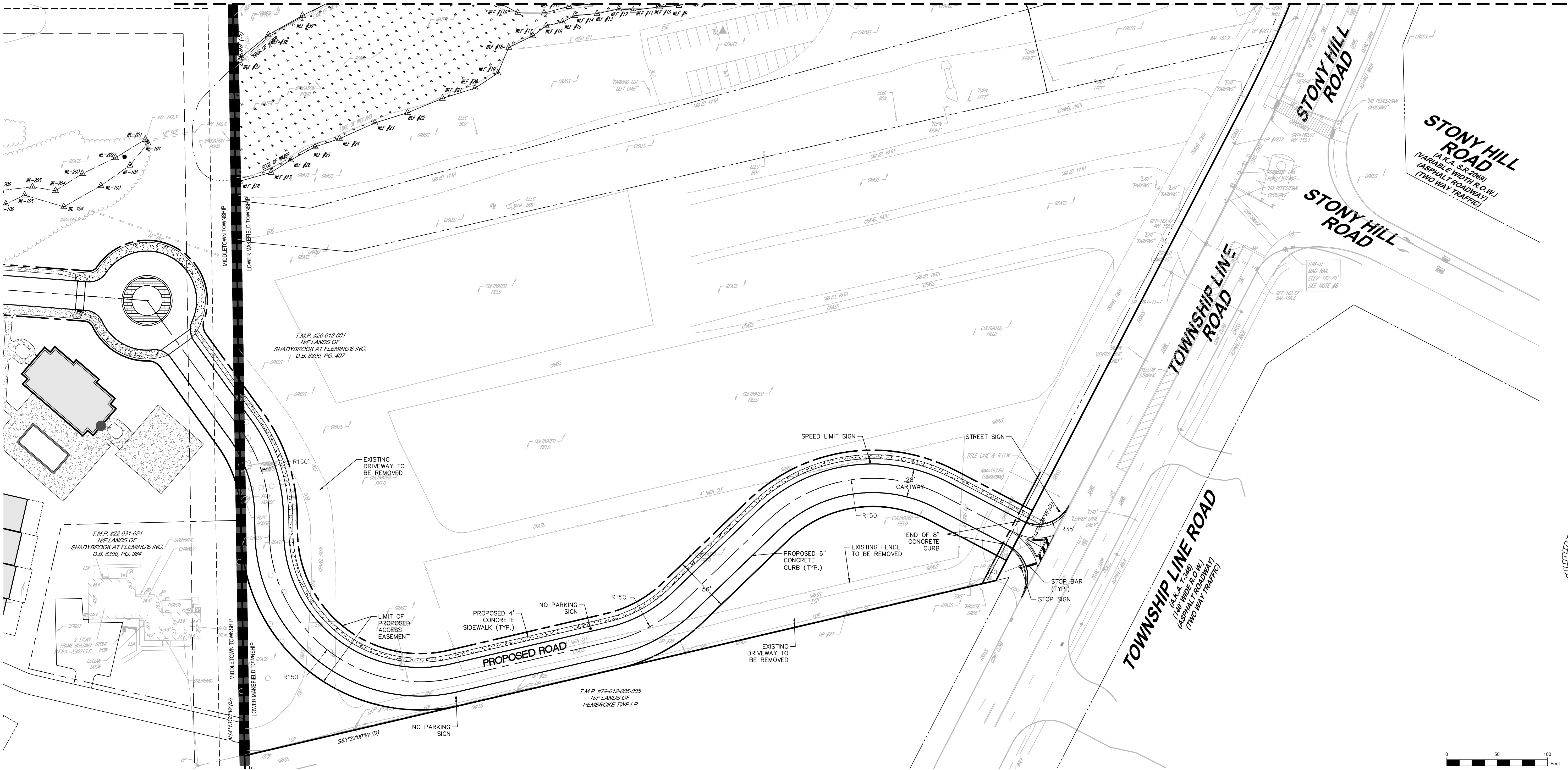
- PROPERTY LINE
- ACCESS EASEMENT
- ROAD CENTERLINE
- PROPOSED CURB
- TOWNSHIP BOUNDARY
- CONCRETE SIDEWALK



KEY MAP

SCALE: 1"=400'

MATCHLINE - (SEE INSET)



Holmes Cunningham LLC
409 E. Butler Ave., Unit 5
Doylestown, PA 18901
(215) 586-3330
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REVISIONS	Description	Date

CALL BEFORE YOU DIG !!
THIS DRAWING IS A PRELIMINARY DESIGN AND SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE ENGINEER. STOP & CALL
Pennsylvania One
Call System, Inc.
1-800-242-1776

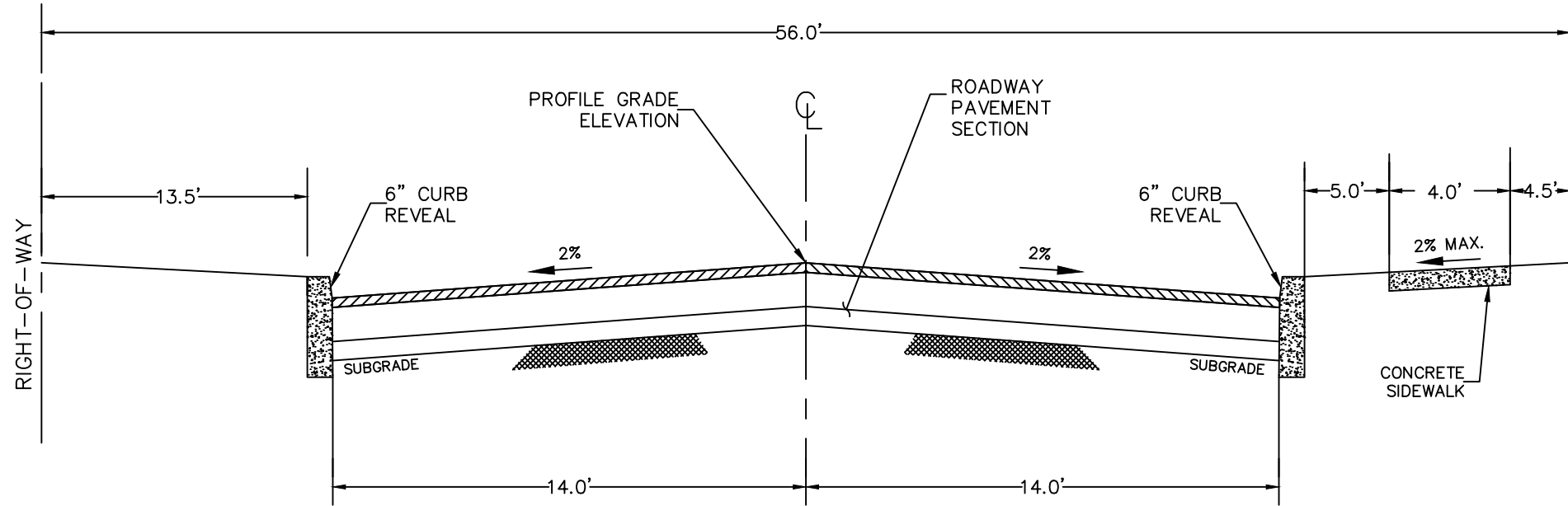
UTILITY LOCATIONS AS SHOWN ON THIS DRAWING ARE BASED ON THE INFORMATION PROVIDED BY THE UTILITY COMPANIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION TO ANY EXISTING UTILITIES.

FARM'S EDGE AT SHADY BROOK
ACCESS ROADWAY
TWP # 20-012-001
LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PA

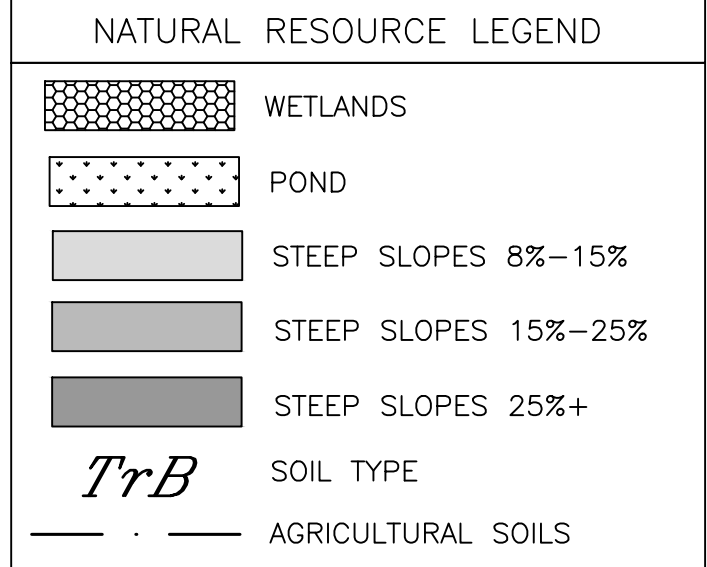
DETAILED SITE PLAN

ROBERT T. CUNNINGHAM, P.E.
PA PE076424

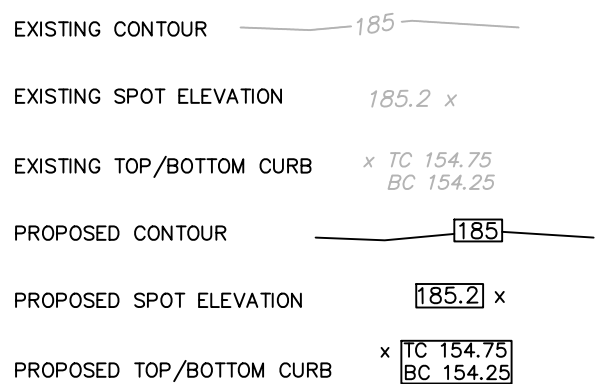
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Drawing No.	C1.1



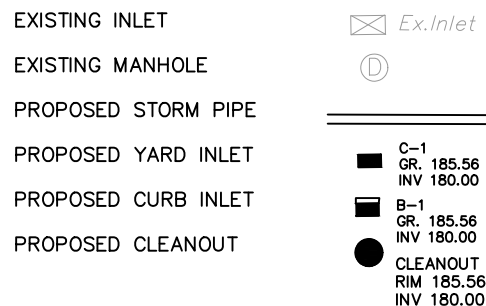
Roadway Cross Section



Grading Legend



Drainage Legend



Grading Notes

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
- 2. ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE OWNER, AT NO COST TO THE TOWNSHIP.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOWER MAKEFIELD TOWNSHIP SPECIFICATIONS AND DESIGN STANDARDS UNLESS OTHERWISE WAIVED.
- 4. COMPACTION CRITERIA FOR FILL PLACEMENT IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA IS GIVEN ELSEWHERE:

FILL AREA	% OF MAX. DENSITY
BUILDING FOOTPRINT	95%
PAVEMENT AND ROADWAYS	95%
SIDEWALKS	95%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING AREA
- 5. PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION INCLUDING CONCRETE TRUCKS AND DUMP TRUCKS.
- 6. REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH THE COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ONSITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE AND TRUE TO GRADE AND CROSS SECTION.
- 7. ALL STRIPPED TOPSOIL SHOULD BE REUSED ON SITE TO THE GREATEST EXTENT POSSIBLE. HOWEVER, PRIOR TO REMOVAL OF TOPSOIL FROM THE SITE THE TOWNSHIP SHOULD BE NOTIFIED.
- 8. THE MAXIMUM SLOPE IS THREE HORIZONTAL TO ONE VERTICAL (3H:1V). THE MINIMUM PERMITTED SLOPE IN LAWN AREAS IS 2% (50H:1V).
- 9. ALL GRADING SHALL BE A MINIMUM OF 5' FROM THE PROPERTY LINE.
- 10. THE SIDEWALK SHALL HAVE A CONTINUOUS GRADE ACROSS THE DRIVEWAYS AND NOT BE SLOPED TO ACCOMMODATE DRIVEWAYS. THE SIDEWALK SHALL HAVE A MAXIMUM GROSS SLOPE OF 2%.

Drainage Notes

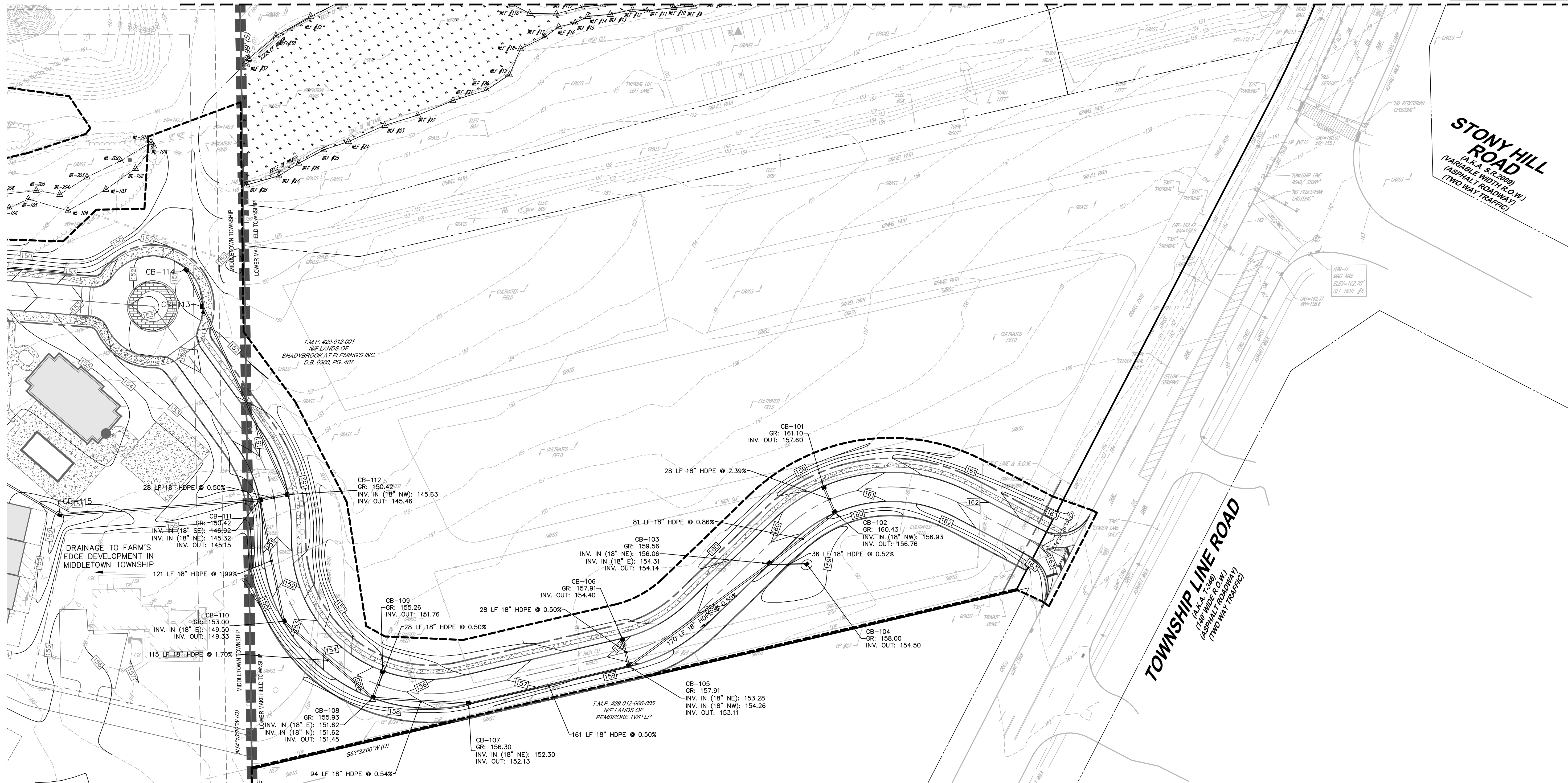
- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE EXISTING LOCATION AND/OR ELEVATION OF FEATURES AS SHOWN ON THESE PLANS IS BASED ON A SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408 AND THE LOWER MAKEFIELD TOWNSHIP SPECIFICATIONS AND DESIGN STANDARDS.
- 3. ALL STORM SEWERS AND STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOWER MAKEFIELD TOWNSHIP STANDARDS.
- 4. THE CONTRACTOR SHALL REVIEW THE STORM DRAINAGE CONNECTIONS TO INLETS, MANHOLES, ETC. AND PROVIDE THE APPROPRIATE BOX SIZE, MANHOLE SIZE, ETC. AS NECESSARY TO ACCOMMODATE THE PROPOSED INLET AND OUTLET PIPES.
- 5. CATCH BASIN GRATE ELEVATIONS WITHIN THE CARTWAY OF THE PROPOSED ROADS SHALL BE SUMPED 2-INCHES FROM THE PROPOSED ROAD ELEVATION AT THE GUTTER LINE. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
- 6. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE OWNER FOR BASIN PIPES, CONNECTIONS, OUTLET STRUCTURES, CATCH BASINS, MANHOLES AND OTHER STORM STRUCTURES. ALL STORMWATER AND DRAINAGE FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED, OR MODIFIED WITHOUT PRIOR APPROVAL FROM LOWER MAKEFIELD TOWNSHIP.
- 8. LOWER MAKEFIELD TOWNSHIP SHALL HAVE THE RIGHT TO ENTER PRIVATE PROPERTY TO INSPECT AND REPAIR, IF NECESSARY, ANY STORMWATER MANAGEMENT OR DRAINAGE FACILITY.
- 9. THE STORMWATER MANAGEMENT FACILITY WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 10. ALL STORM PIPES SHALL HAVE A MINIMUM OF 6" OF COVER BENEATH SUBGRADE ELEVATION.



Key Map

Scale: 1"=400'

Matchline - (See Inset)



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REVISIONS	Description	Date
CALL BEFORE YOU DIG !! STORMWATER MANAGEMENT PIPES CONSTRUCTION PHASE AND STAGE 10 WORKING DAYS PRIOR TO -- STOP & CALL -- Pennsylvania One Call System, Inc. 1-800-242-1776		
UTILITY LOCATIONS AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.		
FARM'S EDGE AT SHADY BROOK ACCESS ROADWAY TWP # 20-012-001 LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PA		
GRADING AND DRAINAGE PLAN		
ROBERT T. CUNNINGHAM, P.E. PA PE076424		
File No.	2000_C2.0 GRADING LM.DWG	
HCE Job	2000	11/14/2025
Date	11/14/2025	1"-50'
Scale	1"-50'	RC
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Sheet	of	
Drawing No. C2.0		

